



CITY *of* CALABASAS

**CITY COUNCIL AGENDA
REGULAR MEETING – WEDNESDAY, OCTOBER 23, 2019
CITY HALL COUNCIL CHAMBERS
100 CIVIC CENTER WAY, CALABASAS
www.cityofcalabasas.com**

The starting times listed for each agenda item should be considered as a guide only. The City Council reserves the right to alter the order of the agenda to allow for an effective meeting. Attendance at the entire meeting may be necessary to ensure interested parties hear a particular item. The public may speak on a closed session item prior to Council's discussion. To do so, a speaker card must be submitted to the City Clerk at least five minutes prior to the start of closed session. The City values and invites written comments from residents on matters set for Council consideration. **In order to provide councilmembers ample time to review all correspondence, any written communication must be submitted to the City Clerk's office before 5:00 p.m. on the Monday prior to the meeting. Note: Any written materials submitted to the City Council are public record under the Public Records Act.**

CLOSED SESSION – 6:00 P.M.

1. Conference with Legal Counsel; Existing Litigation
(Gov't Code section 54956.9, subd. (d)(1))
California Renters Legal Advocacy and Education Fund, et al. v. City of Calabasas, et al.
Los Angeles Superior Court Case No. 19STCV17987
2. Conference with Legal Counsel; Existing Litigation
(Gov't Code section 54956.9, subd. (d)(1))
City of Calabasas v. Southern California Edison, et al.
Los Angeles Superior Court Case No. 19STCV26583
3. Conference with Legal Counsel; Initiation of Litigation
(Government Code section 54956.9, subd. (d)(4))
One Case

OPENING MATTERS – 7:00 P.M.

Call to Order/Roll Call of Councilmembers
Pledge of Allegiance by Boy Scout Pack 333 – Webelos 1 Den 9
Approval of Agenda

PRESENTATIONS – 7:20 P.M.

- To Senior Center’s Savvy Singers
- From OneGeneration
- Roots and Shoots/Mayor’s Monarch Pledge
- Introduction of new Lost Hills Sheriff’s Captain Matthew S. Vander Horck

ANNOUNCEMENTS/INTRODUCTIONS – 8:10 P.M.

ORAL COMMUNICATION – PUBLIC COMMENT – 8:20 P.M.

CONSENT ITEMS – 8:35 P.M.

1. Approval of meeting minutes from September 25, 2019
2. Adoption of Resolution No. 2019-1650, proclaiming March 7, 2020, as Arbor Day in the City of Calabasas
3. Approval of Articles of Agreement to Marina Landscape, Inc. in the amount of \$554,537.35 and 10% contingency for unforeseen expenses for the expansion of Malibu Hills Road Stormwater Enhancement Project, Specification No. 19-20-01

NEW BUSINESS – 8:45 P.M.

4. Certification of Initiative Petition entitled, “Calabasas Neighborhood Preservation Initiative”. Consideration of A) adoption of Ordinance No. 2019-380; b) consideration for submission to the voters of Ordinance No. 2019-380 or c) direction to staff to prepare an Elections Code Section 9212 report on the Initiative’s impacts. If adopted by the City Council or approved by the voters, Ordinance No. 2019-380 would amend the Calabasas General Plan and Calabasas Municipal Code; and adopt a new Specific Plan allowing up to 161 new market-rate apartment units, within an existing 600-unit apartment complex at 3831 North Orchid Lane, Calabasas, CA, known as the Avalon Calabasas property. Ordinance No. 2019-380, if adopted, would also require that at least ten percent of the complex’s units be reserved for fifty-five years as deed-restricted affordable units, designating 60 units for moderate income households and 20 units for very-low income households. Adoption of Ordinance No. 2019-380 is exempt from review under the California Environmental Quality Act

INFORMATIONAL REPORTS – 10:40 P.M.

5. Check Register for the period of September 12-October 8, 2019

TASK FORCE REPORTS – 10:45 P.M.

CITY MANAGER’S REPORT – 10:50 P.M.

FUTURE AGENDA ITEMS – 10:55 P.M.

ADJOURN – 11:00 P.M.

The City Council will adjourn to their next regular meeting scheduled on Wednesday, November 13 , 2019, at 7:00 p.m.



Founded in 1978 in Reseda as a Senior Center for active older adults.

Our programming has grown to include:

Senior Enrichment Center- over 250 adults over 60 years of age daily, engaged in classes, activities, social services, special events and a free lunch program

Adult Daycare – Supporting adults with Alzheimer’s, dementia or physical challenges

Childcare/Preschool – 170+ Children from 6 weeks to 6 years old

Intergenerational Program – Preschool children and seniors of the Adult Daycare interact daily in activities designed to meet the needs of both populations

Transportation Program – Transportation to medical appointments, grocery store or social activities

Care Management Program – Assistance for In-home support services, referral services, individualized care plans

Senior Lunch Sites – Meal sites in Woodland Hills, Canoga Park, Reseda and Van Nuys for adults over 60 at no cost.

Homebound Meal Delivery – Hot prepared meals delivered to frail low income adults in the southwest San Fernando Valley

Grandparents As Parents – A kinship care support program for relative caregivers raising children

Encino Farmers Market – Open every Sunday from 8am to 1pm for the past 25 years, the proceeds of this program supports our services.



As of June 2019 ONEgeneration provides the following services for LA County residents, this contract does not cover delivered meals or nutritional support.

ONEgeneration in support with the Los Angeles County Workforce Development, Aging and Community Services (WDACS) is now offering the following services at no cost to the following areas:

Services Available:

Case Management
Light Housekeeping
Personal Care
Registry Support

Areas Now Serving:

Calabasas
Agoura Hills
Hidden Hills
Westlake Village (LA County)

ONEgeneration Supportive Services Program serves older adults over the age of 60 who live at home and reside in the Los Angeles County Area. Case Management Services include a comprehensive assessment, information and referral services, linkage and follow-up.



Calabasas Meals on Wheels

Previously to ONEgeneration inheriting this program, CMOW was run by a dedicated group of volunteers. After many years of serving the community the program outgrew a volunteer staff and was financially struggling to break even.

The leadership of volunteers at the time, asked around to see who would be willing to continue serving the population of Calabasas and ONEgeneration agreed to absorb this program.

Fortunately, many of the wonderful volunteer drivers continued to support this program, and are still driving and delivering meals currently.



Calabasas Meals on Wheels

Eligibility:

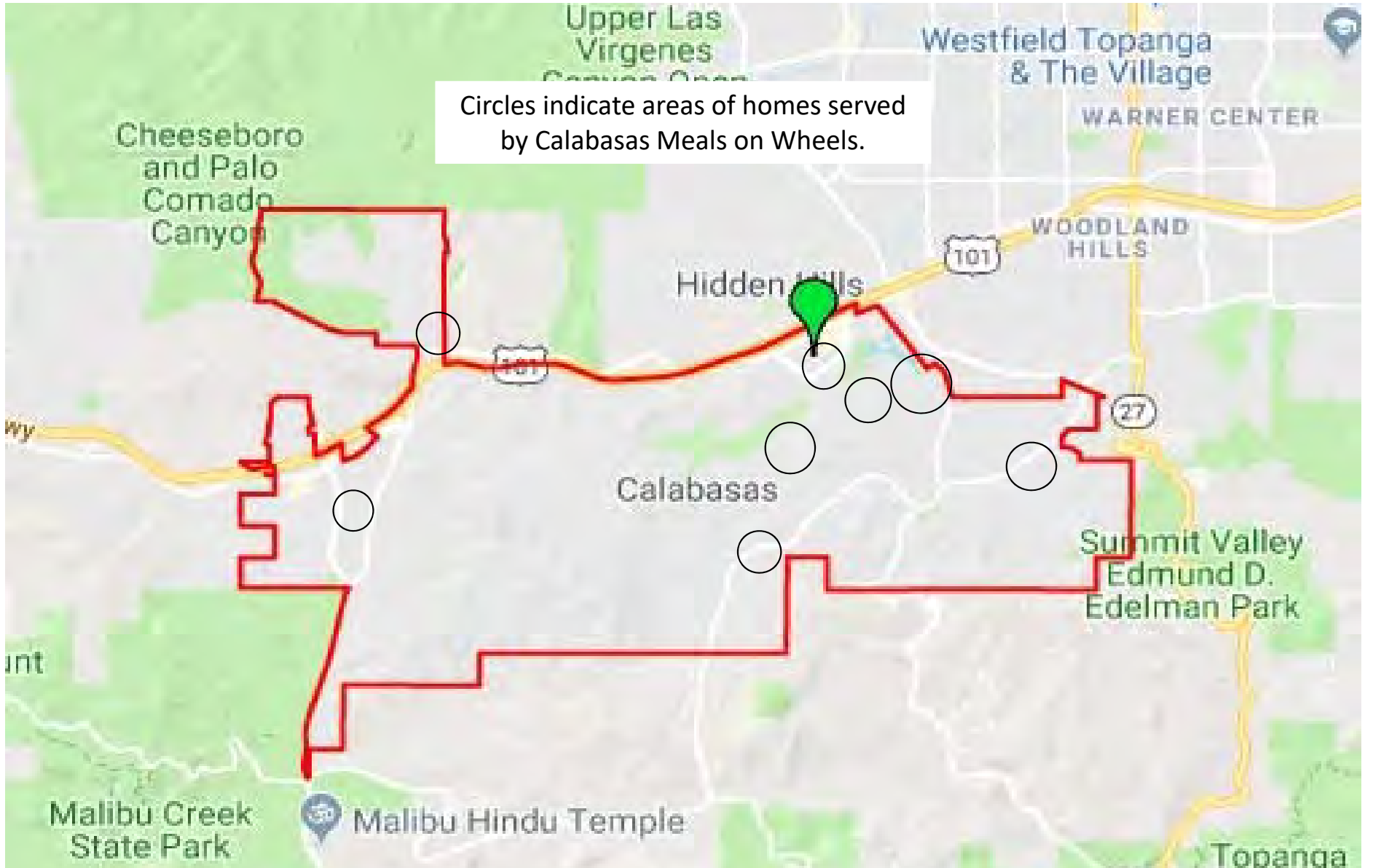
- **Adults over 60 who are primarily homebound or no longer driving and living alone**
 - **Those with medical conditions in need of delivered meals temporarily**
 - **Frail older adults aging in place, in transition to moving to a care facility**
 - **Homebound seniors with caregivers a few days a week**
 - **Senior caring for a loved one in hospice or homebound**
 - **Must live within the City of Calabasas**

(Referrals will be made for those outside of the city to a meal program in their area)

The majority of those we serve have family members living outside of the Los Angeles area, the staff at ONEgeneration is the source of information and services for these family members

Our program provides:

Two meals delivered Monday through Friday, lunch and a dinner entree *with* dessert.
Regular dedicated volunteers delivering week to week, friendly face to face contact.
The drivers may be the only person that these seniors see or speak to in several days.
All meals are low sodium and diabetic meals are available.



Circles indicate areas of homes served by Calabasas Meals on Wheels.



Calabasas Meals on Wheels

45 older adults have received meals from this program in the past 12 months.

5 couples received meals delivered

How the program works:

After enrolled, clients receive the delivery from the volunteers between 11:30am and 1pm. They are able to change the amount of days that they receive deliveries and reduce days if needed each week.

Volunteers pick up the meals from the Motion Picture Hospital kitchen.

At the end of the month meal recipients receive a letter letting them know how many meals they received that month and the cost of \$7 for each meal.

A total is given and a donation is suggested to help support the program



Calabasas Meals on Wheels

July 1, 2018 to June 30, 2019

Meals Delivered: 2,112
Meal Costs: \$14,784
Income Received: \$5,112

Program Deficit: \$9,672

This number does not include staff time, resources, operating expenses, billing, facilities or other program costs.

With these included the total program expense is over \$23,000.



Calabasas Meals on Wheels

Currently without funding support of this program and a deficit in contributions from meal recipients, this program has been sustained but purposefully not expanded.

CMOW has accepted new clients, referred by the Calabasas Senior Center, ONEgeneration's Care Management Team and local outpatient hospital programs.

However, there has been little outreach to gain new meal clients due to the current operating expenses and outstanding program costs.

We hope to increase the awareness of this program to older adult residents in need in the *City of Calabasas* in the future with your support.

**MINUTES OF A REGULAR MEETING OF
THE CITY COUNCIL OF THE CITY OF CALABASAS, CALIFORNIA
HELD WEDNESDAY, SEPTEMBER 25, 2019**

Mayor Shapiro called the Closed Session to order at 6:32 p.m. in the Council Conference Room, 100 Civic Center Way, Calabasas, CA.

Present: Mayor Shapiro, Mayor pro Tem Weintraub, Councilmembers Bozajian, Gaines and Maurer

1. Conference with Legal Counsel; Existing Litigation
(Gov. Code §54956.9(d)(1))
One Case: Brown et al. vs State, City of Calabasas, et al.
Los Angeles Superior Court Case Number BC689511

Mayor Shapiro called the Open Session to order at 7:02 p.m. in the Council Chambers, 100 Civic Center Way, Calabasas, CA.

Present: Mayor Shapiro, Mayor pro Tem Weintraub, Councilmembers Bozajian, Gaines and Maurer

Absent: None

Staff: Ahlers, Bartlett, Hernandez, Klein, Lysik, McConville, Summers, Tamuri and Yalda

In regard to Closed Session Item No. 1 Case Brown et al. vs State Court Case Number BC689511, Mr. Summers provided direction to staff and council on this item.

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Pack 333 Webelos 2 Den 1

APPROVAL OF AGENDA

Mayor Shapiro requested approval to move Item 11 after Item No. 7 and Item No. 8 after Item No. 10. Councilmember Gaines moved, seconded by Mayor pro Tem Weintraub to approve the agenda. MOTION CARRIED 5/0 as follows:

AYES: Mayor Shapiro, Mayor pro Tem Weintraub, Councilmembers Bozajian, Maurer and Gaines

PRESENTATIONS

- Introduction of new AHCCC Executive Director, Brianne Anderson

Ms. Anderson introduced herself. Members of the Council welcomed her aboard.

- Proclamation to the Kevin Cordasco, Something Yellow Foundation in recognition of Childhood Cancer Awareness Month

Mayor Shapiro presented the Cordasco family with proclamation.

Kevin Cordasco Sr. expressed appreciation to the City Council.

ADJOURN IN MEMORY

- Albert "Bud" Marley

Mayor Shapiro announced the meeting would be adjourned in memory of Albert "Bud" Marley. Members of the Council expressed condolences to the Marley family.

Mr. Donovan Marley expressed appreciation to the City Council.

ANNOUNCEMENTS/INTRODUCTIONS

Members of the Council made the following announcements:

Mayor pro Tem Weintraub:

- Fire Chief Daryl Osby will make a presentation on Emergency Preparedness at Founders Hall on October 1.
- Reminded residents to lock vehicles and remove valuables.
- Extended an invitation to the Mayor's State of the City Address on November 7.

Councilmember Maurer:

- Encouraged residents to submit the MRCA survey recently mailed.

Councilmember Gaines:

- Extended an invitation to the Chamber of Commerce Pumpkin Festival Kick Off on September 26.
- Extended an invitation to the annual Pumpkin Festival at De Anza Park on October 19 and 20.
- Reminded residents to drive safely on International Walk to School Day, October 2.
- Calabasas High School Football team will play against Valencia High School on September 27.
- The October 4 Calabasas High School football game against Westlake Village

- High School is the Kevin Cardasco wear yellow night.
- Wished all residents Happy New Year and a safe fast on Yom Kippur.

Councilmember Bozajian:

- Thanked the City of Hidden Hills for inviting Calabasas to participate in their September 14 parade.

Mayor Shapiro:

- Attended the Calabasas and Hidden Hills Fiesta, and thanked everyone involved.
- Expressed appreciation to all involved on the 6th Annual Calabasas Film Festival.
- A mock election will be held at Calabasas Senior Center on September 28 and 29.
- Thanked everyone who supported and celebrated the 25th Anniversary of the Calabasas Tennis and Swim Center.
- Thanked Councilmember Gaines for speaking and presenting at the Valley Economic Alliance.
- Reminded residents to RSVP to the State of the City Address on November 7.

ORAL COMMUNICATIONS – PUBLIC COMMENT

Natalie Shapiro, Adam Schwartz, Rachel Rosenblatt, Sara Benjamin, Michael Harrison, Reety Dua, R.L. Embree, Marty Fadae and Pam Evans, spoke during public comment.

CONSENT ITEMS

1. Approval of meeting minutes from September 11, 2019
2. Adoption of Resolution No. 2019-1648, recognizing October as Anti-Bullying Awareness Month in the City of Calabasas
3. Grant awards to Parent Faculty Clubs for schools in Calabasas
4. Recommendation to adopt Resolution No. 2019-1649, adopting the updated City of Calabasas Title VI Program in compliance with Federal Transit Administration (FTA) requirements
5. Approval of professional services agreement with California Civil Engineering Services in the amount of \$68,112 for construction of two electric vehicle charging stations at the Tennis & Swim Center
6. Consideration and approval of appointment of Phillip Cardona (Bozajian) to the Environmental Commission

Councilmember Bozajian and Mayor Shapiro pulled Consent Item Nos. 6 No. 2, respectively.

Councilmember Bozajian moved, seconded by Mayor pro Tem Weintraub to approve Consent Item Nos. 1-6. MOTION CARRIED 5/0 as follows:

AYES: Mayor Shapiro, Mayor pro Tem Weintraub, Councilmembers Bozajian, Maurer and Gaines

Councilmember Bozajian introduced new Environmental Commissioner, Phillip Cardona.

NEW BUSINESS

7. Sheriff's Crime Report – August 2019

Deputy Peck presented the report.

11. Recommendation and approval of a Veterans' Memorial

Mr. McConville presented the report.

Carl Ehrlich spoke on Item No. 11.

The City Council concurred with option number 3 and provided direction to staff.

The meeting recessed at 8:28 p.m.

The meeting reconvened at 8:33 p.m.

9. Report of expiration of affordable housing units

Mr. Klein presented the report.

Rochelle Creef, Cindy Malone, Arnold and Jolene Placencio spoke on Item No. 9.

10. Informational report on sixth cycle of State of California's Regional Housing Needs Assessment Process and the associated mandatory updates to the City's General Plan Housing Element

Mr. Bartlett presented the report.

Carl Ehrlich spoke on Item No. 10.

The meeting recessed at 10:00 p.m.
The meeting reconvened at 10:07 p.m.

8. Adoption of Resolution No. 2019-1647, authorizing application for, and receipt of, SB 2 Planning Grants Program Funds

Mr. Klein presented the report.

Councilmember Gaines moved, seconded by Councilmember Bozajian to approve Item 8. MOTION CARRIED 5/0 as follows:

AYES: Mayor Shapiro, Mayor pro Tem Weintraub, Councilmembers Bozajian, Maurer and Gaines

12. Discussion of Resolutions before the League of California Cities (League) Annual Meeting on Friday, October 18, 2019

Councilmember Gaines moved, seconded by Councilmember Bozajian to approve Item 12. MOTION CARRIED 5/0 as follows:

AYES: Mayor Shapiro, Mayor pro Tem Weintraub, Councilmembers Bozajian, Maurer and Gaines

INFORMATIONAL REPORTS

8. Check Registers for the period of August 15-29, 2019

No action was taken on this item.

TASK FORCE REPORTS

Councilmember Maurer reported her attendance to an MRCA meeting on September 9, where they discussed the approval of Proposition 68 Grant to the MRCA to provide fire resilient improvements of their park buildings, which includes King Gillette Ranch. In addition, Councilmember Maurer requested an inventory of Calabasas City parks and facilities to determine how resilient they are.

Councilmember Bozajian reported that Councilmember Gaines and he will attend the Contract Cities Fall Educational seminar and present together on upcoming legislation that affects municipalities. Additionally, Councilmember Bozajian will attend the Annual League of California Cities convention in Long Beach.

Mayor pro Tem Weintraub reported Mayor Shapiro and she attended the School Area Traffic Safety meeting. She requested street work not be done during

school hours as it affects school drop offs and pick-ups.

Additionally, Mayor pro Tem Weintraub reported her attendance to the COG Homeless working group meeting.

CITY MANAGER'S REPORT

Dr. Lysik reported the upcoming Emergency Safety Health Fair on December 7. Dr. Lysik also reported that a video link associated with the Traffic Signal Inter-Connect Project is available on the City's website. Additionally, he encouraged residents to submit their responses for the Los Angeles County Fire Department survey, which is available on the City's website. Further, Dr. Lysik reported the cell phone survey has been re-opened for residents who may have been omitted when it was originally distributed. Lastly, ADA parking is now available at AC Stelle Middle school for residents to use.

FUTURE AGENDA ITEMS

Councilmember Bozajian requested the Planning Commission provide recommendations for story polls. Additionally, he requested the establishment of a general plan advisory committee in advance of the general plan update.

Councilmember Maurer requested the Planning Commission consider an overlay for Classic Calabasas and bring back recommendations to the City Council.

Mayor Shapiro requested an update regarding the MRT bridge project completion.

ADJOURN

The meeting adjourned at 10:21 p.m. in memory of Albert "Bud" Marley to the next regular meeting scheduled on Wednesday, October 23, 2019, at 7:00 p.m.

Maricela Hernandez, City Clerk
Master Municipal Clerk
California Professional Municipal Clerk




CITY of CALABASAS

CITY COUNCIL AGENDA REPORT

DATE: OCTOBER 14, 2019

TO: HONORABLE MAYOR AND COUNCILMEMBERS

**FROM:  ROBERT YALDA, P.E., T.E., PUBLIC WORKS DIRECTOR, CITY ENGINEER
ALEX FARASSATI, PH.D., ENVIRONMENTAL SERVICES SUPERVISOR**

SUBJECT: ADOPTION OF RESOLUTION NO. 2019-1650 PROCLAIMING MARCH 07, 2020 AS "ARBOR DAY" IN THE CITY OF CALABASAS

MEETING

DATE: OCTOBER 23, 2019

SUMMARY RECOMMENDATION:

It is recommended that the City Council approve staff's recommended motion to proclaim March 07, 2020 as "Arbor Day" in the City of Calabasas.

DISCUSSION/ANALYSIS:

Once annually, the City must both adopt an Arbor Day proclamation and hold an Arbor Day event to renew the City's TREE CITY, USA status. This year is the 20th year that Calabasas is recognized as a Tree City USA. Attached is a resolution proclaiming Saturday, March 7, 2020 as Arbor Day.

In honor of Arbor Day, the City of Calabasas will be holding a tree-planting ceremony at Bay Laurel Elementary School. The event will include tree-planting by volunteers starting at 10:00 AM and the official tree-planting ceremony at 11:30AM.

FISCAL IMPACT/SOURCE OF FUNDING:

Estimated costs of approximately \$3,500 will be used from City's Arbor Day Budget (Account No. 10-321-5252-21)

REQUESTED ACTION:

Move to approve City Council Resolution No. 2019-1650 proclaiming March 7, 2020 as Arbor Day.

ATTACHMENT:

Attachment A – Resolution No. 2019-1650

**ITEM 2 ATTACHMENT
RESOLUTION NO. 2019-1650**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
CALABASAS, CALIFORNIA, PROCLAIMING MARCH 7,
2020 AS "ARBOR DAY" IN THE CITY OF CALABASAS**

WHEREAS, in 1872, J. Sterling Morton proposed to the Nebraska Board of Agriculture that a special day be set aside for the planting of trees; and

WHEREAS, the holiday, called Arbor Day, was first observed with the planting of more than a million trees in Nebraska; and

WHEREAS, Arbor Day is now observed throughout the nation and the world; and

WHEREAS, trees can reduce the erosion of our precious topsoil by wind and water, cut heating and cooling costs, moderate the temperature, clean the air, produce oxygen and provide habitat for wildlife; and

WHEREAS, trees are a renewable resource giving us paper, wood for our homes, fuel for our fire and countless other wood products; and

WHEREAS, trees in our City increase property values, enhance the economic vitality of business areas and beautify our community; and

WHEREAS, trees, wherever they are planted, are a source of joy and spiritual renewal.

NOW, THEREFORE, the City Council of the City of Calabasas does hereby proclaim March 7, 2020 as "***Arbor Day***" in the City of Calabasas. All residents are urged to celebrate Arbor Day and to support the efforts to protect our trees and woodlands.

BE IT FURTHER RESOLVED, that all residents are urged to plant trees to promote the well-being of this and future generations.

The City Clerk shall certify to the adoption of this resolution and shall cause the same to be processed in the manner required by law.

PASSED, APPROVED AND ADOPTED this 23rd day of October 2019.

David J. Shapiro, Mayor

ATTEST:

APPROVED AS TO FORM:

Maricela Hernandez, City Clerk
Master Municipal Clerk
California Professional Municipal Clerk


Scott H. Howard
Contract City Attorney
Colantuono, Highsmith & Whatley, PC



CITY of CALABASAS
CITY COUNCIL AGENDA REPORT

DATE: OCTOBER 14, 2019

TO: HONORABLE MAYOR AND COUNCILMEMBERS

FROM: ROBERT YALDA, P.E., T.E., PUBLIC WORKS DIRECTOR/CITY ENGINEER
 ALEX FARASSATI, PH.D., ENVIRONMENTAL SERVICES SUPERVISOR

SUBJECT: APPROVAL OF ARTICLES OF AGREEMENT TO MARINA LANDSCAPE, INC. IN THE AMOUNT OF \$554,537.35 AND 10% CONTINGENCY FOR UNFORESEEN EXPENSES FOR THE EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT, SPECIFICATION NO. 19-20-01

MEETING
DATE: OCTOBER 23, 2019

SUMMARY RECOMMENDATION:

Staff recommends that the City Council approve an Articles of Agreement to Marina Landscape, Inc. in the amount of \$554,537.35 and 10% contingency for unforeseen expenses and possible change orders for construction of Expansion of Malibu Hills Road Stormwater Enhancement Project, Specification No. 19-20-01.

BACKGROUND:

The City of Calabasas completed the installation of over 1,016 catch basin retractable screens as part of the implementation of the Citywide Storm Drain Catch Basin Curb Screen Project. During the recent rainfalls, the screens proved to be effective, improving the quality of creeks, rivers and beaches in the process. The objective of this project was to prevent trash, debris, sediment, and vegetation from entering the storm drain and eventually polluting creeks, rivers, and beaches.

In 2017, City completed a median project on the segment of Malibu Hills Road east of Lost Hills Road to prevent flooding during rainfall and divert rainwater into street median that serve as a natural bio-swale and bio-filtration. This segment of road is approximately 60 to 70 feet wide with no catch basins for surface flow drainage. The Lack of catch basins in the area contributed to the water ponding at low points at some sections of the street. The construction of median improved the stormwater drainage and reduced the water ponding at low points.

DISCUSSION/ANALYSIS:

The City of Calabasas continued its efforts to reduce and prevent storm water contamination of its rivers and streams by repurposing State grant funding with concepts that provide additional benefits in alignment to the original intent of the grant funding for Citywide Stormdrain Catch Basin screen project.

A similar concept will be implemented in Malibu Hills Road west of Lost Hills Road to the intersection of Agoura Road. Stormwater from this area is being discharged into Las Virgenes Creek, which is part of the Malibu Creek Watershed. The Malibu Creek Watershed is a significant ecological system in Los Angeles County and the Santa Monica Mountains National Recreation Area.

The City of Calabasas proposed the addition of three (3) new bio-retention center medians with an impermeable liner and underdrain to convey storm water to a nearby catch basin. The underdrain would connect to the existing catch basin to discharge treated overflows. The medians would also serve as a pretreatment best management practice (BMP) that will capture and treat surface flows.

According to the Los Angeles Low Impact Development Manual, bio-retention areas have several benefits including the retention of stormwater runoff and elimination of pollutant discharge. In addition, the bio-filtration media inside the system filters out pollutants in the surface flows therefore improving the water quality.

Overall, the water quality in the Malibu Creek watershed is an integral part of life for wildlife, fish and humans. The implementation of the Malibu Hills Road Stormwater Enhancement Project would give the City of Calabasas an opportunity to remove pollutants and increase flood control in this area.

After completing the design and specifications, the City issued a Request for Sealed Bid on September 12, 2019. A total of seven (7) bids were received on October 10, 2019 from the following bidders:

- | | |
|--------------------------|----------------|
| 1. Bosco Constructions | \$1,391,729.21 |
| 2. GMZ Engineering Inc. | \$780,000.00 |
| 3. Toro Enterprises Inc. | \$778,732.15 |

4. Palp, Inc. DBA Excel Paving	\$707,415.00
5. Granite Construction Company	\$695,085.00
6. R.C. Becker and Son, Inc.	\$652,346.23
7. Marina Landscape, Inc.	\$572,737.35

After careful evaluation and verification of licenses, references and qualifications, Marina Landscape, Inc. was deemed as the lowest qualified/responsive bidder.

During the bid process, there was an error in Item No. 12 of the Bid Schedule. The quantity should have been one (1). The selected contractor was notified about the error and they acknowledged the change. Therefore, the contract amount dropped to **\$554,537.35**.

FISCAL IMPACT/SOURCE OF FUNDING:

The funding for this project was provided through Prop 84, Round 2 administered by California Department of Water Resources. The total funding allocation is \$585,177.34. Another municipal agency that implemented a catch basin screen project completed their project with \$585,177.34 unspent funds. After reviewing all eligible public agencies within the County of Los Angeles, the City of Calabasas was deemed to have a shovel ready project with the purpose of improving stormwater quality. Through several months of negotiations, the funds were allocated to the City of Calabasas for construction of this project. The funds are on reimbursable basis and shall be spent from Account No. 40-319-6503-23. Los Angeles County charges 2.5% of the total grant funding as administration fee. Staff requests 10% contingency over the contract amount for unforeseen expenses and possible change orders. Any shortfall shall be covered from Measure M funding.

REQUESTED ACTION:

That the City Council approve an Articles of Agreement Marina Landscape, Inc. in the amount of \$554,537.35 with 10% contingency for unforeseen expenses and possible change orders for construction of Expansion of Malibu Hills Road Stormwater Enhancement Project, Specification No. 19-20-01. The Finance Department is authorized to adjust the budget accordingly.

ATTACHMENT:

Exhibit A - Articles of Agreement

CONTRACT SUMMARY

Name of Contractor:	Marina Landscape, Inc.
City Department in charge of Contract:	Public Works
Contact Person for City Department:	Alex Farassati
Period of Performance for Contract:	October 23, 2019 thru October 22, 2020
Not to Exceed Amount of Contract:	\$554,537.35
Scope of Work for Contract:	Construction of Malibu Hills Road Stormwater Enhancement Project

Insurance Requirements for Contract:

yes no - Is General Liability insurance required in this contract?

If yes, please provide coverage amounts: \$1,000,000

yes no - Is Auto insurance required in this contract?

If yes, please provide coverage amounts: \$1,000,000

yes no - Is Professional insurance required in this contract?

If yes, please provide coverage amounts:

yes no - Is Workers Comprehensive insurance required in this contract?

If yes, please provide coverage amounts: \$2,000,000

Other:

Proper documentation is required and must be attached.

ARTICLES OF AGREEMENT

EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
SPECIFICATION NO. 19-20-01, AGREEMENT
IN THE CITY OF CALABASAS, CALIFORNIA

THIS EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT, SPECIFICATION NO. 19-20-01, AGREEMENT (“AGREEMENT”) is made and entered into for the above-stated project this 23 day of October, 2019, BY AND BETWEEN the City of Calabasas, a municipal corporation, hereafter designated as “AGENCY”, and Marina Landscape, Inc. a CALIFORNIA (State) (corporation, partnership, limited liability company, or other business form), hereafter designated as “CONTRACTOR.”

WITNESSETH that AGENCY and CONTRACTOR have mutually agreed as follows:

ARTICLE I: Contract Documents

The contract documents for the EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT, SPECIFICATION NO. 19-20-01, shall consist of the Notice Inviting Sealed Bids, Instructions To Bidders, Bid Proposal, Bid Schedule, Standard Specifications, Special Provisions, and all referenced specifications, details, standard drawings, and appendices; together with two signed copies of the AGREEMENT, two signed copies of required bonds; one copy of the insurance certificates, permits, notices, and affidavits; and also including any and all addenda or supplemental agreements clarifying, amending, or extending the work contemplated as may be required to ensure its completion in an acceptable manner (collectively referred to herein as the “Contract Documents”). All of the provisions of the Contract Documents are made a part hereof as though fully set forth herein.

ARTICLE II: Scope of Work

For and in consideration of the payments and agreements to be made and performed by AGENCY, CONTRACTOR agrees to furnish all materials and equipment and perform all work required for the above-stated project, and to fulfill all other obligations as set forth in the aforesaid Contract Documents.

AGENCY hereby employs CONTRACTOR to provide the materials, do the work, and fulfill the obligations according to the terms and conditions herein contained and referred to, for the prices provided herein, and hereby contracts to pay the same at the time, in the manner, and upon the conditions set forth in this AGREEMENT.

In entering into a public works contract or a subcontract to supply goods, services, or materials pursuant to this AGREEMENT, CONTRACTOR offers and agrees to assign to the AGENCY all rights, title, and interest in and to all causes of action it may have under Section 4 of the Clayton Act (15 U.S.C. Sec. 15) or under the Cartwright Act (Chapter 2 (Section 16700, et seq.) of Part 2

of Division 7 of the Business and Professions Code), arising from purchases of goods, services, or materials pursuant to the public works contract or the subcontract. This assignment shall be made and become effective at the time the awarding body tenders final payment to CONTRACTOR, without further acknowledgment by the parties.

ARTICLE III: Compensation

A. CONTRACTOR agrees to receive and accept the prices set forth in the Bid Proposal and Bid Schedule as full compensation for furnishing all materials, performing all work, and fulfilling all obligations hereunder. In no event shall the total compensation and costs payable to CONTRACTOR under this Agreement exceed the sum of **\$554,537.35** (Five Hundred Fifty Four Thousand and Five Hundred Thirty Seven Dollars and Thirty Five Cents) unless specifically approved in advance and in writing by AGENCY.

Such compensation shall cover all expenses, losses, damages, and consequences arising out of the nature of the work during its progress or prior to its acceptance including those for well and faithfully completing the work and the whole thereof in the manner and time specified in the aforesaid Contract Documents; and also including those arising from actions of the elements, unforeseen difficulties or obstructions encountered in the prosecution of the work, suspension or discontinuance of the work, and all other unknowns or risks of any description connected with the work.

B. This AGREEMENT is subject to the provisions of Article 1.7 (commencing at Section 20104.50) of Division 2, Part 3 of the Public Contract Code regarding prompt payment of CONTRACTORS by local governments. Article 1.7 mandates certain procedures for the payment of undisputed and properly submitted payment requests within 30 days after receipt, for the review of payment requests, for notice to CONTRACTOR of improper payment requests, and provides for the payment of interest on progress payment requests which are not timely made in accordance with that Article. This AGREEMENT hereby incorporates the provisions of Article 1.7 as though fully set forth herein.

C. At the request and expense of CONTRACTOR, securities equivalent to the amount withheld shall be deposited with AGENCY, or with a state or federally chartered bank in this state as the escrow agent, who shall then pay those moneys to CONTRACTOR upon AGENCY's confirmation of CONTRACTOR'S satisfactory completion of this AGREEMENT. At any time during the term of this AGREEMENT CONTRACTOR may, at its own expense, substitute securities for funds otherwise withheld as retention (or the retained percentage) in accordance with Public Contract Code § 22300.

ARTICLE IV: Labor Code

AGENCY and CONTRACTOR acknowledge that this AGREEMENT is subject to the provisions of Division 2, Part 7, Chapter 1 (commencing with Section 1720) of the California Labor Code relating to public works and public agencies and agree to be bound by all the provisions thereof as though set forth fully herein. Full compensation for conforming to the requirements of the Labor Code and with other Federal, State and local laws related to labor, and rules, regulations and ordinances which apply to any work performed pursuant to this AGREEMENT is included in the price for all contract items of work involved.

This AGREEMENT is further subject to prevailing wage law, including, but not limited to, the following:

A. The CONTRACTOR shall pay the prevailing wage rates for all work performed under the AGREEMENT. When any craft or classification is omitted from the general prevailing wage determinations, the CONTRACTOR shall pay the wage rate of the craft or classification most closely related to the omitted classification. The CONTRACTOR shall forfeit as a penalty to AGENCY \$200.00 or any greater penalty provided in the Labor Code for each Calendar Day, or portion thereof, for each worker paid less than the prevailing wage rates for any work done under the AGREEMENT in violation of the provisions of the Labor Code whether such worker is employed in the execution of the work by CONTRACTOR or by any Subcontractor under CONTRACTOR. In addition, CONTRACTOR shall pay each worker the difference between such prevailing wage rates and the amount paid to each worker for each Calendar Day, or portion thereof, for which each worker was paid less than the prevailing wage rate.

B. CONTRACTOR shall comply with the provisions of Labor Code Section 1777.5 concerning the employment of apprentices on public works projects, and further agrees that CONTRACTOR is responsible for compliance with Section 1777.5 by all of its subcontractors.

C. Pursuant to Labor Code § 1725.5, CONTRACTOR and any subcontractor must be registered with the California Department of Industrial Relations for any bid proposal submitted on or after March 1, 2015, and for any contract for public work entered into on or after April 1, 2015. Further, this project is subject to compliance monitoring and enforcement by the Department of Industrial Relations.

D. Pursuant to Labor Code § 1776, CONTRACTOR and any subcontractor shall keep accurate payroll records, showing the name, address, social security number, work classification, straight time and overtime hours worked each day and week, and the actual per diem wages paid to each journeyman, apprentice, worker, or other employee employed by him or her in connection with this AGREEMENT. Each payroll record shall contain or be verified by a written declaration that it is made under penalty of perjury, stating both of the following: (1) The information contained in the payroll record is true and correct; and (2) The employer has complied with the requirements of Labor Code §§ 1811, and 1815 for any work performed by his or her employees on the public works project. The payroll records enumerated under subdivision (a) shall be certified and shall be available for inspection at all reasonable hours as required by Labor Code § 1776.

E. This AGREEMENT is further subject to 8-hour work day and wage and hour penalty law, including, but not limited to, Labor Code Sections 1810 and 1813, as well as California nondiscrimination laws, as follows:

CONTRACTOR shall strictly adhere to the provisions of the Labor Code regarding the 8-hour day and the 40-hour week, overtime, Saturday, Sunday and holiday work and nondiscrimination on the basis of race, religious creed, color, national origin, ancestry, physical disability, mental disability, medical condition, marital status, sex or sexual orientation, except as provided in Section 12940 of the Government Code. Pursuant to the provisions of the Labor Code, eight hours' labor shall constitute a legal day's work. Work performed by CONTRACTOR's employees in excess of eight hours per day, and 40 hours during any one week, must include compensation for all hours worked in excess of eight hours per day, or 40 hours during any one week, at not less than one and one-half times the basic rate of pay. CONTRACTOR shall forfeit as a penalty to AGENCY \$25.00 or any greater penalty set forth in the Labor Code for each worker employed in the execution of the work by CONTRACTOR or by any Subcontractor of CONTRACTOR, for each Calendar Day during which such worker is required or permitted to the work more than eight hours in one Calendar Day or more than 40 hours in any one calendar week in violation of the Labor Code.

F. This AGREEMENT is subject to Public Contract Code Section 6109: CONTRACTOR shall be prohibited from performing work on this project with a subcontractor who is ineligible to perform work on the project pursuant to Sections 1777.1 or 1777.7 of the Labor Code.

ARTICLE V: Work Site Conditions

A. In compliance with and pursuant to Government Code Section 4215, AGENCY shall assume the responsibility, as between the parties to this AGREEMENT, for the timely removal, relocation, or protection of existing main- or trunk-line utility facilities located on the site of any construction project that is a subject of this AGREEMENT, if such utilities are not identified by AGENCY in the plans and specifications made a part of the invitation for bids. The Contract Documents shall include provisions to compensate CONTRACTOR for the costs of locating, repairing damage not due to the failure of CONTRACTOR to exercise reasonable care, and removing or relocating such utility facilities not indicated in the plans and specifications with reasonable accuracy and for equipment on the project necessarily idled during such work. CONTRACTOR shall not be assessed liquidated damages for delay in completion of the project, when such delay was caused by the failure of AGENCY or the owner of a utility to provide for removal or relocation of such utility facilities.

B. To the extent that the work requires trenches in excess of five feet (5') and is estimated to cost more than \$25,000, prior to any excavation, CONTRACTOR must provide the AGENCY, or a registered civil or structural engineer employed by the AGENCY to whom authority has been delegated to accept such plans, a detailed plan showing the design of shoring, bracing, sloping, or other provisions to be made for worker protection from the hazard of caving ground during the excavation of such trench or trenches. If such plan varies from the shoring system standards, the plan shall be prepared by a registered civil or structural engineer. Nothing in this section shall be deemed to allow the use of a shoring, sloping, or protective system less effective than that required by the Construction Safety Orders.

C. This AGREEMENT is further subject to Public Contract Code Section 7104 with regard to any trenches deeper than four feet (4') involved in the proposed work as follows:

CONTRACTOR shall promptly, and before the following conditions are disturbed, notify AGENCY, in writing, of any:

- (1) Material that CONTRACTOR believes may be hazardous waste, as defined in Section 25117 of the Health and Safety Code, which is required to be removed to a Class I, Class II, or Class III disposal site in accordance with existing law.
- (2) Subsurface or latent physical conditions at the site differing from those indicated by all available information provided prior to the deadline for submission of bids.
- (3) Unknown physical conditions at the site of any unusual nature, different materially from those ordinarily encountered and generally recognized as inherent in work of the character provided for in the contract.

AGENCY shall promptly investigate the conditions, and if it finds that the conditions do materially so differ, or involve hazardous waste, and cause a decrease or increase in CONTRACTOR's cost of, or the time required for, performance of any part of the work, AGENCY shall issue a change order under the procedures described in this AGREEMENT.

In the event that a dispute arises between AGENCY and CONTRACTOR whether the conditions materially differ, or involve hazardous waste, or cause a decrease or increase in CONTRACTOR's cost of, or time required for, performance of any part of the work, CONTRACTOR shall not be excused from any scheduled completion date provided in the AGREEMENT, but shall proceed with all work to be performed under the AGREEMENT. CONTRACTOR shall retain any and all rights provided either by contract or by law which pertain to the resolution of disputes and protests between the contracting parties.

ARTICLE VI: Insurance

A. With respect to performance of work under this AGREEMENT, CONTRACTOR shall maintain, and shall require all of its subcontractors to maintain, insurance as required by Section E "Standard Specifications" of the Contract Documents.

B. This AGREEMENT is further subject to Workers' Compensation obligations, including, but not limited to, California Labor Code Sections 1860 and 1861 as follows:

CONTRACTOR shall take out and maintain, during the life of this contract, Worker's Compensation Insurance for all of CONTRACTOR's employees employed at the site of improvement; and, if any work is sublet, CONTRACTOR shall require the subcontractor similarly to provide Worker's Compensation Insurance for all of the latter's employees, unless such employees are covered by the protection afforded by CONTRACTOR. CONTRACTOR and any of CONTRACTOR's subcontractors shall be required to provide AGENCY with a written statement acknowledging its obligation to secure payment of Worker's Compensation Insurance as required by Labor Code § 1861; to wit: 'I am aware of the provisions of Section 3700 of the Labor Code which require every employer to be insured against liability for workers' compensation or to undertake self-insurance in accordance with the provisions of that code, and I will comply with such provisions before commencing the performance of the work of this contract.' If any class of employees engaged in work under this AGREEMENT at the site of the Project is not protected under any Worker's Compensation law, CONTRACTOR shall provide and shall cause each subcontractor to provide adequate insurance for the protection of

employees not otherwise protected. CONTRACTOR shall indemnify and hold harmless AGENCY for any damage resulting from failure of either CONTRACTOR or any subcontractor to take out or maintain such insurance.

ARTICLE VII: Indemnification

To the fullest extent permitted by law, CONTRACTOR shall, at its sole cost and expense, fully defend, indemnify and hold harmless AGENCY, its authorized representatives and their respective subsidiaries, affiliates, members, directors, officers, employees and agents (collectively, the “Indemnitees”) from and against any and all claims, actions, demands, costs, judgments, liens, penalties, liabilities, damages, losses, and expenses, including but not limited to any fees of accountants, attorneys or other professionals (collectively “Liabilities”), arising out of, in connection with, resulting from or related to, any act, omission, fault or negligence of CONTRACTOR, CONTRACTOR’s Representative, or any of its officers, agents, employees, Subcontractors or Suppliers, or any person or organization directly or indirectly employed by any of them (Collectively, the “Indemnitors”), in connection with or relating to or claimed to be in connection with or relating to the work performed under this AGREEMENT.

If CONTRACTOR is a joint venture or partnership, each venturer or partner shall be jointly and severally liable for any and all of the duties and obligations of CONTRACTOR that are assumed under or arise out of this AGREEMENT. Each of such venturers or partners waives notice of the breach or non-performance of any undertaking or obligation of CONTRACTOR contained in, resulting from or assumed under this AGREEMENT, and the failure to give any such notice shall not affect or impair such venturer’s or partner’s joint and several liability hereunder.

ARTICLE VIII: Binding Effect

AGENCY and CONTRACTOR each binds itself, its partners, successors, assigns, and legal representatives to the other party hereto and to its partners, successors, assigns, and legal representatives in respect of all covenants, agreements, and obligations contained in the Contract Documents. This AGREEMENT is not assignable nor the performance of either party’s duties delegable without the prior written consent of the other party. Any attempted or purported assignment or delegation of any of the rights of obligations of either party without the prior written consent of the other shall be void and of no force and effect.

ARTICLE IX: Dispute Resolution

A. Any court action arising out of this AGREEMENT shall be filed in the Los Angeles County Superior Court. Any alternative dispute resolution proceeding arising out of this AGREEMENT shall be heard in the County of Los Angeles.

B. AGENCY shall have full authority to compromise or otherwise settle any claim relating to this AGREEMENT or any part hereof at any time. AGENCY shall provide timely notification to CONTRACTOR of the receipt of any third-party claim relating to this AGREEMENT. AGENCY shall be entitled to recover its reasonable costs incurred in providing the notification required by this section.

C. This AGREEMENT is further subject to the provisions of Article 1.5 (commencing at Section 20104) of Division 2, Part 3 of the Public Contract Code regarding the resolution of public works claims of less than \$375,000. Article 1.5 mandates certain procedures for the filing of claims and supporting documentation by CONTRACTOR, for the response to such claims by the AGENCY, for a mandatory meet and confer conference upon the request of CONTRACTOR, for mandatory nonbinding mediation in the event litigation is commenced, and for mandatory judicial arbitration upon the parties' failure to resolve the dispute through mediation. This AGREEMENT hereby incorporates the provisions of Article 1.5 as though fully set forth herein.

ARTICLE X: Independent CONTRACTOR

CONTRACTOR is and shall at all times remain as to AGENCY, a wholly independent CONTRACTOR. Neither AGENCY nor any of its agents shall have control of the conduct of CONTRACTOR or any of CONTRACTOR's employees, except as herein set forth. CONTRACTOR shall not at any time or in any manner represent that it or any of its agents or employees are in any manner agents or employees of AGENCY.

ARTICLE XI: Taxes

CONTRACTOR is responsible for paying all retail, sales and use, transportation, export, import, special or other taxes and duties applicable to, and assessable against any work, materials, equipment, services, processes and operations incidental to or involved in this AGREEMENT. The CONTRACTOR is responsible for ascertaining and arranging to pay such taxes and duties. The prices established in this AGREEMENT shall include compensation for any taxes the CONTRACTOR is required to pay by laws and regulations in effect as of the execution of this AGREEMENT.

ARTICLE XII: Notices

All notices and communications shall be sent in writing to the parties at the following addresses:

AGENCY: Alex Farassati
City of Calabaas
100 Civic Center Way
Calabasas, CA 91302-3172

CONTRACTOR: Ali Tavakoli
Marina Landscape, Inc.
3707 W. Garden Grove Road
Orange, CA 92868

ARTICLE XIII: Entire Agreement

This AGREEMENT supersedes any and all other agreements, either oral or written, between the parties and contains all of the covenants and agreements between the parties pertaining to the work of improvements described herein. Each party to this AGREEMENT acknowledges that no representations, inducements, promises or agreements, orally or otherwise, have been made by any party, or anyone acting on behalf of any party, which are not embodied herein, and that any other agreement, statement or promise not contained in this AGREEMENT shall not be valid or

binding. Any modification of this AGREEMENT will be effective only if signed by the party to be charged.

The benefits and obligations of this AGREEMENT shall inure to and be binding upon the representatives, agents, partners, heirs, successors and assigns of the parties hereto. This AGREEMENT shall be construed pursuant to the laws of the State of California.

ARTICLE XIV: Authority to Contract

The signatories hereto represent that they are authorized to sign on behalf of the respective parties they represent and are competent to do so, and each of the parties hereto hereby irrevocably waives any and all rights to challenge signatures on these bases.

ARTICLE XV: General Provisions

A. All reports, documents or other written material (“written products” herein) developed by CONTRACTOR in the performance of this Agreement shall be and remain the property of AGENCY without restriction or limitation upon its use or dissemination by AGENCY. CONTRACTOR may take and retain copies of such written products as desired, but no such written products shall be the subject of a copyright application by CONTRACTOR.

B. In the performance of this Agreement, CONTRACTOR shall not discriminate against any employee, subcontractor, or applicant for employment because of race, color, creed, religion, sex, marital status, sexual orientation, national origin, ancestry, age, physical or mental disability, medical condition or any other unlawful basis.

C. The captions appearing at the commencement of the sections hereof, and in any paragraph thereof, are descriptive only and for convenience in reference to this Agreement. Should there be any conflict between such heading, and the section or paragraph at the head of which it appears, the section or paragraph hereof, as the case may be, and not such heading, shall control and govern in the construction of this Agreement. Masculine or feminine pronouns shall be substituted for the neuter form and vice versa, and the plural shall be substituted for the singular form and vice versa, in any place or places herein in which the context requires such substitution(s).

D. The waiver by AGENCY or CONTRACTOR of any breach of any term, covenant or condition herein contained shall not be deemed to be a waiver of such term, covenant or condition or of any subsequent breach of the same or any other term, covenant or condition herein contained. No term, covenant or condition of this Agreement shall be deemed to have been waived by AGENCY or CONTRACTOR unless in writing.

E. Each right, power and remedy provided for herein or now or hereafter existing at law, in equity, by statute, or otherwise shall be cumulative and shall be in addition to every other right, power, or remedy provided for herein or now or hereafter existing at law, in equity, by statute, or otherwise. The exercise, the commencement of the exercise, or the forbearance of the exercise by any party of any one or more of such rights, powers or remedies shall not preclude the simultaneous or later exercise by such party of any of all of such other rights, powers or remedies.

F. CONTRACTOR shall maintain any and all ledgers, books of account, invoices, vouchers, canceled checks, and other records or documents evidencing or relating to charges for services or expenditures and disbursements charged to AGENCY under this Agreement for a minimum of three (3) years, or for any longer period required by law, from the date of final payment to CONTRACTOR under this Agreement. All such documents shall be made available for inspection, audit, and/or copying at any time during regular business hours, upon oral or written request of AGENCY. In addition, pursuant to Government Code Section 8546.7, if the amount of public funds expended under this Agreement exceeds ten thousand dollars, all such documents and this Agreement shall be subject to the examination and audit of the State Auditor, at the request of AGENCY or as part of any audit of AGENCY, for a period of three (3) years after final payment under the Agreement.

IN WITNESS WHEREOF the parties hereto for themselves, their heirs, executors, administrators, successors, and assigns do hereby agree to the full performance of the covenants herein contained and have caused this AGREEMENT to be executed in duplicate by setting hereunto their names, titles, hands, and seals this 23 day of October, 2019.

CONTRACTOR: Marina Landscape, Inc.

Sign Name, Title
Contractor's License No. 492862

Date

Date

AGENCY: City of Calabasas

David Shapiro, Mayor

Date

ATTESTED:

Maricela Hernandez, City Clerk

Date

APPROVED AS
TO FORM:

Scott Howard, City Attorney

Date

(EXECUTE IN DUPLICATE)

Attachment: Contractor's Bid Proposal

**BID PROPOSAL
EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
SPECIFICATION NO. 19-20-01
IN THE CITY OF CALABASAS, CALIFORNIA**

The undersigned, as bidder, declares that he/she has examined all of the contract documents and specifications contained in this project manual for the above referenced project, and that he/she will contract with the AGENCY on the form of contract provided herewith to do everything necessary for the fulfillment of this contract at the price, and on the terms and conditions therein contained.

The following are included and are to be considered as forming a part of this proposal: **BID PROPOSAL, BID SCHEDULE, BID BOND, NONCOLLUSION AFFIDAVIT, BID GUARANTEE** (if submitted in lieu of Bid Bond), **BIDDER INFORMATION, EXPERIENCE STATEMENT, DESIGNATION OF SUPPLIERS & SUBCONTRACTORS, BIDDER'S STATEMENT REGARDING INSURANCE COVERAGE, and STATEMENT REGARDING CONTRACTOR'S LICENSING LAWS.**

CONTRACTOR acknowledges receipt and inclusion of addenda 1 to 2 into this bid proposal and the contract documents.

Attached is a Bid Bond duly completed by a guarantee company authorized to carry on business in the State of California in the amount of at least 10% of the total amount of this proposal, or alternatively, there is attached a certified or cashier's check payable to the AGENCY or evidence of a cash payment to the AGENCY, in the amount of at least 10% of the total amount of our proposal.

If this proposal is accepted, we agree to sign the contract form and to furnish the Performance Bond and the Payment Bond (each to be 100% of the bid amount), the Maintenance Bond (to be 50% of the bid amount), and the required evidences of insurance within ten (10) calendar days after receiving written Notice of Award of Contract.

We further agree if our proposal is accepted and a contract for the performance of the work is entered into with the AGENCY, to so plan the work and to prosecute it with such diligence that all of the work shall be completed within the time stipulated in **SECTION E - TIME OF COMPLETION.**

NAME OF BIDDER: Marina Landscape, Inc

MAILING ADDRESS: 3707 W. Garden Grove Blvd

Orange, Ca 92868

STATE OF INCORPORATION: California

AUTHORIZED SIGNATURE:  Hue Ta

TITLE: Vice President of Estimating

DATE: 10/8/19

(If Company is a Corporation, provide corporate resolution per **B 1.06 PROPOSAL.**)

Approved for use on 1/1/2015
139885.2

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CITY of CALABASAS

ADDENDUM NO. 1

REQUEST FOR PROPOSALS (RFP)
Expansion of MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT

SPECIFICATION NO. 19-20-01

Date Issued: September 25, 2019

SUBJECT: STRIPPING PLANS & UPDATED BID SCHEDULE

All Proposers are required to note and sign page 1 of this Addendum and include with their sealed proposal. Proposals are due on Thursday, October 10, 2019 at 2:00 pm.

City of Calabasas
Alex Farassati
Project Manager

Acknowledgment of Addendum No. 1

COMPANY / AGENCY NAME: Marina Landscape, Inc

COMPANY ADDRESS: 3707 W. Garden Grove Blvd., Orange, Ca 92868

REPRESENTATIVE'S NAME: Hue Ta - Vice President of Estimating

SIGNATURE:  Date: 10/08/19

Stripping plans are added to the scope of work. Please see Attachment 1 and use the revised Bid Schedule on pages 2-3 to this Addendum No. 1.

End of Addendum No. 1



CITY of CALABASAS

ADDENDUM NO. 2

REQUEST FOR PROPOSALS (RFP)
Expansion of MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT

SPECIFICATION NO. 19-20-01

Date Issued: October 7, 2019

SUBJECT: RESPONSE TO QUESTIONS & REVISED BID SCHEDULE

All bidders are required to note and sign page 1 of this Addendum and include it with their sealed proposal. Proposals are due on Thursday, October 10, 2019 at 2:00 pm.

City of Calabasas
Alex Farassati
Project Manager

Acknowledgment of Addendum No. 2

COMPANY / AGENCY NAME: Marina Landscape, Inc

COMPANY ADDRESS: 3707 W. Garden Grove Blvd.,

Orange, Ca 92868

REPRESENTATIVE'S NAME: Hue Ta - Vice President of Estimating

SIGNATURE: _____

Date: 10/08/19

BID SCHEDULE
EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
SPECIFICATION NO. 19-20-01
IN THE CITY OF CALABASAS, CALIFORNIA

The cost of all labor, services, material, equipment and installation necessary for the completion of the work itemized under this schedule, even though not shown or specified, shall be included in the unit price for the various items shown herein. For a description of the work associated with each bid item, see **SECTION F-SPECIAL PROVISIONS**. The AGENCY reserves the right to increase or decrease the quantity of any item or omit items as may be necessary and the same shall in no way affect or void the contract, except that appropriate additions or deductions from the contract total price will be made at the stipulated unit price in accordance with these Contract Documents.

The AGENCY reserves the right to reject any and all bids, to waive any informality in a bid, and to make awards in the interest of the AGENCY.

The CONTRACTOR shall perform an independent take-off of the plans and bid accordingly. Quantities listed in this Bid Schedule are intended only as a guide for the CONTRACTOR as to the anticipated order of magnitude of work. The CONTRACTOR shall be responsible for verifying all estimated quantities. The CONTRACTOR will be reimbursed for the quantity of items actually installed as required by the Contract Documents, including addenda, and shown on the plans to neat line and grade.

The CONTRACTOR will not be reimbursed for work performed for his convenience, or as required to adapt to field conditions, or for unauthorized work performed outside of that required by the Contract Documents.

The CONTRACTOR shall be responsible for calculating and providing totals for the bid schedule. The proposal schedule shall include all costs for labor, services, material, equipment, and installation associated with completing the work in place per the plans, specifications and details.

NAME OF BIDDER: Marina Landscape, Inc
CONTRACTOR'S LICENSE NO.: 492862
AUTHORIZED SIGNATURE:  Hue Ta
TITLE: Vice President of Estimating
DATE: 10/8/19

Approved for use on 1/1/2015
139885.2



CITY OF CALABASAS

Addendum No. 2 Issued on 10/07/2019

BID SCHEDULE
 EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
 SPECIFICATION NO. 19-20-01 IN THE CITY OF CALABASAS, CALIFORNIA

No.	Item Description	Payment Reference	Est. Qty.	Unit	Unit Price	Item Amount
1	Mobilization, Bond, Insurance and As-built	701-3	1	LS	\$ 57,000	\$ 57,000
2	Protect Survey Monuments	702-2	1	LS	\$ 13,000	\$ 13,000
3	Traffic Control	704-10	1	LS	\$ 41,000	\$ 41,000
4	SWPPP	705-3	1	LS	\$ 12,000	\$ 12,000
5	Earthwork	707-3	692	CY	\$ 70	\$ 48,440
6	Remove existing A.C. Pavement and Base (10" approximate depth) per Demo Note A	706-5	120	CY	\$ 140	\$ 16,800
7	Remove existing A.C. Pavement and Base (15" approximate depth) per Demo Note B	706-5	280	CY	\$ 99	\$ 27,720
8	Remove existing A.C. Pavement, Base and curb and gutter per Demo Note C	706-5	1,812	SF	\$ 6.25	\$ 11,325
9	Sawcut (medians, trenches and gutters)	714-2	4,630	LF	\$ 4.25	\$ 19,677.50
10	Construct median with an 8" concrete curb (Type A1-200(8))	710-10	1,570	LF	\$ 40	\$ 62,800
11	Install 18" x 18" catch basin storm drain per Detail 7 on Sheet 14 or approved equal	712-2	2	EA	\$ 2,100	\$ 4,200
12	Construct grate inlet per Detail 2 & 3 on Sheet 14	712-2	8	EA	\$ 2,600	\$ 20,800
13	Construct new concrete curb and gutter inlet TYPE G3 with Type 18 Grate Cover per CALTRANS STD PLANS D72B H= 12 IN	712-2	7	EA	\$ 2,500	\$ 17,500
14	Construct 6" (1,090 LF) and 4" (335 LF) PVC per Detail 4 on Sheet 14	711-5	1,425	LF	\$ 9.55	\$ 13,608.75
15	Install 6" Perforated PVC along the center medians	711-5	530	LF	\$ 5.50	\$ 2,915
16	Construct median river rock per Note 8 including furnishing and placing of stone product	718-2	310	SF	\$ 6.00	\$ 1,860



CITY of CALABASAS

Addendum No. 2 Issued on 10/07/2019

17	Construct median river rock per Note 9 including furnishing, grouting and placing of stone product	718-2	200	SF	\$ 15	\$ 3,000
18	Remove existing and replace grouted river rock for connection to existing catch basin in median. Use 6" to 9" stones.	718-2	32	SF	\$ 15	\$ 480
19	Construct new A.C. pavement and base to match existing pavement section plus 1 inch	709-7	3,100	SF	\$ 11	\$ 34,100
20	Backfilling & Landscaping	716-26	1	LS	\$42,000 113,000 LT	\$ 92,000 113,000 LT
21	Install irrigation system	717-19	1	LS	\$ 14,000	\$ 14,000
22	Install 4" irrigation sleeve under street	716-19	970	LF	\$ 6	\$ 5,820
23	Install cleanouts	711-5	14	EA	\$ 390	\$ 5,460
24	Connect to 2 existing catch basins	713-2	1	LS	\$ 1,800	\$ 1,800
25	Re-stripe "STOP" Marking	715-9	5	EA	\$ 156	\$ 780
26	Re-stripe 12" White Limit Line	715-9	95	LF	\$ 3	\$ 285
27	Re-stripe Detail 9	715-9	3,660	LF	\$ 1.10	\$ 4,026
28	Re-stripe Detail 32	715-9	620	LF	\$ 3	\$ 285 1,860 LT
29	Install Detail 25A Markings	715-9	1,570	LF	\$7.16 4.80 LT	\$4,926 7,536 LT
30	Re-stripe Detail 29	715-9	310	LF	\$2.30 LT	\$ 713
31	Re-stripe Detail 38	715-9	750	LF	\$ 2.30	\$ 1,725
32	Re-paint Red Curb	715-9	595	LF	\$ 3.90	\$ 2,320.50
33	Re-stripe Detail 22	715-9	1,000	LF	\$ 2.30	\$ 2,300
34	Re-stripe Type IV (L) Turn Arrow	715-9	6	EA	\$ 94	\$ 564
35	Re-Stripe Detail 41	715-9	40	LF	\$ 1.25	\$ 50
36	Install New Post with OM1-3 Sign and R4-7 Sign	715-9	6	EA	\$338	\$ 2,028
37	Install Yellow Reflective Markers on Top of Curb	715-9	24	EA	\$ 10.15	\$ 243.60
Total						572,737.35



Addendum No. 2 Issued on 10/07/2019

The CONTRACTOR shall be responsible for calculating and providing unit prices for the schedule. The proposal schedule shall include all costs for services, labor, materials, equipment, and installation associated in completing the work in place per the Specifications and details. The CONTRACTOR guarantees that the bid proposal shall be valid for at least 90 days from the bid opening date.

Bid Schedule Total: \$ 572,737.35

Bid Schedule Total (in words): Five hundred seventy two thousand seven hundred thirty seven dollars and thirty five cents

Marina Landscape, Inc (Company Name of Bidder)	 (Signature)	Hue Ta - Vice President of Estimating (Date)	10/08/19
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End of Addendum No. 2

BID BOND
EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
SPECIFICATION NO. 19-20-01
IN THE CITY OF CALABASAS, CALIFORNIA

KNOW ALL MEN BY THESE PRESENTS that Bidder Marina Landscape, Inc., as PRINCIPAL, and Berkley Insurance Company, as SURETY, are held and firmly bound unto the City of Calabasas as AGENCY, in the penal sum of Fifty seven thousand two hundred seventy three dollars and seventy cents dollars (\$ 57,273.70), which is ten percent (10%) of the total amount bid by PRINCIPAL to AGENCY for the above stated project, for the payment of which sum, PRINCIPAL and SURETY agree to be bound, jointly and severally, firmly by these presents.

The SURETY, for value received, hereby stipulates and agrees that the obligations of said SURETY and its BOND shall be in no way impaired or affected by any extension of the time within which the AGENCY may accept such Bid, and said SURETY does hereby waive notice of any such extension.

THE CONDITIONS OF THIS OBLIGATION ARE SUCH that, whereas PRINCIPAL is about to submit a bid to AGENCY for the above stated project, if said bid is rejected, or if said bid is accepted and a contract is awarded and entered into by PRINCIPAL in the manner and time specified, and PRINCIPAL provides the required payment and performance bonds and insurance coverages to AGENCY, then this obligation shall be null and void, otherwise it shall remain in full force and effect in favor of AGENCY.

IN WITNESS WHEREOF the parties hereto have set their names, titles, hands, and seals this 23rd day of September, 2019.

PRINCIPAL* Marina Landscape, Inc.
3707 W. Garden Grove Blvd., Orange, CA 92868
714-939-6800
Hue Tol Vice President of Estimating

SURETY* Berkley Insurance Company
4 Hutton Centre Drive, Suite 640, Santa Ana, CA 92707
973-775-5261
Matthew J. Coats
Matthew J. Coats, Attorney-in-Fact

*Provide BIDDER and SURETY name, address and telephone number and the name, title, address and telephone number for their authorized representatives. Power of Attorney must be attached.

CERTIFICATE OF ACKNOWLEDGMENT

State of California
County of _____

On _____ before me, _____, personally appeared _____ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____ (SEAL)

Please see following pages
for Acknowledgment

BID GUARANTEE
EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
SPECIFICATION NO. 19-20-01
IN THE CITY OF CALABASAS, CALIFORNIA

Note: The following statement shall be used if other than a bid surety bond accompanies bid.

"Accompanying this proposal is a money order, certified check, cashier's check, cash, payable to the order of the City of Calabasas in the amount of _____ Dollars (\$_____) which is at least ten percent (10%) of the total amount of this bid. The proceeds of this bid guarantee shall become the property of the City of Calabasas provided this bid is accepted by said City, through action of its legally constituted contracting authorities, and the undersigned fails to execute a contract and furnish the required bonds and insurance within the stipulated time. Otherwise, the proceeds of this bid guarantee shall be returned to the undersigned."

NAME OF BIDDER: _____

MAILING ADDRESS: _____

AUTHORIZED SIGNATURE: _____

TITLE: _____

DATE: _____

Please see the attached surety bond

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
 County of Orange)
 On SEP 23 2019 before me, Summer L. Reyes, Notary Public
Date Here Insert Name and Title of the Officer
 personally appeared Matthew J. Coats
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____ Document Date: _____
 Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____	Signer's Name: _____
<input type="checkbox"/> Corporate Officer — Title(s): _____	<input type="checkbox"/> Corporate Officer — Title(s): _____
<input type="checkbox"/> Partner — <input type="checkbox"/> Limited <input type="checkbox"/> General	<input type="checkbox"/> Partner — <input type="checkbox"/> Limited <input type="checkbox"/> General
<input type="checkbox"/> Individual <input type="checkbox"/> Attorney in Fact	<input type="checkbox"/> Individual <input type="checkbox"/> Attorney in Fact
<input type="checkbox"/> Trustee <input type="checkbox"/> Guardian or Conservator	<input type="checkbox"/> Trustee <input type="checkbox"/> Guardian or Conservator
<input type="checkbox"/> Other: _____	<input type="checkbox"/> Other: _____
Signer Is Representing: _____	Signer Is Representing: _____

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Orange

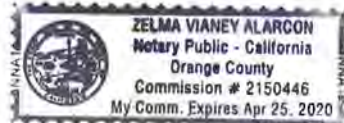
On October 8th, 2019 before me, Zelma Vianey Alarcon, Notary Public
(insert name and title of the officer)

personally appeared Hue Ta
who proved to me on the basis of satisfactory evidence to be the person~~(s)~~ whose name~~(s)~~ is/~~are~~
subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in
his/~~her/their~~ authorized capacity~~(ies)~~, and that by his/~~her/their~~ signature~~(s)~~ on the instrument the
person~~(s)~~, or the entity upon behalf of which the person~~(s)~~ acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature] (Seal)



No. BI-7987c

POWER OF ATTORNEY
BERKLEY INSURANCE COMPANY
WILMINGTON, DELAWARE

NOTICE: The warning found elsewhere in this Power of Attorney affects the validity thereof. Please review carefully.

KNOW ALL MEN BY THESE PRESENTS, that BERKLEY INSURANCE COMPANY (the "Company"), a corporation duly organized and existing under the laws of the State of Delaware, having its principal office in Greenwich, CT, has made, constituted and appointed, and does by these presents make, constitute and appoint: *Linda D. Coats or Matthew J. Coats of Coats Surety Insurance Services, Inc. of Laguna Hills, CA* its true and lawful Attorney-in-Fact, to sign its name as surety only as delineated below and to execute, seal, acknowledge and deliver any and all bonds and undertakings, with the exception of Financial Guaranty Insurance, providing that no single obligation shall exceed **Fifty Million and 00/100 U.S. Dollars (U.S.\$50,000,000.00)**, to the same extent as if such bonds had been duly executed and acknowledged by the regularly elected officers of the Company at its principal office in their own proper persons.

This Power of Attorney shall be construed and enforced in accordance with, and governed by, the laws of the State of Delaware, without giving effect to the principles of conflicts of laws thereof. This Power of Attorney is granted pursuant to the following resolutions which were duly and validly adopted at a meeting of the Board of Directors of the Company held on January 25, 2010:

RESOLVED, that, with respect to the Surety business written by Berkley Surety, the Chairman of the Board, Chief Executive Officer, President or any Vice President of the Company, in conjunction with the Secretary or any Assistant Secretary are hereby authorized to execute powers of attorney authorizing and qualifying the attorney-in-fact named therein to execute bonds, undertakings, recognizances, or other suretyship obligations on behalf of the Company, and to affix the corporate seal of the Company to powers of attorney executed pursuant hereto; and said officers may remove any such attorney-in-fact and revoke any power of attorney previously granted; and further

RESOLVED, that such power of attorney limits the acts of those named therein to the bonds, undertakings, recognizances, or other suretyship obligations specifically named therein, and they have no authority to bind the Company except in the manner and to the extent therein stated; and further

RESOLVED, that such power of attorney revokes all previous powers issued on behalf of the attorney-in-fact named; and further

RESOLVED, that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any power of attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligation of the Company; and such signature and seal when so used shall have the same force and effect as though manually affixed. The Company may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Company, notwithstanding the fact that they may have ceased to be such at the time when such instruments shall be issued.

IN WITNESS WHEREOF, the Company has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 13th day of MAY, 2019.

Attest:

(Seal) By Ira S. Lederman
Executive Vice President & Secretary

Berkley Insurance Company
By Jeffrey M. Hafer
Senior Vice President

WARNING: THIS POWER INVALID IF NOT PRINTED ON BLUE "BERKLEY" SECURITY PAPER.

STATE OF CONNECTICUT)
) ss:
COUNTY OF FAIRFIELD)

Sworn to before me, a Notary Public in the State of Connecticut, this 13th day of MAY, 2019, by Ira S. Lederman and Jeffrey M. Hafer who are sworn to me to be the Executive Vice President and Secretary, and the Senior Vice President, respectively, of Berkley Insurance Company.

MARIA C RUNDRAKEN
NOTARY PUBLIC
CONNECTICUT
MY COMMISSION EXPIRES
APRIL 30, 2024

Maria C. Rundraken
Notary Public, State of Connecticut

CERTIFICATE

I, the undersigned, Assistant Secretary of BERKLEY INSURANCE COMPANY, DO HEREBY CERTIFY that the foregoing is a true, correct and complete copy of the original Power of Attorney; that said Power of Attorney has not been revoked or rescinded and that the authority of the Attorney-in-Fact set forth therein, who executed the bond or undertaking to which this Power of Attorney is attached, is in full force and effect as of this date.

Given under my hand and seal of the Company, this 23rd day of September, 2019.

(Seal)

Vincent P. Forte
Vincent P. Forte

WARNING - Any unauthorized reproduction or alteration of this document is prohibited. This power of attorney is void unless seals are readable and the certification seal at the bottom is embossed. The background (uprint, warning and verification instructions (on reverse) must be in blue ink.

BIDDER INFORMATION
EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
SPECIFICATION NO. 19-20-01
IN THE CITY OF CALABASAS, CALIFORNIA

BIDDER certifies that the following information is true and correct:

Name of Bidder: Marina Landscape, Inc

Business Address: 3707 W. Garden Grove Blvd, Orange Ca 92868

Telephone: 714-939-6600 FAX: 714-935-1199

E-mail: Estimator@MarinaCo.com

CONTRACTOR's License No.: 492862 Date License Issued: 06/03/1986

License Expiration Date: 06/30/2020

The following are the names, titles, addresses, and phone numbers of all individuals, firm members, partners, joint venturers, and/or corporate officers having a principal interest in this proposal:
(Name / Title / Address / Telephone)

Robert B Cowan / President / 3707 W. Garden Grove Blvd, Orage, Ca 92868 / 714-939-6600

Any voluntary or involuntary bankruptcy judgments against any principal having an interest in this proposal are as follows: (Type of Judgment / Date)

No

All current and prior DBA's, aliases, and/or fictitious business names for any principal having an interest in this proposal are as follows: (Principal / DBA's / Applicable Dates)

No

Prior Disqualification

Has your firm ever been disqualified from performing work for any City, County, Public or Private Contracting entity? Yes / No NO. If yes, provide the following information. (If more than once, use separate sheets):

Date: _____ Entity: _____

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Location: N/A

Reason: N/A

Provide Status and any Supplemental Statement: N/A

Has your firm been reinstated by this entity? Yes / No N/A

Violations of Federal or State Law

A. Has your firm or its officers been assessed any penalties by any agency for noncompliance, violations of Federal or State labor laws and/or business or licensing regulations within the past five (5) years relating to your construction projects?

Yes / No: No Federal / State: _____

If "yes", identify and describe, (including status): N/A

Have the penalties been paid? Yes / No: N/A

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B. Does your firm or its officers have any ongoing investigations by any agency regarding violations of the State Labor Code, California Business and Professions Code or State Licensing laws?

Yes / No: NO Codes / Laws: N/A Section / Article: N/A

If "yes", identify and describe (including status): N/A

I declare under penalty of perjury under the laws of the State of California that all of the representations made in this **BIDDER INFORMATION** are true and correct. Executed this 8th day of October, 2019 at 3707 W. Garden Grove Blvd, Orange, California.

Authorized Representative: Signature 

Title Vice President of Estimating

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Orange

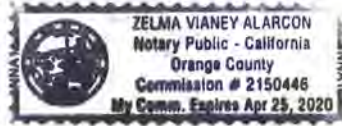
On October 8th, 2019 before me, Zelma Vianey Alarcon, Notary Public
(insert name and title of the officer)

personally appeared Hue Ta
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she~~~~they~~ executed the same in his/~~her~~~~their~~ authorized capacity(ies), and that by his/~~her~~~~their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature  (Seal)



**EXPERIENCE STATEMENT
EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
SPECIFICATION NO. 19-20-01
IN THE CITY OF CALABASAS, CALIFORNIA**

Pursuant to this **BID PROPOSAL** and **QUALIFICATION OF BIDDERS**, the following is a record of the Bidder's experience in construction of a type similar in magnitude and character to that contemplated under this contract. Included in this section should be a complete list of references for similar projects in terms of scope of work, value of work, and time constraints. The CONTRACTOR must demonstrate that he/she has experience with this type of project and can manage this project effectively. If necessary, additional numbered pages can be attached to this page. The CONTRACTOR must be properly licensed to perform the work in this project as determined by the State CONTRACTOR's License Board.

Project Title: Tustin Legacy Linear Park Segment 3 & 4 Client: City of Tustin

Date: In Progress Project Value: \$4,563,290.00 Contact: Joann Wu Tel # (714)573-3157

Description: Irrigation & Landscape for new development

Subject to Federal Labor Standards: Yes No

Project Title: Knox Ave. & Citrus Ave. Landscape Client: SC Fontana Development

Date: 01/29/19 Project Value: \$1,472,571.00 Contact: not specific Tel # 909-985-0971

Description: Irrigation and Landscape work along Knox Avenue Shady trail

Subject to Federal Labor Standards: Yes No

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EXPERIENCE STATEMENT (Continued)
EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
SPECIFICATION NO. 19-20-01
IN THE CITY OF CALABASAS, CALIFORNIA

Project Title: Alton Parkway Landscape Enhancement Project Client: City of Irvine

Date: 1/11/18 Project Value: \$249,509.00 Contact: not specific Tel # 949-724-6000

Description: Irrigation and tree planting for street enhancement

Subject to Federal Labor Standards: Yes No

Project Title: Elementary School #10 Client: Menifee Union School District

Date: 03/15/17 Project Value: \$714,762.00 Contact: not specific Tel # (951) 672-1851

Description: Construction of a new elementary school in the City of Menifee

Subject to Federal Labor Standards: Yes No

I declare under penalty of perjury under the laws of the State of California that all of the representations made in this EXPERIENCE STATEMENT are true and correct. Executed this 8th day of October, 2019, at 3707 W. Garden Grove Blvd, Orange, California.

Authorized Representative: Signature 

Title Hue Ta - Vice President of Estimating

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ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Orange

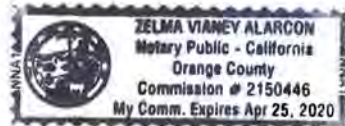
On October 8th, 2019 before me, Zelma Vianey Alarcon, Notary Public
(insert name and title of the officer)

personally appeared Hue Ta,
who proved to me on the basis of satisfactory evidence to be the person~~(s)~~ whose name~~(s)~~ is/~~are~~
subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in
his/~~her/their~~ authorized capacity~~(ies)~~, and that by his/~~her/their~~ signature~~(s)~~ on the instrument the
person~~(s)~~, or the entity upon behalf of which the person~~(s)~~ acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature  (Seal)



**DESIGNATION OF SUPPLIERS AND SUBCONTRACTORS
 EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
 SPECIFICATION NO. 19-20-01
 IN THE CITY OF CALABASAS, CALIFORNIA**

The following is a list of subcontractors and suppliers, as defined in 2-3 SUBCONTRACTS of the Standard Specifications, who will perform work or provide materials of value in excess of one-half of one percent of the total bid price or \$10,000, whichever is greater.

No subcontractor shall perform work in excess of the amount specified in 2-3 SUBCONTRACTS of the Standard Specifications, without the written approval of the AGENCY.

The CONTRACTOR is responsible to ensure that appropriate provisions are to be inserted in all subcontracts to bind subcontractors to the contract requirements as contained herein.

Each subcontractor must agree to comply with all applicable Federal, State, and local requirements.

Name, License No., and Address of Subcontractor	Employer Tax Id #	MBE/WBE (Y/N)	Work Subcontracted	Portion of Work (% of Contract Price)
Loft Land Surveying Inc #15111 614 N Eckhoff St Orange CA 92666	33-2169962	N	Survey	
Superior Pavement Markings # 776306 5512 Cypress St Cypress, CA 95630	20-4518251	N	striping	3.4%
Advanced Engineering & Consulting #RCE16844 22837 Ventura Blvd Woodland Hills CA 91364	27-0391216	N	Survey	1.7%
Pavement Recycling Systems Inc # 568952 12240 San Sevaire Way Jupiter Valley, CA 91792	33-0353433	N	Asphalt Demo	8.0%
EBBS General Engineering # 720216A 1545 Quarry St #101 Comma CA 92879	33-0634599	N	Asphalt & concrete	1.0%

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Name, License No., and Address of Subcontractor	Employer Tax Id #	MBE/WBE (Y/N)	Work Subcontracted	Portion of Work (% of Contract Price)
Maxey Traffic Control 1017241	31-2821385	N	Traffic Control	4.3%
1444 Second St Fallbrook CA 92028				

These representations are made under the penalty of perjury under the laws of the State of California. The undersigned hereby certifies that each subcontractor has been notified in writing of its equal opportunity obligations.

NAME OF BIDDER: Marina Landscape, Inc

AUTHORIZED SIGNATURE:  Hue Ta - Vice President of Estimating

Date: 10/08/19

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Orange)

On October 8th, 2019 before me, Zelma Vianey Alarcon, Notary Public
(insert name and title of the officer)

personally appeared Hue Ta
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in his/~~her~~/their authorized capacity(ies), and that by his/~~her~~/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature  (Seal)



STATEMENT REGARDING INSURANCE COVERAGE
EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
SPECIFICATION NO. 19-20-01
IN THE CITY OF CALABASAS, CALIFORNIA

The undersigned representative of Bidder hereby certifies that he/she has reviewed the insurance coverage requirements specified in 7-3 **LIABILITY INSURANCE** of Section E, Standard Specifications. Should Bidder be awarded the contract for the work, the undersigned further certifies that Bidder can meet all of these specification requirements for insurance including insurance coverage of his/her subcontractors.

NAME OF BIDDER: Marina Landscape, Inc
MAILING ADDRESS: 3707 W. Garden Grove Blvd
Orange, Ca 92868
AUTHORIZED SIGNATURE: 
TITLE: Hue Ta - Vice President of Estimating
DATE: 10/08/19

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STATEMENT REGARDING CONTRACTOR'S LICENSING LAWS
EXPANSION OF MALIBU HILLS ROAD STORMWATER ENHANCEMENT PROJECT
SPECIFICATION NO. 19-20-01
IN THE CITY OF CALABASAS, CALIFORNIA
[Business & Professions Code § 7028.15]
[Public Contract Code § 20103.5]

I, the undersigned, certify that I am aware of the following provisions of California law and that I, or the entity on whose behalf this certification is given, hold a currently valid California CONTRACTOR's license as set forth below:

Business & Professions Code § 7028.15:

- a) **It is a misdemeanor for any person to submit a bid to a public agency to engage in the business or act in the capacity of a CONTRACTOR within this state without having a license therefor, except in any of the following cases:**

(1)The person is particularly exempted from this chapter.

(2)The bid is submitted on a state project governed by Section 10164 of the Public Contract Code or on any local agency project governed by Section 20104 [now § 20103.5] of the Public Contract Code.

- b) If a person has been previously convicted of the offense described in this section, the court shall impose a fine of 20 percent of the price of the contract under which the unlicensed person performed contracting work, or four thousand five hundred dollars (\$4,500), whichever is greater, or imprisonment in the county jail for not less than 10 days nor more than six months, or both.

In the event the person performing the contracting work has agreed to furnish materials and labor on an hourly basis, "the price of the contract" for the purposes of this subdivision means the aggregate sum of the cost of materials and labor furnished and the cost of completing the work to be performed.

- c) This section shall not apply to a joint venture license, as required by Section 7029.1. However, at the time of making a bid as a joint venture, each person submitting the bid shall be subject to this section with respect to his/her individual licenser.
- d) This section shall not affect the right or ability of a licensed architect, land surveyor, or registered professional engineer to form joint ventures with licensed CONTRACTORS to render services within the scope of their respective practices.
- e) Unless one of the foregoing exceptions applies, a bid submitted to a public agency by a CONTRACTOR who is not licensed in accordance with this chapter shall be considered nonresponsive and shall be rejected by the public agency. Unless one of the foregoing exceptions applies, a local public agency shall, before awarding a contract or issuing a purchase order, verify that the CONTRACTOR was properly licensed when the CONTRACTOR submitted the bid. Notwithstanding any other provision of law, unless one of the foregoing exceptions applies, the registrar may issue a citation to any public officer or employee of a public entity who knowingly awards a contract or issues a purchase order to a CONTRACTOR who is not licensed pursuant to this chapter. The amount of civil penalties, appeal, and finality of such citations shall be subject to Sections 7028.7 to 7028.13, inclusive. **Any contract awarded to, or any purchase order issued to, as CONTRACTOR who is not licensed pursuant to this chapter is void.**


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- f) Any compliance or noncompliance with subdivision (e) of this section, as added by Chapter 863 of the Statutes of 1989, shall not invalidate any contract or bid awarded by a public agency during which time that subdivision was in effect.
- g) A public employee or officer shall not be subject to a citation pursuant to this section if the public employee, officer, or employing agency made an inquiry to the board for the purposes of verifying the license status of any person or CONTRACTOR and the board failed to respond to the inquiry within three business days. For purposes of this section, a telephone response by the board shall be deemed sufficient.

Public Contract Code § 20103.5:

In all contracts subject to this part where federal funds are involved, no bid submitted shall be invalidated by the failure of the bidder to be licensed in accordance with the laws of this state. However, at the time the contract is awarded, the CONTRACTOR shall be properly licensed in accordance with the laws of this state. The first payment for work or material under any contract shall not be made unless and until the Registrar of CONTRACTORS verifies to the AGENCY that the records of the CONTRACTORS' State License Board indicate that the CONTRACTOR was properly licensed at the time the contract was awarded. Any bidder or CONTRACTOR not so licensed shall be subject to all legal penalties imposed by law, including, but not limited to, any appropriate disciplinary action by the CONTRACTORS' State License Board. The AGENCY shall include a statement to that effect in the standard form of pre-qualification questionnaire and financial statement. **Failure of the bidder to obtain proper and adequate licensing for an award of a contract shall constitute a failure to execute the contract and shall result in the forfeiture of the security of the bidder.**

CONTRACTOR's License Number: 492862
License Expiration Date: 06/30/2020
Authorized Signature:  Hue Ta - Vice President of Estimating
Date: 10/08/19

Approved for use on 1/1/2015
139885.2



landscape construction
landscape maintenance
landscape architecture
erosion control
design build

Marina Landscape, Inc.

Resolution to Sign Contracts, Bid Documents and Bid Bonds

Whereas, the Corporation requires an additional person as the Corporate Assistant Secretary for signing and executing the Contracts, Bid Documents, and Bid Bonds in the absence of the Secretary. Whereas, it would be desirous to have two (2) Assistant Secretaries available to sign Documents, or in the absence of the President/CEO/Secretary, be it:

Resolved, that the CFO, Vice Presidents, and Assistant Secretaries of this Corporation be hereby authorized and empowered to sign Contracts, Bid Documents and Bid Bonds, in the name of and on behalf of this Corporation.

Resolved, that Hue Ta is assigned the title of Vice President of Estimating, and is authorized as such to sign Contracts, Bid Documents, and Bid Bonds.

The undersigned hereby certifies that he is the duly elected and qualified Secretary and the custodian of the books and records and seal of Marina Landscape, Inc., a corporation duly formed pursuant to the laws of the state of California and that the foregoing is a true record of a resolution duly adopted at a special meeting of the Board of Directors and that said meeting was held in accordance with state law and the Bylaws of the above-named Corporation on March 1, 2019, and that said resolution is now in full force and effect without modification or rescission.

In witness whereof, I have executed my name as Secretary and have hereunto affixed the corporate seal of the above-named Corporation this 1st day of March, 2019.

Robert B. Cowan, Secretary
Marina Landscape, Inc.

MARINA LANDSCAPE, INC.

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CITY of CALABASAS
CITY COUNCIL AGENDA REPORT

DATE: OCTOBER 7, 2019

TO: HONORABLE MAYOR AND COUNCILMEMBERS

FROM: MATTHEW T. SUMMERS, ASSISTANT CITY ATTORNEY
MARICELA HERNANDEZ, MMC, CMPC, CITY CLERK *Mari*

SUBJECT: CERTIFICATION OF INITIATIVE PETITION ENTITLED, "CALABASAS NEIGHBORHOOD PRESERVATION INITIATIVE". CONSIDERATION OF A) ADOPTION OF ORDINANCE NO. 2019-380; B) CONSIDERATION FOR SUBMISSION TO THE VOTERS OF ORDINANCE NO. 2019-380 OR C) DIRECTION TO STAFF TO PREPARE AN ELECTIONS CODE SECTION 9212 REPORT ON THE INITIATIVE'S IMPACTS. IF ADOPTED BY THE CITY COUNCIL OR APPROVED BY THE VOTERS, ORDINANCE NO. 2019-380 WOULD AMEND THE CALABASAS GENERAL PLAN AND CALABASAS MUNICIPAL CODE; AND ADOPT A NEW SPECIFIC PLAN ALLOWING UP TO 161 NEW MARKET-RATE APARTMENT UNITS, WITHIN AN EXISTING 600-UNIT APARTMENT COMPLEX AT 3831 NORTH ORCHID LANE, CALABASAS, CA, KNOWN AS THE AVALON CALABASAS PROPERTY. ORDINANCE NO. 2019-380, IF ADOPTED, WOULD ALSO REQUIRE THAT AT LEAST TEN PERCENT OF THE COMPLEX'S UNITS BE RESERVED FOR FIFTY-FIVE YEARS AS DEED-RESTRICTED AFFORDABLE UNITS, DESIGNATING 60 UNITS FOR MODERATE INCOME HOUSEHOLDS AND 20 UNITS FOR VERY-LOW INCOME HOUSEHOLDS. ADOPTION OF ORDINANCE NO. 2019-380 IS EXEMPT FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

MEETING
DATE: OCTOBER 23, 2019

SUMMARY:

On July 10, 2019, three Calabasas residents submitted a proposed initiative. If the proposed initiative is approved by the City's voters or the Calabasas City Council,

this initiative would amend the Calabasas General Plan and Calabasas Municipal Code. It would also adopt a new specific plan allowing up to 161 new market-rate apartment units, within an existing 600-unit apartment complex at 3831 North Orchid Lane, Calabasas, CA, known as the Avalon Calabasas property. The initiative requires that at least ten percent of the complex's units be reserved for fifty-five years as deed-restricted affordable units, designating 60 units for moderate income households and 20 units for very-low income households. The City Council has three options: 1) adopt the initiative as proposed; 2) submit the initiative to the voters; 3) direct staff to prepare a report regarding the initiative's impacts, to return at the next regular meeting or a special meeting, at which meeting the Council may either adopt the initiative as proposed or submit the initiative to the voters.

DISCUSSION/ANALYSIS:

On September 13, 2019, the City Clerk received the initiative petition with 2,157 signatures. To qualify for the ballot in Calabasas the petition required at least 1,579 valid signatures.

On September 19, 2019, the City Clerk sent the petition to the Los Angeles County Registrar of Voters for signature verification. On October 7, 2019, the County Registrar of Voters completed the signature verification process finding enough valid signatures. The City Clerk certified the initiative petition as containing sufficient valid signatures of persons registered to vote in the City.

NEXT STEPS:

That the City Council receive and file the attached City Clerk's Certificate of Sufficiency as to Certification of the Signatures on the Initiative Petition entitled, "Calabasas Neighborhood Preservation Initiative;" and

The City Council may take one of three actions:

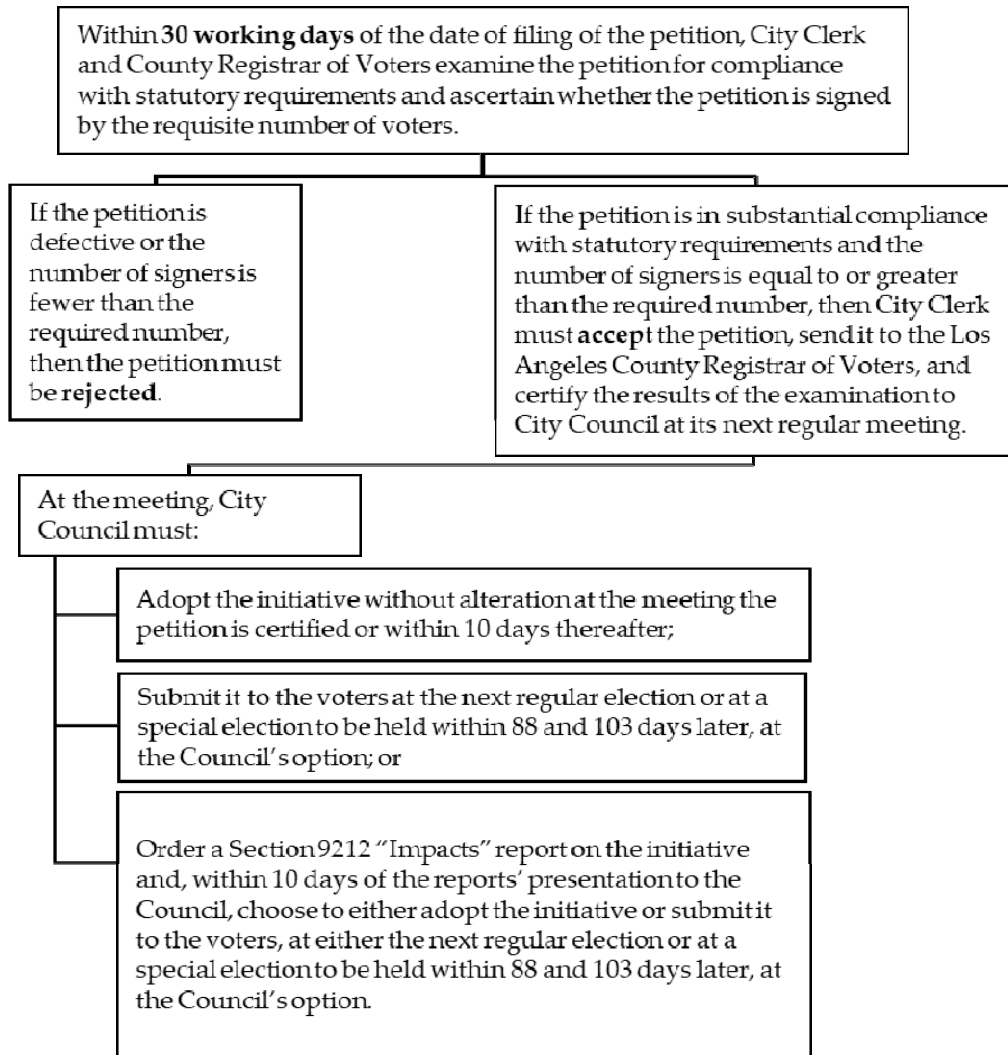
1. Adopt the proposed initiative exactly as proposed, by majority vote.
2. Submit the proposed initiative to the City's voters for approval or rejection, by majority vote.
 - a. If submitted to the voters, the City Council can choose either a special election, to be held within 88-103 days of calling for it, or the November 3, 2020 general election.
3. Order a public report discussing the impacts of the proposed initiative. The "Impacts" report may address any topic, as asked by the City Council, including:
 - a. fiscal impact,

- b. effect on the internal consistency of the City's general and specific plans,
- c. effect on land use,
- d. impact on funding for infrastructure,
- e. impact on the community's ability to attract and retain business and employment,
- f. impact on the uses of vacant parcels of land, and
- g. any other matters.

If ordered, the report must return to the City Council within 30 days. Unless a special meeting is scheduled, this report would be expected to return to the City Council at the November 13, 2019 meeting. The City Council could also call a special meeting to consider the report, within ten days of receiving it. At that next meeting, the City Council must then decide whether to:

- 1. Adopt the proposed initiative exactly as proposed by the petitioners, by majority vote.
- 2. Submit the proposed initiative to the voters for their approval or rejection, by majority vote.
 - a. If submitted to the voters, the City Council can choose either a special election, to be held within 88-103 days, or the November 3, 2020 general election.

Flowchart for City Council Options:



ALTERNATIVE ACTIONS AVAILABLE TO THE CITY COUNCIL

Alternative 1: Adopt the proposed initiative exactly as proposed, by majority vote:

If the City Council would like to adopt the initiative ordinance as proposed, it may do so at this meeting, or after ordering and considering the "Impacts" Report under Elections Code section 9212. Adoption of the ordinance is exempt from review under the California Environmental Quality Act. (*Tuolumne Jobs & Small Business Alliance v. Superior Court* (2014) 59 Cal.4th 1029, 1043.)

Alternative 2: Submit the proposed initiative to the City's voters for approval or rejection, by majority vote:

- a. If submitted to the voters, the City Council can choose either a special election, to be held within 88-103 days, or the November 3, 2020 general election.

If submitted to the voters, the City Council has the option to place the initiative on the next regular election, on November 3, 2020, or at an upcoming special election. If the City Council would like to submit the initiative to the voters at the November 3, 2020 general election, the City Council may do so at this meeting or after ordering and considering the "Impacts" Report.

If the City Council would like to submit the initiative to the voters at the upcoming March 3, 2020, primary election, then the City Council must first order the "Impacts" Report under Elections Code section 9212, then either schedule it to return at the next regular meeting on November 13, 2019, and then schedule a special City Council meeting between November 21 and December 2, 2019, or have the report be considered at a special City Council meeting to be held between November 21 and December 2, 2019. This window requirement is set by Elections Code sections 9215 and 1405, which require the special election for an initiative to be held between 88 and 103 days after the City Council submits the matter to the voters, if not scheduled for the next general election. Under Elections Code section 9212, the report, if ordered, would be returned to the City Council within 30 days, then the Council may take up to ten further days to consider the matter, and a proposed special meeting on Monday, December 2, 2019, is within these statutory requirements. At the special City Council meeting in that window, then the City Council may vote to submit the initiative to the voters at the March 3, 2020, primary election. If the City Council would like to do so, staff recommends that the City Council order the "Impacts" Report and direct it to return at a special City Council meeting to be held on Monday, December 2, 2019, at which meeting the City Council could vote to submit the initiative to the voters at the March 3, 2020, primary election.

Alternative 3: Order a public report discussing the impacts of the proposed initiative. The "Impacts" report may address any topic, as asked by the City Council:

- a. fiscal impact,
- b. effect on the internal consistency of the City's general and specific plans,
- c. effect on land use,
- d. impact on funding for infrastructure,
- e. impact on the community's ability to attract and retain business and employment,
- f. impact on the uses of vacant parcels of land, and
- g. any other matters.

After receiving the report, then the City Council may either adopt the initiative as proposed or submit it to the voters at the November 3, 2020, general election, or an upcoming special election. The City Council may direct staff to return with the report at the next Council meeting on November 13, 2019, or at a special meeting within. As discussed above, if the City Council would like to set the initiative for the March 3, 2020, election, staff recommends scheduling a special meeting for Monday, December 2, 2019, as that date is within the statutory window to set a matter at the March 2020 primary election. If instead the City Council intends to set the matter for the November 3, 2020, general election, it may order the report to return to the November 13, 2019, meeting, as no special Council meeting would be required.

Election cost estimates received from the County Registrar/Recorder's Office are as follows:

March 3, 2020 Primary Election: \$76,381.15. This estimate only includes one measure.

November 3, 2020 General Election: \$76,636.06. This estimate includes two Council seats and one measure. (This is a very rough estimate as the County is not able to generate a cost estimate for November 2020 until a few months into next year.)

There is no feasible option of having a special election for the initiative at a date other than the March 3, 2020, primary election because the County is not able to provide services at that time since it is not a legally established election date.

ATTACHMENTS:

1. Draft Ordinance No. 2019-380
2. Draft Resolution No. 2019-1651 calling an election
3. Draft Resolution No. 2019-1652 requesting consolidation and services with the County of Los Angeles
4. Draft Resolution No. 2019-1653 setting priorities for filing written arguments
5. City Clerk's Certificate of Sufficiency

**ITEM 4 ATTACHMENT 1
ORDINANCE NO. 2019-380**

AN INITIATIVE ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CALABASAS, CALIFORNIA, AMENDING THE CALABASAS GENERAL PLAN AND CALABASAS MUNICIPAL CODE; ADOPTING A NEW SPECIFIC PLAN TO ALLOW UP TO 161 NEW MARKET-RATE APARTMENT UNITS, WITHIN AN EXISTING 600-UNIT APARTMENT COMPLEX AT 3831 NORTH ORCHID LANE, CALABASAS, CA, KNOWN AS THE AVALON CALABASAS PROPERTY; AND REQUIRE THAT AT LEAST TEN PERCENT OF THE COMPLEX'S UNITS BE RESERVED FOR FIFTY-FIVE YEARS AS DEED-RESTRICTED AFFORDABLE UNITS, DESIGNATING 60 UNITS FOR MODERATE INCOME HOUSEHOLDS AND 20 UNITS FOR VERY-LOW INCOME HOUSEHOLDS.

THE PEOPLE OF THE CITY OF CALABASAS DO ORDAIN AS FOLLOWS:

SECTION 1. Title.

This initiative shall be known and may be cited as the "Calabasas Neighborhood Preservation Initiative" (referred to hereinafter as the "Initiative").

SECTION 2. Findings.

The People of the City of Calabasas ("Calabasas" or the "City") find and declare the following:

- A. Since 1988, the Avalon Calabasas property located at 3831 North Orchid Lane, Calabasas 91302 (the "Avalon Calabasas Property" or the "Property") has provided Calabasas residents with quality apartments at both market and rent-restricted affordable rates. The Property is more particularly described in Exhibit A, attached hereto and incorporated herein by reference.
- B. However, due to recently expired bond commitments, seniors and working-class residents living in affordable units at the Property are at risk of losing their homes. To prevent this displacement in a manner that ensures the continued viability of the Property, this Initiative requires the owners of the Property to maintain 80 units at rent-restricted affordable rates for the next 55 years, while adding up to 161 new market rate units at no cost to the City or taxpayers, as more fully described in the Avalon Calabasas Neighborhood Preservation Plan (the "Specific Plan") attached hereto as Exhibit B and incorporated herein by reference (the "Project").
- C. This is a win-win solution for Calabasas. It protects vulnerable senior and working-class residents while adding new housing options with no impact to open space. In fact, the Project will be built entirely on the developed

footprint of the Avalon Calabasas Property, with the vast majority of new construction occurring on existing parking lots.

- D. The Project will help the City meet its regional and state affordable and market-rate housing obligations without any cost to the City or taxpayers.
- E. The Project will provide ample parking for residents and guests by utilizing land-efficient strategies such as new buildings with incorporated parking and a reorganization of existing parking to optimize supply.
- F. The Project will preserve the look and feel of the community by requiring new residential units to be compatible with existing buildings.
- G. The Project will respect the rural feel of Calabasas with a cohesive landscape plan featuring over 350 new trees and drought-tolerant, low-water consuming native species.
- H. The Project will support the City's environmental goals by mandating state of the art sustainability features, including LEED-Silver certified or equivalent new buildings and energy and water-efficient appliances and fixtures.
- I. The Project will improve the living experience of all Avalon Calabasas residents with the introduction of new amenities and upgrades to existing buildings and amenities.
- J. The Project will provide benefits to the broader Calabasas community, including funding for the Las Virgenes Unified School District Community 360 Counseling Center and improvements to de Anza Park.
- K. By permitting a Project that encourages smart growth and a well-balanced community, this Initiative will contribute to the overall health and welfare of the City's economy and its residents.

SECTION 3. Amendments to General Plan.

- A. It is in the public interest to amend the City of Calabasas 2030 General Plan (the "General Plan") land use designation for the Property from R-MF(16) to R-MF(20), and the General Plan land use designation for the Property is hereby so amended. Consistent with this new R-MF(20) designation for the Property, the land use map set forth in Figure II-I of the Land Use Element of the General Plan (as shown in **Exhibit C-1** attached hereto) is hereby repealed and replaced with the new land use map attached hereto as **Exhibit C-2** and incorporated herein by reference.
- B. Section II.C of Section II (Land Use Element) of the General Plan is hereby amended as follows (new text shown as underlined and deleted text shown as ~~strikethrough~~):

"II.C General Plan Land Use Districts Table 11-1 outlines the various districts that are delineated on the Calabasas General Plan Land Use Map (Figure 11-1). Three levels of land use are designated. At the broadest level, urban land uses are distinguished from non-urban and open space uses.

At the second level, urban land uses are organized into Residential, Business, Mixed Use and Public Facilities land use types. Non-urban and open space uses include rural and open space uses. Each of these general land use types is assigned a "Basic Land Use Intensity."

At the most detailed level, specific land uses are designated. For each land use, a description of appropriate uses is provided along with a definition of the maximum allowable intensity that may be permitted. As discussed in Land Use Policy II-14, the assignment of maximum development intensity to the land uses identified on the General Plan Land Use Map does *not* imply that all parcels could be developed at their maximum intensity or that any specific parcel is entitled to the maximum intensity. If a proposed project is consistent with General Plan goals, objectives, approaches, and policies, as well as performance standards contained in the Development Code, the basic development intensity identified in **Table 11-1** and on **Figure 11-1** may be exceeded, up to but not beyond the maximum intensity."

The Amended Table 11-1 is included in the Attachment to this Ordinance.

- C. The amendments to the General Plan adopted by this Initiative are hereby enacted and in full force and effect notwithstanding any other provision of the General Plan or the Calabasas Municipal Code ("Municipal Code") including, without limitation, Chapter 17.76 (General Plan and Development Code Amendments) of Article III (Site Planning and Project Development Standards) of Title 17 (Land Use and Development) of the Municipal Code.

SECTION 4. Zoning and Municipal Code Amendments.

- A. The Property is hereby rezoned from Residential, Multi-Family (RM-16) to Special Purpose Zone Specific Plan (SP).
- B. The zoning map adopted by and incorporated by reference in Section 17.10.030 (Zoning Map Adopted) of Chapter 17.10 (Establishment of Zoning District and Allowable Land Uses) of Article II (Zoning Districts and Allowable Land Uses) of Title 17 (Land Use and Development) of the Municipal Code is hereby amended (even though the printing may not occur until it can be carried out by City staff) to add a "Specific Plan (SP)" designation to the map index for special purpose zones and to change the depiction of the zoning of the Property as set forth in Section 4(A), above, and as depicted in **Exhibit D** attached hereto and incorporated herein by reference.
- C. Section 17.10.020 (Zoning Districts Established) of Chapter 17.10 (Establishment of Zoning District and Allowable Land Uses) of Article II (Zoning Districts and Allowable Land Uses) of Title 17 (Land Use and

Development) of the Municipal Code is hereby amended as follows (new text shown as underlined and deleted text shown as ~~strikethrough~~):

17.10.020 – Zoning districts established.

Calabasas shall be divided into zoning districts which consistently implement the General Plan. The following zoning districts are established, and shall be shown on the official zoning map (Section 17.10.030).

The Amended Table 2-1 is included in the Attachment to this Ordinance.

D. Section 17.11.010 (Permitted, Conditional and Ancillary Land Uses—All Zoning Districts) of Chapter 17.11 (Allowable Land Uses) of Article II (Zoning Districts and Allowable Land Uses) of Title 17 (Land Use and Development) of the Municipal Code is hereby amended as follows (new text shown as underlined and deleted text shown as ~~strikethrough~~):

17.11.010 - Permitted, Conditional and ancillary land uses—All zoning districts.

A. Land Use Permit Requirements. The uses of land allowed by this development code in all of the zoning districts are identified in the following table as being:

1. A permitted use (identified with a "P" in the table), means that the use is permitted in the particular zoning district as long as all other zoning district and special criteria are met.
2. An accessory use (identified with an "A" in the table) means that the use is allowed as long as it is ancillary to another permitted use and as long as all other zoning district and special criteria are met.
3. A conditional use (identified with a "C" in the tables), means that a use is allowed subject to approval of a conditional use permit (Section 17.62.060).
4. A temporary use (identified with a "TUP" in the tables), means that a use is allowed subject to prior approval and issuance of a temporary use permit (Section 17.62.030).

B. Uses Not Listed. Land uses that are not listed on the table or when a space in the table is blank in a particular zoning district, the land use is prohibited, except where provided by Section 17.11.020.

C. Additional Permit/Approval Requirements. A use of land allowed in compliance with subsection (A) of this section, as well as any proposed development related thereto, shall also comply with the following where applicable:

1. A site plan review (Section 17.62.020), administrative plan review (Section 17.62.090), or development plan review (Section 17.62.070) is required for all new development and a scenic corridor permit (Section 17.62.050) is required for new development in a scenic corridor. Where no other authorization is required, a request for zoning clearance (Section 17.62.110) shall be required.
2. Design review (Chapter 2.40 of the Municipal Code) where required by the General Plan, or any specific plan, master plan, or design guidelines; and

3. A building or grading permit if required by Title 15, or any other permit or approval required by the Municipal Code.

The review or clearance discussed in Subsection C.1 and 2. Above shall be completed and approved by the review authority before the proposed use of land is commenced or established and before site work on any proposed development is started. Proposed uses shall also comply with all other applicable provisions of this development code.

D. Standards for Specific Uses. Where the last column in the following table ("See Section") includes a section number, the regulations in the referenced section apply to the use; however, provisions in other sections of this development code may apply as well.

E. All processes and activities related to a permitted or conditional use are to be conducted within a completely enclosed building or structure with the following exceptions: temporary uses (Section 17.62.030), outdoor storage of materials and finished product (where permitted), and outdoor dining areas.

F. Land Use Table. Land uses listed in the following table shall be defined using the North American Industry Classification System (NAICS) unless otherwise defined in Article VII. Specific land uses within the table are grouped under the following major headings:

AGRICULTURE

RESIDENTIAL

INSTITUTIONAL

Educational

Medical

Public

Religious

Non-profit/Service Organizations—501(c)(3)

Utilities

COMMERCIAL

Alcohol

Automobile Related Services

Automobile Repair

Communications

Day Care Facilities

Eating/Drinking Places and Food Services

Entertainment and Recreation

Lodging

Offices

Retail

Services

Transportation

INDUSTRIAL

Light Industrial

Manufacturing

Warehousing/Storage

Wholesale

TEMPORARY AND INTERIM USES

The amended Table 2-2 Land Use Table is included in the Attachment to this Ordinance.

- E. Section 17.16.010 (Purpose) of Chapter 17.16 (Special Purpose Districts) of Article II (Zoning Districts and Allowable Land Uses) of Title 17 (Land Use and Development) of the Municipal Code is hereby amended as follows (new text shown as underlined and deleted text shown as ~~strikethrough~~):

"17.16.010 - Purpose.

The purposes of the special purpose zoning districts are as follows:

- A. PD (Planned Development) District. The PD zoning district denotes an area under single or common ownership that warrants detailed planning because of the presence of unique features, environmental conditions or development constraints. The PD zoning district is intended to accommodate a mix of uses with special standards that address the unique features, conditions, and constraints present. The PD zoning district is consistent with the PD land use district of the General Plan.
- B. HM (Hillside/Mountainous) District. The HM zoning district is applied to areas of the city characterized by steep hillsides and rugged terrain, where appropriate development is limited to single-family dwellings and similar, related compatible uses at very low density, designed to avoid areas of severe physical constraints and safety problems. The HM zoning district is consistent with the HM land use district of the General Plan.
- C. OS (Open Space) District. The OS zoning district is intended for areas of the city identified by the General Plan as having important environmental resources and hazards. The OS zoning district is consistent with the open space-resource protection land use district of the General Plan.
- D. OS-DR (Open Space-Development Restricted) District. The OS-DR zoning district is intended for areas of the city with existing open space that have been development restricted through the use of deed restrictions, conservation easements or dedications of common open space as part of an

approved subdivision. The OS-DR zoning district will also accommodate publicly owned open space land.

- E. PF (Public Facilities) District. The PF zoning district is applied to land owned and operated by the city, county, state, or federal governments, or school districts, where a governmental, educational, recreational, or other institutional facility is the primary use of the site, and is sufficiently different from surrounding land uses to warrant a separate zoning district. The PF zoning district will also accommodate publicly or privately constructed uses and facilities developed on city-owned land and intended for a purpose found by the city to be in the public interest. The PF zoning district is consistent with the public facilities-institutional land use district of the General Plan.
- F. REC (Recreation) District. The REC zoning district is intended for public and private lands within the city committed to leisure and recreational uses that are primarily open space in character. Allowable uses include city owned parks, regional recreation facilities, and similar, related compatible uses. The REC zoning district is consistent with the open space-recreational and public facilities-recreational land use districts of the General Plan.
- G. SP (Specific Plan) District. The SP zoning district denotes an area within the city that is regulated by an adopted specific plan. The SP zoning district is consistent with the R-MF land use district of the General Plan.

- F. Section 17.16.020 (Special Purpose District General Development Standards) of Chapter 17.16 (Special Purpose Districts) of Article II (Zoning Districts and Allowable Land Uses) of Title 17 (Land Use and Development) of the Municipal Code is hereby amended as follows (new text shown as underlined and deleted text shown as ~~strike through~~):

17.16.020 – Special purpose district general development standards.

A. Subdivisions, new land uses and structures, and intensifications and alterations to existing uses or structures shall be designed and constructed in compliance with the following requirements.

The amended Table 2-7 Special Purpose District General Development Standards is included in the Attachment to this Ordinance.

- G. The amendments to the Municipal Code adopted by this Initiative are hereby enacted and in full force and effect notwithstanding any other provision of the Municipal Code including, without limitation, Chapter 17.76 (General Plan and Development Code Amendments) of Article III (Site Planning and Project Development Standards) of Title 17 (Land Use and Development) of the Municipal Code.

SECTION 5. Avalon Calabasas Neighborhood Preservation Plan.

A new Avalon Calabasas Neighborhood Preservation Plan (the "Specific Plan") is hereby adopted in the form of Exhibit B attached hereto and incorporated herein by reference.

The Specific Plan adopted by this Initiative is hereby enacted and in full force and effect notwithstanding any other provision of the Municipal Code including, without limitation, Chapter 17.66 (Specific Plans) of Article III (Site Planning and Project Development Standards) of Title 17 (Land Use and Development) of the Municipal Code.

SECTION 6. Findings of Consistency.

The zoning map and Municipal Code, as amended by this Initiative, and the Specific Plan, as adopted by this Initiative, are consistent with (and shall at all times be interpreted to be consistent with) the goals, policies and actions of the General Plan and would not be detrimental to the public interest, health, safety, convenience or welfare of the City. The Property is physically suitable (including access, provision of utilities, compatibility with adjoining land uses, and absence of physical constraints) for the requested zoning designations and anticipated land use developments. The zoning map and Municipal Code, as amended by this Initiative, are also consistent with (and shall at all times be interpreted to be consistent with) the Specific Plan. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Land Use Element, as amended by this Initiative, in that it prioritizes the enhancement of an existing residential community by providing additional housing within an established residential community that is compatible in design, massing, and height with the established community. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Conservation Element in that it incorporates all City requirements of the Oak Tree Ordinance (Municipal Code Chapter 17.32 – Oak Tree Regulations), including a survey to assess the location and size of protected oak species, and requires implementation of all construction protocols. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Housing Element in that it allows for the continued availability of affordable housing units on the Property, provides housing that responds to the diverse housing needs of Calabasas residents and workforce in terms of density, location and cost, and utilizes green building designs and drought-tolerant native landscaping. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Circulation Element in that it maintains an adequate supply of parking and promotes alternative means of transportation through bicycle parking. The Project is consistent with (and shall at all times be interpreted to be consistent with) the

objectives and policies of the General Plan Community Design Element in that it focuses new housing in an already existing development, ensures that new buildings are compatible with the surrounding natural areas and are buffered by existing buildings and mature landscaping, thus preserving views from the Las Virgenes Scenic Corridor, provides upgrades to existing structures to provide an overall cohesive community, utilizes sustainable and green building requirements for new buildings, and incorporates relevant provisions of the City's Scenic Corridor Design Guidelines. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Services, Infrastructure and Technology Element in that existing utility capacity at the Property already exists to serve the increased density, all costs for new water and sewer main connections will be borne solely by the developer, large turf areas of the existing Property will be converted to water-efficient landscape palette, and new development will include the collection, control and treatment of stormwater runoff. The Project would not be detrimental to the public interest, health, safety, convenience or welfare of the City. The Property is physically suitable (including access, provision of utilities, compatibility with adjoining land uses, and absence of physical constraints) for the requested zoning designations and anticipated land use developments.

SECTION 7. Conflict with Other Measures.

In approving this Initiative, it is the voters' intent to create a comprehensive regulatory plan to govern the future use and development of the Property. To ensure that this intent is not frustrated, this Initiative is presented to the voters as an alternative to, and with the express intent that it will compete with, any and all voter initiatives or City-sponsored measures placed on the same ballot as this Initiative and which, if approved, would regulate the use or development of the Property in any manner whatsoever (each, a "Conflicting Initiative"). In the event that this Initiative and one or more Conflicting Initiatives are adopted by the voters at the same election, then it is the voters' intent that only that measure which receives the greatest number of affirmative votes shall control in its entirety and said other measure or measures shall be rendered void and without any legal effect. In no event shall this Initiative be interpreted in a manner that would permit its operation in conjunction with the non-conflicting provisions of any Conflicting Initiative. If this Initiative is approved by the voters but superseded in law in whole or in part by any other Conflicting Initiative approved by the voters at the same election, and such Conflicting Initiative is later held invalid, this Initiative shall be self-executing and given full force of law.

SECTION 8. Amendment.

The City Council shall have the power to amend the General Plan and Municipal Code sections amended or adopted by this Initiative and, upon application of the

landowner of the Property, the Specific Plan adopted by this Initiative, without the approval of a majority vote of the voters at a subsequent City election, but only if such amendment does not frustrate or eliminate the purpose of this Initiative, which is to permit 761 multi-family residential units at the Property with at least 10% of such units reserved for affordable housing as detailed in the Specific Plan.

SECTION 9. Implementation.

- A. This Initiative is not intended to preempt or conflict with state or federal laws or regulations, and shall be so construed and applied. This Initiative (including but not limited to all exhibits thereto) is also intended to be and shall be construed as consistent with each and every element, provision, and map, and the whole of the City's General Plan. To the extent permitted and required by law, the City shall amend any other elements or provisions of the General Plan and Municipal Code, including all exhibits and figures, and all other City ordinances, policies and implementation programs or policies as soon as possible in order to implement this Initiative and to ensure consistency between this Initiative and other elements of the General Plan and Municipal Code.
- B. Commencing on the effective date of this Initiative, the City is directed to promptly take all appropriate actions needed to implement this Initiative, including, without limitation, issuance of demolition, grading and building permits, subdivision maps, lot line adjustments, and any other City actions as necessary, desirable, and appropriate to implement the Project as soon as possible. This Initiative is considered adopted and effective upon the earliest date legally possible after the Elections Official certifies the vote on the Initiative by the voters of the City of Calabasas.
- C. The General Plan and Specific Plan, as amended and adopted in this Initiative, collectively comprise an integrated, internally consistent and compatible statement of policies for the City. To ensure that the City's General Plan remains an integrated, internally consistent and compatible statement of policies for the City, any provision of the General Plan that is adopted between the date of filing of the Notice of Intent to Circulate this Initiative and the effective date of this Initiative shall, to the extent that such interim-enacted provision is inconsistent with the this Initiative, be null and void in its entirety and without any legal effect. This Initiative shall prevail over any conflicting revisions to the General Plan adopted between the date of filing of the Notice of Intent to Circulate this Initiative and the effective date of this Initiative.
- D. The Project may require the issuance of subsequent approvals by a governmental agency, all of which are part of the "project" approved by this Initiative. The issuance of permits and verifications for improvements and development that substantially conform to the Specific Plan as adopted by

this Initiative is ministerial and accordingly exempt from the California Environmental Quality Act (CEQA).

- E. All future project approvals and other actions needed to implement the Specific Plan shall be consistent with the purpose of this Initiative, which is to permit 761 multi-family residential units at the Property with at least 10% of such units reserved for affordable housing as detailed in the Specific Plan.

SECTION 10. Statute of Limitations.

Unless a shorter statute is enacted by the State Legislature, all provisions of this Initiative shall be deemed subject to Government Code Section 65009(c), and no action or proceeding challenging all or any part of this Initiative shall be maintained unless commenced and service made within ninety (90) days of the date of the legislative body's decision. The date of the legislative body's decision shall be either the date the City Council adopts the Initiative in accordance with Elections Code Section 9214 or 9215, or the date the voters adopt this Initiative. If such date cannot lawfully be deemed the date of the legislative body's decision, then the date of the legislative body's decision shall be the earliest possible lawful date.

SECTION 11. Severability.

- A. If any provision of this Initiative or any application thereof to any person or circumstance is held invalid or unconstitutional by a final judgment of a court of competent jurisdiction, such decision does not affect the validity of any provision or application of this Initiative that can be given effect without the invalid provision or application. The voters declare that this Initiative, and each section, subsection, sentence, clause, phrase or part thereof, would have been adopted or passed irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or parts are declared invalid or unconstitutional. To this end, the provisions of this Initiative are severable.
- B. The voters who signed this petition also declare that they would have signed the petition irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or parts thereof would have been declared invalid or unconstitutional.
- C. If any portion of this Initiative is held by a final court judgment of a court of competent jurisdiction to be invalid, we the People of the City of Calabasas indicate our strong desire that: (i) the City Council use its best efforts to sustain and re-enact that portion, and (ii) the City Council implement this Initiative by taking all steps possible to cure any inadequacies or deficiencies identified by the court in a manner consistent with the express and implied intent of this Initiative, including adopting or reenacting any such portion in a manner consistent with the intent of this Initiative.

SECTION 12. Interpretation.

This Initiative must be interpreted so as to be consistent with all federal and state laws, rules, and regulations. Subject to the foregoing, the provisions of this Initiative must be broadly construed in order to achieve the purposes set forth in this Initiative and shall be interpreted and implemented in a manner that facilitates the purposes set forth in this Initiative. The title of this Initiative and the captions preceding the sections of this Initiative are for convenience of reference only. Such title and captions shall not define or limit the scope or purpose of any provision of this Initiative. The use of the terms "including," "such as" or words of similar import when following any general term, statement or matter shall not be construed to limit such term, statement or matter to the specific items or matters, whether or not language of non-limitation is used. Rather, such terms shall be deemed to refer to all other items or matters that could reasonably fall within the broadest possible scope of such statement, term or matter. The use of the term "or" shall be construed to mean "and/or."

SECTION 13. Exhibits.

All exhibits are incorporated by reference and comprise part of this Initiative. These exhibits are listed below for ease of reference.

- Exhibit A Legal description of the Property
- Exhibit B Avalon Calabasas Neighborhood Preservation Plan
- Exhibit C-1 Figure II-1 of the General Plan Land Use Element to be repealed by this Initiative (for informational purposes only)
- Exhibit C-2 Amended Figure II-1 of the General Plan Land Use Element depicting the new RMF(20) designation for the Property as adopted by this Initiative
- Exhibit D Amended Zoning Map depicting the new Special Purpose Zone Specific Plan (SP) designation for the Property as adopted by this Initiative

This Ordinance shall take effect 10 days after its passage and adoption pursuant to California Elections Code section 9217.

The City Clerk shall certify to the passage and adoption of this ordinance and shall cause the same to be published or posted according to law.

The complete text of the Initiative, including all amended Tables and Exhibits, is attached to this Ordinance as Attachment A.

PASSED, APPROVED AND ADOPTED this ____ day of _____, 2019.

David J. Shapiro, Mayor

ATTEST:

Maricela Hernandez, City Clerk
Master Municipal Clerk
California Professional Municipal Clerk

APPROVED AS TO FORM:

Scott H. Howard
Contract City Attorney
Colantuono, Highsmith & Whatley, PC

THE PEOPLE OF THE CITY OF CALABASAS DO ORDAIN AS FOLLOWS:

SECTION 1. Title.

This initiative shall be known and may be cited as the “Calabasas Neighborhood Preservation Initiative” (referred to hereinafter as the “Initiative”).

SECTION 2. Findings.

The People of the City of Calabasas (“Calabasas” or the “City”) find and declare the following:

- A. Since 1988, the Avalon Calabasas property located at 3831 North Orchid Lane, Calabasas 91302 (the “Avalon Calabasas Property” or the “Property”) has provided Calabasas residents with quality apartments at both market and rent-restricted affordable rates. The Property is more particularly described in **Exhibit A**, attached hereto and incorporated herein by reference.
- B. However, due to recently expired bond commitments, seniors and working-class residents living in affordable units at the Property are at risk of losing their homes. To prevent this displacement in a manner that ensures the continued viability of the Property, this Initiative requires the owners of the Property to maintain 80 units at rent-restricted affordable rates for the next 55 years, while adding up to 161 new market rate units at no cost to the City or taxpayers, as more fully described in the Avalon Calabasas Neighborhood Preservation Plan (the “Specific Plan”) attached hereto as **Exhibit B** and incorporated herein by reference (the “Project”).
- C. This is a win-win solution for Calabasas. It protects vulnerable senior and working-class residents while adding new housing options with no impact to open space. In fact, the Project will be built entirely on the developed footprint of the Avalon Calabasas Property, with the vast majority of new construction occurring on existing parking lots.
- D. The Project will help the City meet its regional and state affordable and market-rate housing obligations without any cost to the City or taxpayers.
- E. The Project will provide ample parking for residents and guests by utilizing land-efficient strategies such as new buildings with incorporated parking and a reorganization of existing parking to optimize supply.
- F. The Project will preserve the look and feel of the community by requiring new residential units to be compatible with existing buildings.
- G. The Project will respect the rural feel of Calabasas with a cohesive landscape plan featuring over 350 new trees and drought-tolerant, low-water consuming native species.
- H. The Project will support the City’s environmental goals by mandating state of the art sustainability features, including LEED-Silver certified or equivalent new buildings and energy and water-efficient appliances and fixtures.

- I. The Project will improve the living experience of all Avalon Calabasas residents with the introduction of new amenities and upgrades to existing buildings and amenities.
- J. The Project will provide benefits to the broader Calabasas community, including funding for the Las Virgenes Unified School District Community 360 Counseling Center and improvements to de Anza Park.
- K. By permitting a Project that encourages smart growth and a well-balanced community, this Initiative will contribute to the overall health and welfare of the City's economy and its residents.

SECTION 3. Amendments to General Plan.

- A. It is in the public interest to amend the City of Calabasas 2030 General Plan (the "General Plan") land use designation for the Property from R-MF(16) to R-MF(20), and the General Plan land use designation for the Property is hereby so amended. Consistent with this new R-MF(20) designation for the Property, the land use map set forth in Figure II-1 of the Land Use Element of the General Plan (as shown in **Exhibit C-1** attached hereto) is hereby repealed and replaced with the new land use map attached hereto as **Exhibit C-2** and incorporated herein by reference.
- B. Section II.C of Section II (Land Use Element) of the General Plan is hereby amended as follows (new text shown as underlined and deleted text shown as ~~strike through~~):

"II.C General Plan Land Use Districts

Table II-1 outlines the various districts that are delineated on the Calabasas General Plan Land Use Map (**Figure II-1**). Three levels of land use are designated. At the broadest level, urban land uses are distinguished from non-urban and open space uses.

At the second level, urban land uses are organized into Residential, Business, Mixed Use and Public Facilities land use types. Non-urban and open space uses include rural and open space uses. Each of these general land use types is assigned a "Basic Land Use Intensity."

At the most detailed level, specific land uses are designated. For each land use, a description of appropriate uses is provided along with a definition of the maximum allowable intensity that may be permitted. As discussed in Land Use Policy II-14, the assignment of maximum development intensity to the land uses identified on the General Plan Land Use Map does *not* imply that all parcels could be developed at their maximum intensity or that any specific parcel is entitled to the maximum intensity. If a proposed project is consistent with General Plan goals, objectives, approaches, and policies, as well as performance standards contained in the Development Code, the basic development intensity identified in **Table II-1** and on **Figure II-1** may be exceeded, up to but not beyond the maximum intensity.

Guidelines for Clustered Development

Avoid:

- *Disturbing areas within or adjacent to floodplains, stream buffer areas, wetlands, oak woodlands, habitat linkages, or other sensitive biological features;*
- *Developing on steep slopes, hilltops, and ridges where development would be highly visible;*
- *Placing numerous houses with access drives along collector and arterial roads;*
- *Backing houses directly or visibly onto collector and arterial roads; and*
- *Destroying existing tree stands, especially along rights-of-way.*

Require:

- *The resulting development after clustering to be consistent with the development's natural setting and the adjacent residential neighborhoods, if any;*
- *Substantial buffering and screening for development near all public rights-of-way;*
- *Preservation or enhancement of existing wooded areas and sensitive environmental areas;*
- *Homeowner-managed recreation areas and common spaces within larger clusters;*
- *Covenants and/or easements to permanently protect the undeveloped open space areas that remain after clustering is accomplished; and*
- *Appropriate sites for community facilities.*

Permit/Encourage:

- *Refinement of road and street design to better protect existing topography and landscape features such as streams and drainage patterns (measures include narrower road sections, steeper grades, reduced curve radii, no curbs, etc.); and*
- *Private courts and lanes instead of flag lots.*

**Table II-1
General Plan Land Use Districts
Urban Land Uses**

Urban-Residential

R-SF
Residential – Single Family

The R-SF designation accommodates single family detached housing units, including large lot estates and typical suburban tract developments, as well as small lot single family residences.

Basic Land Use Intensity: 2 du/ac
Maximum Land Use Intensity: 6 du/ac; 12 du/ac for senior residential projects
Anticipated Maximum Population Intensity: 16.8 persons/ac

R-MF(12)
Residential – Multiple Family (12 du/ac)

The R-MF (12) designation accommodates attached apartments, condominiums, townhomes, and duplexes.

Basic Land Use Intensity: 2 du/ac, 0.2 FAR for visitor serving uses
Anticipated Maximum Population Intensity: 27.6 persons/ac

R-MF(16)
Residential – Multiple Family (16 du/ac)

The R-MF (16) designation accommodates attached apartments, condominiums, townhomes, visitor-serving uses, and duplexes.

Basic Land Use Intensity: 2 du/ac, 0.2 FAR for visitor serving uses
Maximum Land Use Intensity: 20 du/ac; 0.2 FAR for visitor-serving uses
Anticipated Maximum Population Intensity: 36.8 persons/ac

R-MF(20)
Residential – Multiple Family (20 du/ac)

The R-MF (20) designation accommodates attached apartments, condominiums, townhomes, visitor-serving uses, and duplexes. A specific plan is permissible on property designated as R-MF (20) provided that the specific plan is consistent with the below requirements.

Basic Land Use Intensity: 2 du/ac, 0.2 FAR for visitor serving uses
Maximum Land Use Intensity: 20 du/ac; 0.2 FAR for visitor-serving uses. The Maximum Land Use Intensity for R-MF (20) may be increased by up to 30% provided that a

**Table II-1
General Plan Land Use Districts**

<p>R-MH Residential – Mobile Home</p>	<p><u>parcel or group of parcels collectively is (i) no less than 30 acres and (ii) governed by a specific plan that reserves, for a period of no less than 55 years, a minimum of 10% of residential units on the parcel or group of parcels for affordable housing as defined in such specific plan.</u> <i>Anticipated Maximum Population Intensity: 4671 persons/ac</i></p> <p>The R-MH designation accommodates mobile home parks.</p> <p><i>Basic Land Use Intensity: 2 du/ac</i> <i>Maximum Land Use Intensity: 8 du/ac</i> <i>Anticipated Maximum Population Intensity: 18.4 persons/ac</i></p>
<p>Urban-Business</p>	
<p>B-LI Business – Limited Intensity</p> <p>B-R Business–Retail</p> <p>B-PO Business–Professional Office</p>	<p>The B-LI designation accommodates low intensity retail and commercial services on lands that, because of their unique locations, need special attention in order to maintain compatibility with adjacent uses or environmental features. Appropriate uses include limited retail and commercial services, restaurants, nurseries, convalescent facilities and professional offices.</p> <p><i>Basic Land Use Intensity: FAR of ≤ 0.2</i> <i>Maximum Land Use Intensity: FAR of 0.2</i></p> <p>The B-R designation accommodates general shopping and commercial services. Appropriate land uses include general retail, markets, commercial services, restaurants, automotive repair and service, hardware and home improvement, durable goods sales, commercial recreation, and automotive sales. Business offices, such as real estate offices, providing direct services to consumers may also be permitted within an overall retail setting. Multiple family residential uses are conditionally allowed.</p> <p><i>Basic Land Use Intensity: FAR of ≤ 0.2</i> <i>Maximum Land Use Intensity: FAR of 0.4; 20 du/ac for multiple family residential</i></p> <p>The B-PO designation accommodates office uses. Appropriate land uses include business, professional, and medical offices, as well as ancillary service functions.</p>

**Table II-1
General Plan Land Use Districts**

B-BP Business Park	<i>Basic Land Use Intensity: FAR of ≤ 0.2</i> <i>Maximum Land Use Intensity: FAR of 0.5</i>
B-OT Business-Old Town	The B-BP designation accommodates office and light industrial uses. Business park uses should generate minimal truck traffic and should provide employment opportunities and a net positive income stream to the City. Warehousing and distribution are not appropriate primary uses within the B-BP designation.
	<i>Basic Land Use Intensity: FAR of ≤ 0.2</i> <i>Maximum Land Use Intensity: FAR of 0.6</i>
	The B-OT designation defines the limits of Old Town Calabasas. It accommodates a variety of office, retail, and commercial services. All development within the B-OT designation is to be designed to preserve and enhance the area's historic character. Multiple family residential uses are conditionally allowed.
	<i>Basic Land Use Intensity: FAR of ≤ 0.2</i> <i>Maximum Land Use Intensity: FAR of 1.0; 20 du/ac for multiple family residential</i>
Urban-Mixed Use	
MU 0.60 Mixed Use (Maximum FAR of 0.60)	The MU 0.60 designation accommodates a broad range of office, retail, visitor-serving uses, and commercial services, as well as higher density residential uses. Institutional and entertainment uses may also be accommodated. This designation is intended to provide for innovative site design and the creation of relatively high intensity, pedestrian-oriented environments with an integrated mix of uses.
	<i>Basic Land Use Intensity: FAR of ≤ 0.2</i> <i>Maximum Land Use Intensity: FAR of 0.6; maximum residential density of 20 du/ac</i>
MU 0.95 Mixed Use (Maximum FAR of 0.95)	The MU designation accommodates a broad range of office, retail, visitor-serving uses, and commercial services, as well as higher density residential uses. Institutional and entertainment uses may also be accommodated. This designation is intended to provide for innovative site design and the creation of relatively high intensity,

**Table II-1
General Plan Land Use Districts**

<p>MU 1.0 Mixed Use (Maximum FAR of 1.0)</p>	<p>pedestrian-oriented environments with an integrated mix of uses.</p> <p><i>Basic Land Use Intensity: FAR of ≤0.2</i> <i>Maximum Land Use Intensity: FAR of 0.95; maximum residential density of 20 du/ac</i></p> <p>The MU designation accommodates a broad range of office, retail, visitor-serving uses, and commercial services, as well as higher density residential uses. Institutional and entertainment uses may also be accommodated. This designation is intended to provide for innovative site design and the creation of relatively high intensity, pedestrian-oriented environments with an integrated mix of uses. All projects must include a residential component that constitutes a minimum of 50% of the overall project floor area.</p> <p><i>Basic Land Use Intensity: FAR of ≤0.2</i> <i>Maximum Land Use Intensity: FAR of 1.0; maximum residential density of 20 du/ac</i></p>
<p>PD Planned Development</p>	<p>The Planned Development designation denotes an area under single or common ownership that warrants detailed planning because of the presence of unique features, environmental conditions, or development constraints. The designation is intended to accommodate a mix of uses with special standards that address the unique features, conditions, and constraints present.</p> <p>Please refer to the vision plans in the Community Design Element for an illustration of what could be accommodated under the Planned Development designation. Maximum allowable development on the PD site is as follows:</p> <p>60 multiple family residences 155,000 square feet of commercial (office/retail) development</p>
<p>Public Facilities</p>	
<p>PF-1 Public Facilities–Institutional</p>	<p>The PF-I designation accommodates a variety of public and quasi-public uses. Appropriate land uses include governmental, public, and quasi-public uses, including schools and municipal facilities. Maximum land use intensity of the facilities shall be determined on a case-by-case basis consistent with the provisions of the “Maximum</p>

**Table II-1
General Plan Land Use Districts**

	Acceptable Development Impacts” table of the Municipal Code.
PF-R Public Facilities–Recreational	The PF-R designation accommodates lands held by public agencies for the primary purpose of providing active and/or passive recreational opportunities. Maximum land use intensity of the facilities shall be determined on a case-by-case basis consistent with the provisions of the “Maximum Acceptable Development Impacts” table of the Municipal code.
Non-Urban Uses	
Because of physical constraints and safety issues on certain properties, there may be non-urban parcels that cannot be built upon.	
HM Hillside Mountainous	The HM designation accommodates single family detached housing in a very low intensity, rural setting. <i>Basic Land Use Intensity: 1 du/40 ac or 1 du per existing legal lot</i> <i>Maximum Land Use Intensity: 1 du/10 ac or 1 du per existing legal lot</i> <i>Anticipated Maximum Population Intensity: 0.28 persons/ac</i>
RR Residential Rural	The RR designation accommodates single family detached housing in a low intensity, rural setting. <i>Basic Land Use Intensity: 1 du/10 ac or 1 du per existing legal lot</i> <i>Maximum Land Use Intensity: 1 du/ac or 1 du per existing legal lot</i> <i>Anticipated Maximum Population Intensity: 2.8 person/ac</i>
RC Rural Community	The RC designation accommodates single family detached housing that recognizes existing rural development patterns. <i>Basic Land Use Intensity: 1 du/10 ac or 1 du per existing legal lot</i> <i>Maximum Land Use Intensity: 2 du/ac or 1 du per existing legal lot</i> <i>Anticipated Maximum Population Intensity: 5.6 person/ac</i>

**Table II-1
General Plan Land Use Districts**

Non-Urban Open Space

OS-R
Open Space–Recreational

The OS-R designation applies to lands under public or private ownership whose primary purpose is the provision of active and/or passive recreation.

*Basic Land Use Intensity: 1 du per existing legal lot
Maximum Land Use Intensity: 1 du per existing legal lot*

OS-RP
Open Space-Resource Protection

The OS-RP designation applies to lands whose primary purpose is the protection of public health and safety, preservation of sensitive environmental resources, or resource management.

*Open Space (OS) Zoning
Basic Land Use Intensity: 1 du per existing legal lot
Maximum Land Use Intensity: 1 du/160 ac or 1 du per legal lot*

*Open Space - Development Restricted (OS-DR) Zoning
Basic Land Use Intensity: None allowed
Maximum Land Use Intensity: None allowed²*

- C. The amendments to the General Plan adopted by this Initiative are hereby enacted and in full force and effect notwithstanding any other provision of the General Plan or the Calabasas Municipal Code (“Municipal Code”) including, without limitation, Chapter 17.76 (General Plan and Development Code Amendments) of Article III (Site Planning and Project Development Standards) of Title 17 (Land Use and Development) of the Municipal Code.

SECTION 4. Zoning and Municipal Code Amendments.

- A. The Property is hereby rezoned from Residential, Multi-Family (RM-16) to Special Purpose Zone Specific Plan (SP).
- B. The zoning map adopted by and incorporated by reference in Section 17.10.030 (Zoning Map Adopted) of Chapter 17.10 (Establishment of Zoning District and Allowable Land Uses) of Article II (Zoning Districts and Allowable Land Uses) of Title 17 (Land Use and Development) of the Municipal Code is hereby amended (even though the printing may not occur until it can be carried out by City staff) to add a “Specific Plan (SP)” designation to the map index for special purpose zones and to change the depiction of the zoning of the Property as set forth in Section 4(A), above, and as depicted in **Exhibit D** attached hereto and incorporated herein by reference.

C. Section 17.10.020 (Zoning Districts Established) of Chapter 17.10 (Establishment of Zoning District and Allowable Land Uses) of Article II (Zoning Districts and Allowable Land Uses) of Title 17 (Land Use and Development) of the Municipal Code is hereby amended as follows (new text shown as underlined and deleted text shown as ~~strikethrough~~):

“17.10.020 – Zoning districts established.

Calabasas shall be divided into zoning districts which consistently implement the General Plan. The following zoning districts are established, and shall be shown on the official zoning map (Section 17.10.030).

Table 2-1

Zoning Districts Table 2-1			
Zoning District	Zoning Map Symbol		General Plan Land Use District Implemented by Zoning District
Residential Zones			
Residential, Single-Family	RS	R-SF	Residential - Single-Family
Residential, Multifamily	RM	R-MF	Residential - Multiple-Family
Residential, Mobilehome	RMH	R-MH	Residential - Mobilehome
Residential, Rural	RR	RR	Rural Residential
Rural Community	RC	RC	Rural Community
Commercial Zones			
Commercial, Limited	CL	B-LI	Business - Limited Intensity Commercial
Commercial, Retail	CR	B-R	Business - Retail
Commercial, Office	CO	B-PO	Business - Professional Office
Commercial, Mixed Use	CMU	MU	Mixed Use
Commercial, Business Park	CB	B-BP	Business Park
Commercial, Old Town	CT	B-OT	Business - Old Town
Special Purpose Zones			

Zoning Districts Table 2-1			
Zoning District	Zoning Map Symbol		General Plan Land Use District Implemented by Zoning District
Planned Development	PD	PD	Planned Development
Hillside/Mountainous	HM	HM	Hillside - Mountainous
Open Space	OS	OS-RP	Open Space - Resource Protection
Open Space-Development Restricted	OS-DR	OS-RP	Open Space - Resource Protection
Public Facility	PF	PF-I	Public Facilities - Institutional
Recreation	REC	OS-R	Open Space - Recreational
		PF-R	Public Facilities – Recreational
<u>Specific Plan</u>	<u>SP</u>	<u>R-MF</u>	<u>Residential – Multiple Family</u>
Overlay Zones			
Development Plan	-DP		
			Multiple Districts
Scenic Corridor	-SC		Multiple Districts
Old Topanga	-OT	RC	Rural Community
		HM	Hillside/Mountainous
		OS-R	Open Space-Resource Protection
Calabasas Highlands	-CH	RC	Rural Community
		OS-R	Open Space-Resource Protection”

D. Section 17.11.010 (Permitted, Conditional and Ancillary Land Uses—All Zoning Districts) of Chapter 17.11 (Allowable Land Uses) of Article II (Zoning Districts and Allowable Land Uses) of Title 17 (Land Use and Development) of the Municipal Code is hereby amended as follows (new text shown as underlined and deleted text shown as ~~strikethrough~~):

“17.11.010 - Permitted, Conditional and ancillary land uses—All zoning districts.

- A. Land Use Permit Requirements. The uses of land allowed by this development code in all of the zoning districts are identified in the following table as being:
1. A permitted use (identified with a “P” in the table), means that the use is permitted in the particular zoning district as long as all other zoning district and special criteria are met.
 2. An accessory use (identified with an “A” in the table) means that the use is allowed as long as it is ancillary to another permitted use and as long as all other zoning district and special criteria are met.
 3. A conditional use (identified with a "C" in the tables), means that a use is allowed subject to approval of a conditional use permit (Section 17.62.060).
 4. A temporary use (identified with a "TUP" in the tables), means that a use is allowed subject to prior approval and issuance of a temporary use permit (Section 17.62.030).
- B. Uses Not Listed. Land uses that are not listed on the table or when a space in the table is blank in a particular zoning district, the land use is prohibited, except where provided by Section 17.11.020.
- C. Additional Permit/Approval Requirements. A use of land allowed in compliance with subsection (A) of this section, as well as any proposed development related thereto, shall also comply with the following where applicable:
1. A site plan review (Section 17.62.020), administrative plan review (Section 17.62.090), or development plan review (Section 17.62.070) is required for all new development and a scenic corridor permit (Section 17.62.050) is required for new development in a scenic corridor. Where no other authorization is required, a request for zoning clearance (Section 17.62.110) shall be required.
 2. Design review (Chapter 2.40 of the Municipal Code) where required by the General Plan, or any specific plan, master plan, or design guidelines; and
 3. A building or grading permit if required by Title 15, or any other permit or approval required by the Municipal Code.

The review or clearance discussed in Subsection C.1 and 2. Above shall be completed and approved by the review authority before the proposed use of land is commenced or established and before site work on any proposed development is started. Proposed uses shall also comply with all other applicable provisions of this development code.

- D. Standards for Specific Uses. Where the last column in the following table ("See Section") includes a section number, the regulations in the referenced section apply to the use; however, provisions in other sections of this development code may apply as well.
- E. All processes and activities related to a permitted or conditional use are to be conducted within a completely enclosed building or structure with the following exceptions: temporary uses (Section 17.62.030), outdoor storage of materials and finished product (where permitted), and outdoor dining areas.
- F. Land Use Table. Land uses listed in the following table shall be defined using the North American Industry Classification System (NAICS) unless otherwise defined in Article VII. Specific land uses within the table are grouped under the following major headings:

AGRICULTURE

RESIDENTIAL

INSTITUTIONAL

Educational

Medical

Public

Religious

Non-profit/Service Organizations—501(c)(3)

Utilities

COMMERCIAL

Alcohol

Automobile Related Services

Automobile Repair

Communications

Day Care Facilities

Eating/Drinking Places and Food Services

Entertainment and Recreation

Lodging

Offices

Retail

Services

Transportation

INDUSTRIAL

Light Industrial

Manufacturing

Warehousing/Storage

Wholesale

TEMPORARY AND INTERIM USES

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required),
A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																			See standards in section
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT		
AGRICULTURE																				
Agricultural uses for fuel modification				A			A	A												17.12.030 D. & E.
Equestrian Facilities				C	C		C	C			A									
Farm Animals				A			A/C	A/C												17.12.040
Hobby Farms				A/C			A/C	A/C												17.12.110
Kennels and animal boarding													C	C				C		17.12.1205
Plant Nurseries													C	C				C		
RESIDENTIAL																				
Accessory dwelling unit	P			P	P		P	P												17.12.170
Apartments, Condominiums, Duplexes and other Multi-Family Dwellings		P				P						(6)					C		C	17.12.145
Community center, neighborhood	C	C	C		C	C					P						C			
Emergency Shelters													P							17.12.090
Home Occupations	A	A	A	A	A	A	A	A				(6)					A		A	17.12.115
Mobilehome parks			C																	17.12.135
Mobilehomes/ manufactured housing (on a single lot)	P	P		P	P		P													17.12.140
Planned Development - Residential						C														
Residential accessory uses and structures	A	A	A	A	A	A	A	A				(6)					A			17.12.165

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required),
A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																		
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT	See standards in section
Residential care homes, six or fewer clients	P	P	P	P	P		P	P											
Residential care homes, seven or more clients		C																C (1)	
Rooming and boarding houses		C																	
Senior residential projects		P				P										C		C (1)	17.12.180
Single-family housing	P	P		P	P	P	P	P			P								
Transitional/Supportive housing	P (2)	P (2)																	
INSTITUTIONAL																			
Educational																			
Schools K-12																			
-Private	C	C		C						C				C					
-Public	C	C		C	C					C				C					
Schools, Universities/Colleges																			
-Private	C	C		C						C				C	C	C	C		
-Public										C				C	C	C	C		
Schools, Vocational/Trade										C				C	C	C	C		
Medical Services																			
Veterinarian Clinic and animal hospital														C	C	C	C	C	17.12.230
Assisted Living/Congregate Care Facility		C												C	C	C	C		C
Convalescent Care Facility (with continuous skilled nursing care)														C	C	C	C	C	
Hospital															C				

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required), A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																		
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT	See standards in section
Medical Office/Clinic/Lab						P							C	P	P	P			
Pharmacies and Drug Stores						C								C	C	C	C		
Pharmacies as accessory use						A							A	A	A	A	A		
Public																			
Cultural Facilities																			
Cultural Facility						C					C	C		C	C	C	C	C	
Museum		C				C					C	C		C	C		C	C	
Public Facilities																			
Government Offices											P					P		P	
Other Government Facilities											P								
Library		C				P					P	C		C	P	P	P	P	C (1)
Police/Fire Station	C	C			C	C					C			C	C	C	C	C	
Police Storefront/Substation	C	C			C	P					P			P	P	P	P	P	P (1)
Recreation Facilities																			
Community center, regional											P	P			C		C		
Outdoor recreation											P	P			C	C		C	
Senior Citizen Activity Center						C						P		C	C		C		
Religious																			
Church/place of worship	C	C			C	C	C				P	P		P	P	P	P	P	
Non-profit/Service Organizations – 501(c)(3)																			
Campaign Offices						P								P	P	P	P	P	P (1)
Charitable Distribution Services (i.e., food banks, etc.)															C	C		C	
Charitable, Philanthropic Service, and other Non-Profit Organization Offices						P								P	P	P	P	P	P (1)

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required), A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																			See standards in section
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT		
Utilities																				
Public Utility/Service Structure	C	C		C		P							P	P	P	P	P			17.02.020 (B)10
Public Utility Office						P							P	P	P	P	P	P	P (1)	
COMMERCIAL																				
Alcohol																				
Alcoholic Beverage Sales						C (3)							C (3)	C (3)	C (3)	C (3)	C (3)	C (3)	C (1) (3)	17.12.035
Wine/Beer Specialty Shop						C								C		C			C (1)	17.12.035
Automobile Related Services																				
Automotive Parts and Accessories Stores													P (5)	P (5)/C					P (5)/C	17.18.035
Automobile Repair																				
Automotive Services – (i.e.: Tune-up, emission tests, batteries, etc.) (no use of impact wrenches or other equipment that could create noise impacts)													P (5)	P (5)/C					P	17.18.035 (if within CAR overlay zone)
Minor Repair (i.e.: Brakes, tires, radiators, electrical, etc.)													P (5)	P (5)/C					P	17.18.035 (if within CAR overlay zone)
Major Repair (i.e.: Engine and transmission repair/rebuild, etc.)													P (5)	P (5)/C					P (5)/C	17.18.035
Motorcycle Engine Customization																				
Car Wash – Full Service													P (5)	P (5)/C					P (5)/C	17.18.035
Service Station														C					C	17.12.190
Motor Vehicle Sales																				
New and Used													P (5)	P (5)/C					P (5)/C	17.18.035

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required), A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																			
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT	See standards in section	
Motor Vehicle Storage																				
Indoor													P (5)/C	P (5)/C		C	P (5)/C		17.18.035	
Off-Site Dealership and Sales Inventory Lots													P (5)	P (5)			P (5)		17.18.035	
Parking: Commercial Lot/Garage						C							C	C	C	C	C	C (1)		
Communications																				
Wireless Telecommunications Facilities						C				C	C		C	C	C	C	C	C (1)	17.12.050	
Satellite Antennas	A	A	A	A	A	A	A	A				(6)	A	A	A	A	A	A	17.12.050	
Recording and Sound Studios						P							P	P	P	P	P			
Day Care Facilities																				
Child Day Care Center	C	C		C	C	C							P	P	P	P	P		17.12.070	
Large Family Day Care Home (9 to 14 children)	C	C		C	C	C													17.12.070	
Small Family Day Care Home (8 or fewer children)	P	P		P	P	P													17.12.070	
Eating/Drinking Places & Food Services																				
Bar/Cocktail Lounge						C								C		C	C	C (1)		
Night Club														C		C	C			
Banquet Hall														C		C	C			
Catering Establishment														C		C	C			
Restaurants (counter service)						P							C	P	P	P	C	C (1)		
Restaurants (table service)						P							C	P	P	P	C	C (1)		
Entertainment and Recreation																				
Adult-entertainment business														C					17.12.025	
Athletic Fields											P									

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required),
A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																			
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT	See standards in section	
Arcade														C						
Auditoriums & Other Public Assembly Facilities										C	C									
Bowling Alley														C						
Dance Hall														C						
Health and Fitness Club						C				C	C			C	C	C	C			
Golf Course										C	C									
Golf Driving Range	C	C		C						C	C		C							
Live Entertainment						C					C		C	C		C	C	C		
Motion Picture Theater														C		C				
Outdoor Commercial Recreation											C			C				C		
Pool and billiard rooms														C						
Skate Park										C	C									
Tennis/Swim Club										C	C									
Theaters											C			C		C	C	C	C	(1)
Lodging																				
Bed and Breakfast Inn				C	C		C													
Hotels/Motels														C	C	C	C			
Offices																				
Business						P								P	P	P	P	P	C	(1)
Professional						P								P	P	P	P	P	C	(1)
Professional Medical Offices						P								P	P	P	P	P	C	
Property Management		P	P			P						(6)	P	P	P	P	P	P	C	(1)
Retail Stores																				
Antique Stores						P								C	P		P	P	C	(1)

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required), A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																			See standards in section
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT		
Art Galleries and Art Supply Store						P							C	P		P	P	C (1)		
Beauty Supply Store						P							C	P		P	P	C (1)		
Book Stores						P							C	P		P	P	C (1)		
Building Materials														C			C	C (1)		
Garden Supply/Nursey													C	P			C			
Hardware Store														P		C	C	C (1)		
Camera and Photographic Supply Store						P							C	P		P	P	C (1)		
Cigar and other Tobacco Products Store						P							C	P		P	P	C (1)	17.12.225	
Clothing & Accessory Stores						P							C	P		P	P	C (1)		
Computer and Home Electronic Stores						P							C	P		P	P	C (1)		
Florist						P							C	P		P	P	C (1)		
Food and Beverage Stores																				
Bakery (Retail)						P							C	P		P	P	C (1)		
Convenience Store						C							C	C		C				
Delicatessen						P							C	P	P	P	P	C (1)		
Grocery Store/Supermarket													C	P		P				
Specialty Food Stores						P							C	P		P		C (1)		
Furniture and Home Furnishing Stores														P			C			
Boutique Home Furnishing Stores														P		C	C	C (1)		
General Merchandise Stores																				
Department														C		C				
Discount/Variety Store (new products at a discounted price)														P		P	P			
Warehouse Retail Stores														C			C		17.12.240	

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required), A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																			See standards in section
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT		
Guns and Ammunition Store														C						
Hobby, Toy and Game Store						P							C	P						
Home Appliance Store						P								P		P	P	C (1)		
Jewelry Store						P							C	P		P	P	C (1)		
Luggage and Leather Goods						P							C	P		P	P	C (1)		
Music and Video Stores						P							C	P		P	P	C (1)		
Office Supply, Stationary & Gift Stores						P							C	P		P	P	C (1)		
Pet and Pet Supply Store						P							C	P		P	P	C (1)		
Second Hand Stores													C	P			P			
Shoe Store						P							C	P		P	P	C (1)		
Shopping Center						C								C		C			17.12.195	
Sporting Goods Stores						P							C	P		P	P	C (1)		
Studios for dance, art, music, photography, etc.						P							P	P	P	P	P	C (1)		
Business Services																				
Advertising Agency						P							P	P	P	P	P	C (1)		
Data Processing Services						P							P	P	P	P	P	C (1)		
Equipment Sales and Rental						P							P	P	P	P	P	C (1)		
Photocopying & Duplicating Services						P							P	P	P	P	P	C (1)		
Photography Studio						P							P	P	P	P	P	C (1)		
Financial Services																				
Automated Teller Machine (ATM)						A/P							A/P	A/P	A/P	A/P	A/P	C (1)		
Banks, Credit Unions and other Depository Institutions						P							P	P	P	P	P			
Check Cashing and Loan Services						P							P	P	P	P	P			

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required), A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																			See standards in section
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT		
Other Financial Services						P							P	P	P	P	P		C (1)	
Personal Services																				
Barber Shop & Beauty/Nail Salon						P							P	P		P	P			
Cemeteries and Mausoleums													C	C					17.12.060	
Day Spa						P							P	P		P	P		17.12.155	
Dry Cleaner						P							P	P		P	P		C (1)	
Fortunetelling														P					17.12.095	
Laundry - Commercial													P	P		P	P		C (1)	
Massage Therapy						P							P	P		P	P		17.12.155	
Pet Grooming - Commercial						P							P	P		P	P		C (1)	
Public Self Storage														C						
Tailor						P							P	P		P	P		C (1)	
Travel Agency						P							P	P	P	P	P		C (1)	
Repair Services																				
Computer, Home Electronics, and Small Home Appliances (toaster, iron, etc.)						P							P	P		P	P			
Furniture Re-upholstery														P		P	P			
Jewelry and Watches/Clocks						P							P	P		P	P			
Lawnmower and Garden Equipment													P	P		P	P			
Locksmith/Key Shop						P							P	P		P	P			
Shoe Repair						P							P	P		P	P			
Transportation																				
Heliport as accessory use to emergency services facility																			A/C	17.02.020 (B)(10)

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required),
A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																			See standards in section
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT		
INDUSTRIAL																				
Light Industrial																				
Recycling Collection Facilities																				
-Small (to 500 Sq. Ft.)														C		C		C		17.12.160
-Large (500+ Sq. Ft.)																		C		17.12.160
-Reverse vending machine													A	A		A		A		17.12.160
Research & Development Services/Laboratories																A/C (4)		P		
Manufacturing																				
Apparel Manufacturing																			C	
Chemical Manufacturing																			C	
Computer and Home Electronic Manufacturing																			C	
Electrical Equipment Manufacturing																			C	
Food Manufacturing																			C	
Metal fabrication, machine and welding shops																			C	
Furniture and Related Products Manufacturing																			C	
Lumber and Wood Product Manufacturing																			C	
Machinery Manufacturing																				
Construction Machinery Manufacturing																			C	
Industrial Machinery Manufacturing																			C	
Ventilation, Heating, Air-conditioning and Commercial Refrigeration Equipment Manufacturing																			C	

TABLE 2-2 - LAND USE TABLE

KEY: P=Permitted Use (See Chapter 17.62 for required permit), C=Conditionally Permitted (CUP required),
A=Allowed as an Accessory Use, TUP=Temporary Use (TUP required)

LAND USE	ZONE																			
	RS	RM	RMH	RR	RC	PD	HM	OS	OS-DR	PF	REC	SP	CL	CR	CO	CMU	CB	CT	See standards in section	
Miscellaneous Manufacturing (jewelry, office supplies, sporting goods, toys, etc.)																		C		
Paper Product Manufacturing																		C		
Printing and Related Activities																		C		
Warehousing/Storage																				
Warehousing, accessory																		C		
Wholesaling and Distribution																		C		
TEMPORARY AND INTERIM USES																				
Construction Yards														T	T					17.62.030
Location Filming	T	T	T	T	T	T	T	T	T	T	T	(6)	T	T	T	T	T	T	T	Chapter 5.04 & 17.62.030
Parking Lot Sales														T	T		T	T	T	17.62.030
Seasonal Sale (Christmas Tree, Pumpkin, and similar Lots)														T	T		T	T		17.62.030
Special Events (Street/Craft fair and Farmers Markets)															T		T	T	T	17.62.030
Storage – Temporary Portable Containers	T	T	T	T	T	T	T	T				(6)	T	T	T	T	T	T	T	17.62.030
Temporary Structures (i.e. subdivision sales office, etc.)	T		T	T	T	T		T				(6)								17.62.030

Notes:

- (1) Use allowed only where in compliance with Old Town Calabasas Master Plan and Design Guidelines.
- (2) Use falls under Residential Care Homes and is subject to applicable standards and conditions.

- (3) Allowable only in conjunction with a primary allowable use (e.g. convenience store, grocery store, restaurant, etc.).
- (4) Research and Development Services/Laboratories are allowed in the CO zone only as accessory to an office use, as follows:
 - (a) The use shall not exceed ten (10) percent of the total building(s) floor area; and
 - (b) The use shall be limited to properties having a building(s) with a minimum floor area of 100,000 square feet.
- (5) Allowed as a “Permitted” use only within the Commercial Auto Retailer (CAR) Overlay Zone and subject to the requirements in Section 17.18.035.
- (6) Permitted, accessory, and temporary land uses within the Specific Plan (SP) Special Purpose Zone are subject to the requirements of the adopted specific plan.”

E. Section 17.16.010 (Purpose) of Chapter 17.16 (Special Purpose Districts) of Article II (Zoning Districts and Allowable Land Uses) of Title 17 (Land Use and Development) of the Municipal Code is hereby amended as follows (new text shown as underlined and deleted text shown as ~~strikethrough~~):

“17.16.010 - Purpose.

The purposes of the special purpose zoning districts are as follows:

- A. PD (Planned Development) District. The PD zoning district denotes an area under single or common ownership that warrants detailed planning because of the presence of unique features, environmental conditions or development constraints. The PD zoning district is intended to accommodate a mix of uses with special standards that address the unique features, conditions, and constraints present. The PD zoning district is consistent with the PD land use district of the General Plan.
- B. HM (Hillside/Mountainous) District. The HM zoning district is applied to areas of the city characterized by steep hillsides and rugged terrain, where appropriate development is limited to single-family dwellings and similar, related compatible uses at very low density, designed to avoid areas of severe physical constraints and safety problems. The HM zoning district is consistent with the HM land use district of the General Plan.
- C. OS (Open Space) District. The OS zoning district is intended for areas of the city identified by the General Plan as having important environmental resources and hazards. The OS zoning district is consistent with the open space-resource protection land use district of the General Plan.

- D. OS-DR (Open Space-Development Restricted) District. The OS-DR zoning district is intended for areas of the city with existing open space that have been development restricted through the use of deed restrictions, conservation easements or dedications of common open space as part of an approved subdivision. The OS-DR zoning district will also accommodate publicly owned open space land.
- E. PF (Public Facilities) District. The PF zoning district is applied to land owned and operated by the city, county, state, or federal governments, or school districts, where a governmental, educational, recreational, or other institutional facility is the primary use of the site, and is sufficiently different from surrounding land uses to warrant a separate zoning district. The PF zoning district will also accommodate publicly or privately constructed uses and facilities developed on city-owned land and intended for a purpose found by the city to be in the public interest. The PF zoning district is consistent with the public facilities-institutional land use district of the General Plan.
- F. REC (Recreation) District. The REC zoning district is intended for public and private lands within the city committed to leisure and recreational uses that are primarily open space in character. Allowable uses include city-owned parks, regional recreation facilities, and similar, related compatible uses. The REC zoning district is consistent with the open space-recreational and public facilities-recreational land use districts of the General Plan.
- G. SP (Specific Plan) District. The SP zoning district denotes an area within the city that is regulated by an adopted specific plan. The SP zoning district is consistent with the R-MF land use district of the General Plan.

F. Section 17.16.020 (Special Purpose District General Development Standards) of Chapter 17.16 (Special Purpose Districts) of Article II (Zoning Districts and Allowable Land Uses) of Title 17 (Land Use and Development) of the Municipal Code is hereby amended as follows (new text shown as underlined and deleted text shown as ~~strikethrough~~):

“17.16.020 – Special purpose district general development standards.

- A. Subdivisions, new land uses and structures, and intensifications and alterations to existing uses or structures shall be designed and constructed in compliance with the following requirements.

**Table 2-7
Special Purpose District General Development Standards**

Development Feature	Requirement by Zoning District											
	PD	HM	OS	OS-DR	PF	REC	<u>SP</u>					
Minimum Lot Size	Minimum lot area and width required for new parcels.											
Area	Determined by Development Plan Process (Section 17.62.070)	From 40 acres to 10 acres, determined through the subdivision review process based on site opportunities and constraints, applicable Performance Standards in Chapter 17.20 and Table 6-2 - Significant Impacts of Individual Development Projects) in Chapter 17.60	160 acres for existing open space property.	No minimum.	Determined through the subdivision review process based on site opportunities and constraints, applicable Performance Standards in Chapter 17.20 and Table 6-2 Maximum Acceptable Impacts of Individual Development in Chapter 17.60.		(4)					
Width								Not applicable				
Residential Density								1 dwelling per lot (1)		None Allowed.	None Allowed.	1 dwelling unit per lot (1)
Floor Area Ratio>								Not Applicable				
Setbacks (2)												
Front	Determined by Development Plan Process (Section 17.62.070)	50 feet minimum	Determined by Development Plan Process (Section 17.62.070) but in no case less than the minimum setbacks required in the RS zone.	Not applicable.	Determined by Development Plan Process (Section 17.62.070)		(4)					
Sides (each)		25 feet minimum										
Street side		30 feet minimum										
Rear		50 feet minimum										
Interior		10 feet minimum between structures										
Height Limits	35 feet maximum (3)	25 feet maximum (3)					(4)					

**Table 2-7
Special Purpose District General Development Standards**

Development Feature	Requirement by Zoning District						
	PD	HM	OS	OS-DR	PF	REC	SP
Hillside Development	See Section 17.20.150 (Hillside and Ridgeline Development)						(4)
Landscaping	As required by Chapter 17.26 (Landscaping)						(4)
Parking	As required by Chapter 17.28 (Parking and Loading)						(4)

Notes:

1. Maximum number of dwellings allowed on an existing lot.
2. See Section 17.20.180 for setback measurement, exceptions and encroachments.
3. See Section 17.20.140 for measurement and exceptions.
4. Requirements of the adopted specific plan apply."

G. The amendments to the Municipal Code adopted by this Initiative are hereby enacted and in full force and effect notwithstanding any other provision of the Municipal Code including, without limitation, Chapter 17.76 (General Plan and Development Code Amendments) of Article III (Site Planning and Project Development Standards) of Title 17 (Land Use and Development) of the Municipal Code.

SECTION 5. Avalon Calabasas Neighborhood Preservation Plan.

A new Avalon Calabasas Neighborhood Preservation Plan (the "Specific Plan") is hereby adopted in the form of **Exhibit B** attached hereto and incorporated herein by reference.

The Specific Plan adopted by this Initiative is hereby enacted and in full force and effect notwithstanding any other provision of the Municipal Code including, without limitation, Chapter 17.66 (Specific Plans) of Article III (Site Planning and Project Development Standards) of Title 17 (Land Use and Development) of the Municipal Code.

SECTION 6. Findings of Consistency.

The zoning map and Municipal Code, as amended by this Initiative, and the Specific Plan, as adopted by this Initiative, are consistent with (and shall at all times be interpreted to be consistent with) the goals, policies and actions of the General Plan and would not be detrimental to the public interest, health, safety, convenience or welfare of the City. The Property is physically suitable (including access, provision of utilities, compatibility with adjoining land uses, and absence of physical constraints) for the requested zoning designations and anticipated land use developments. The zoning map and Municipal Code, as amended by this Initiative, are also consistent with (and

shall at all times be interpreted to be consistent with) the Specific Plan. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Land Use Element, as amended by this Initiative, in that it prioritizes the enhancement of an existing residential community by providing additional housing within an established residential community that is compatible in design, massing, and height with the established community. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Conservation Element in that it incorporates all City requirements of the Oak Tree Ordinance (Municipal Code Chapter 17.32 – Oak Tree Regulations), including a survey to assess the location and size of protected oak species, and requires implementation of all construction protocols. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Housing Element in that it allows for the continued availability of affordable housing units on the Property, provides housing that responds to the diverse housing needs of Calabasas residents and workforce in terms of density, location and cost, and utilizes green building designs and drought-tolerant native landscaping. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Circulation Element in that it maintains an adequate supply of parking and promotes alternative means of transportation through bicycle parking. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Community Design Element in that it focuses new housing in an already existing development, ensures that new buildings are compatible with the surrounding natural areas and are buffered by existing buildings and mature landscaping, thus preserving views from the Las Virgenes Scenic Corridor, provides upgrades to existing structures to provide an overall cohesive community, utilizes sustainable and green building requirements for new buildings, and incorporates relevant provisions of the City’s Scenic Corridor Design Guidelines. The Project is consistent with (and shall at all times be interpreted to be consistent with) the objectives and policies of the General Plan Services, Infrastructure and Technology Element in that existing utility capacity at the Property already exists to serve the increased density, all costs for new water and sewer main connections will be borne solely by the developer, large turf areas of the existing Property will be converted to water-efficient landscape palette, and new development will include the collection, control and treatment of stormwater runoff. The Project would not be detrimental to the public interest, health, safety, convenience or welfare of the City. The Property is physically suitable (including access, provision of utilities, compatibility with adjoining land uses, and absence of physical constraints) for the requested zoning designations and anticipated land use developments.

SECTION 7. Conflict with Other Measures.

In approving this Initiative, it is the voters’ intent to create a comprehensive regulatory plan to govern the future use and development of the Property. To ensure that this intent is not frustrated, this Initiative is presented to the voters as an alternative to, and with the express intent that it will compete with, any and all voter initiatives or City-sponsored measures placed on the same ballot as this Initiative and which, if approved, would regulate the use or development of the Property in any manner whatsoever (each, a “Conflicting Initiative”). In the event that this Initiative and one or more Conflicting Initiatives are adopted by the voters at the same election, then it is the voters’ intent that only that measure which receives the greatest number of affirmative votes shall control in its entirety and said other measure or measures shall be rendered void and without any legal effect. In no event shall this Initiative be interpreted in a manner that would permit its operation in

conjunction with the non-conflicting provisions of any Conflicting Initiative. If this Initiative is approved by the voters but superseded in law in whole or in part by any other Conflicting Initiative approved by the voters at the same election, and such Conflicting Initiative is later held invalid, this Initiative shall be self-executing and given full force of law.

SECTION 8. Amendment.

The City Council shall have the power to amend the General Plan and Municipal Code sections amended or adopted by this Initiative and, upon application of the landowner of the Property, the Specific Plan adopted by this Initiative, without the approval of a majority vote of the voters at a subsequent City election, but only if such amendment does not frustrate or eliminate the purpose of this Initiative, which is to permit 761 multi-family residential units at the Property with at least 10% of such units reserved for affordable housing as detailed in the Specific Plan.

SECTION 9. Implementation.

- A. This Initiative is not intended to preempt or conflict with state or federal laws or regulations, and shall be so construed and applied. This Initiative (including but not limited to all exhibits thereto) is also intended to be and shall be construed as consistent with each and every element, provision, and map, and the whole of the City's General Plan. To the extent permitted and required by law, the City shall amend any other elements or provisions of the General Plan and Municipal Code, including all exhibits and figures, and all other City ordinances, policies and implementation programs or policies as soon as possible in order to implement this Initiative and to ensure consistency between this Initiative and other elements of the General Plan and Municipal Code.
- B. Commencing on the effective date of this Initiative, the City is directed to promptly take all appropriate actions needed to implement this Initiative, including, without limitation, issuance of demolition, grading and building permits, subdivision maps, lot line adjustments, and any other City actions as necessary, desirable, and appropriate to implement the Project as soon as possible. This Initiative is considered adopted and effective upon the earliest date legally possible after the Elections Official certifies the vote on the Initiative by the voters of the City of Calabasas.
- C. The General Plan and Specific Plan, as amended and adopted in this Initiative, collectively comprise an integrated, internally consistent and compatible statement of policies for the City. To ensure that the City's General Plan remains an integrated, internally consistent and compatible statement of policies for the City, any provision of the General Plan that is adopted between the date of filing of the Notice of Intent to Circulate this Initiative and the effective date of this Initiative shall, to the extent that such interim-enacted provision is inconsistent with the this Initiative, be null and void in its entirety and without any legal effect. This Initiative shall prevail over any conflicting revisions to the General Plan adopted between the date of filing of the Notice of Intent to Circulate this Initiative and the effective date of this Initiative.
- D. The Project may require the issuance of subsequent approvals by a governmental agency, all of which are part of the "project" approved by this Initiative. The issuance of permits

and verifications for improvements and development that substantially conform to the Specific Plan as adopted by this Initiative is ministerial and accordingly exempt from the California Environmental Quality Act (CEQA).

- E. All future project approvals and other actions needed to implement the Specific Plan shall be consistent with the purpose of this Initiative, which is to permit 761 multi-family residential units at the Property with at least 10% of such units reserved for affordable housing as detailed in the Specific Plan.

SECTION 10. Statute of Limitations.

Unless a shorter statute is enacted by the State Legislature, all provisions of this Initiative shall be deemed subject to Government Code Section 65009(c), and no action or proceeding challenging all or any part of this Initiative shall be maintained unless commenced and service made within ninety (90) days of the date of the legislative body's decision. The date of the legislative body's decision shall be either the date the City Council adopts the Initiative in accordance with Elections Code Section 9214 or 9215, or the date the voters adopt this Initiative. If such date cannot lawfully be deemed the date of the legislative body's decision, then the date of the legislative body's decision shall be the earliest possible lawful date.

SECTION 11. Severability.

- A. If any provision of this Initiative or any application thereof to any person or circumstance is held invalid or unconstitutional by a final judgment of a court of competent jurisdiction, such decision does not affect the validity of any provision or application of this Initiative that can be given effect without the invalid provision or application. The voters declare that this Initiative, and each section, subsection, sentence, clause, phrase or part thereof, would have been adopted or passed irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or parts are declared invalid or unconstitutional. To this end, the provisions of this Initiative are severable.
- B. The voters who signed this petition also declare that they would have signed the petition irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or parts thereof would have been declared invalid or unconstitutional.
- C. If any portion of this Initiative is held by a final court judgment of a court of competent jurisdiction to be invalid, we the People of the City of Calabasas indicate our strong desire that: (i) the City Council use its best efforts to sustain and re-enact that portion, and (ii) the City Council implement this Initiative by taking all steps possible to cure any inadequacies or deficiencies identified by the court in a manner consistent with the express and implied intent of this Initiative, including adopting or reenacting any such portion in a manner consistent with the intent of this Initiative.

SECTION 12. Interpretation.

This Initiative must be interpreted so as to be consistent with all federal and state laws, rules, and regulations. Subject to the foregoing, the provisions of this Initiative must be broadly construed in order to achieve the purposes set forth in this Initiative and shall be interpreted and implemented in a manner that facilitates the purposes set forth in this Initiative. The title of this Initiative and the captions preceding the sections of this Initiative are for convenience of reference only. Such title and captions shall not define or limit the scope or purpose of any provision of this Initiative. The use of the terms “including,” “such as” or words of similar import when following any general term, statement or matter shall not be construed to limit such term, statement or matter to the specific items or matters, whether or not language of non-limitation is used. Rather, such terms shall be deemed to refer to all other items or matters that could reasonably fall within the broadest possible scope of such statement, term or matter. The use of the term “or” shall be construed to mean “and/or.”

SECTION 13. Exhibits.

All exhibits are incorporated by reference and comprise part of this Initiative. These exhibits are listed below for ease of reference.

- Exhibit A Legal description of the Property.
- Exhibit B Avalon Calabasas Neighborhood Preservation Plan
- Exhibit C-1 Figure II-1 of the General Plan Land Use Element to be repealed by this Initiative (for informational purposes only)
- Exhibit C-2 Amended Figure II-1 of the General Plan Land Use Element depicting the new R-MF(20) designation for the Property as adopted by this Initiative
- Exhibit D Amended Zoning Map depicting the new Special Purpose Zone Specific Plan (SP) designation for the Property as adopted by this Initiative

EXHIBIT A
Legal Description of the Property

Real Property in the City of Calabasas, County of Los Angeles, State of California, described as follows:

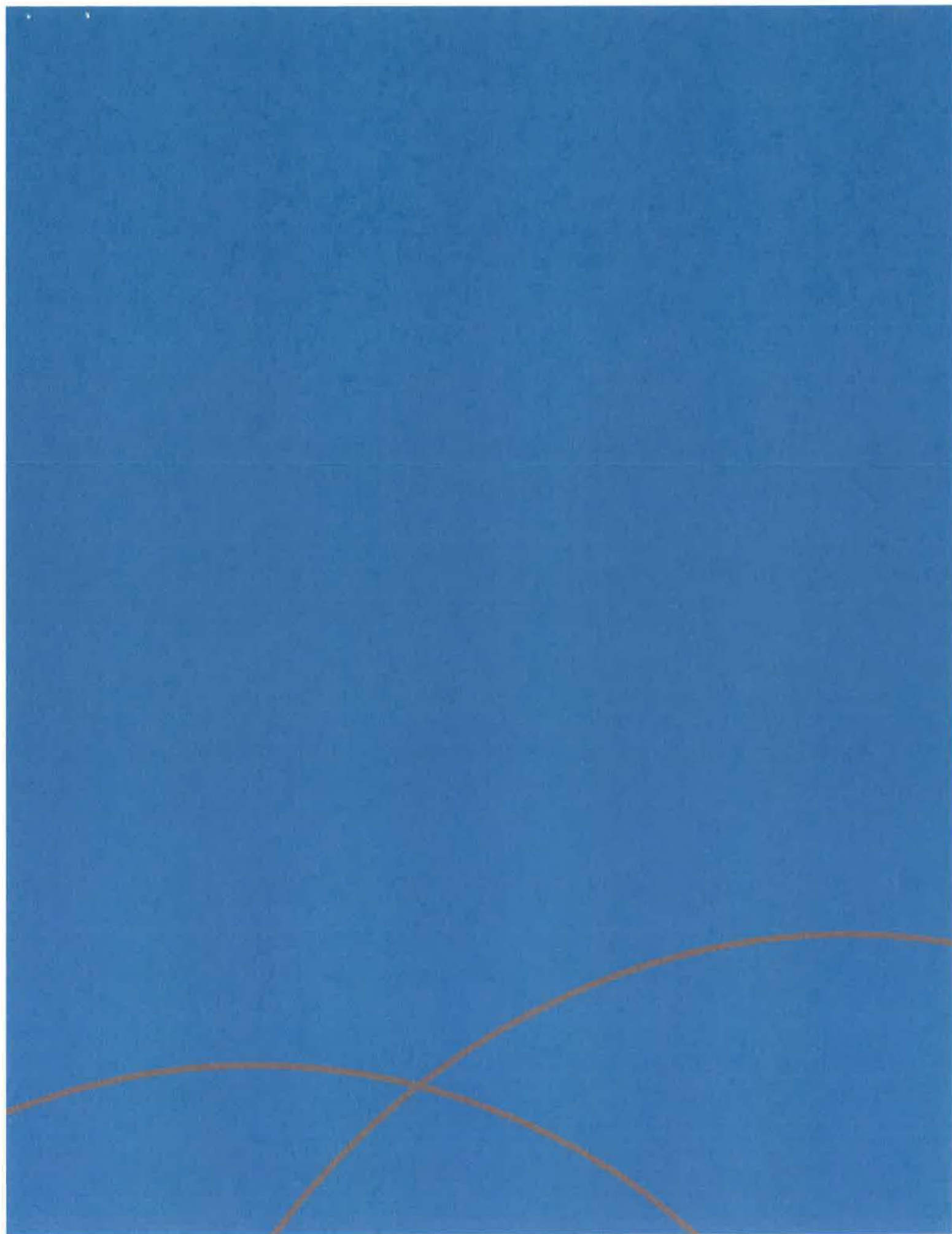
LOTS 1 AND 2 OF TRACT 43788, IN THE CITY OF CALABASAS, AS PER MAP RECORDED IN BOOK 1084 PAGES 61 TO 70 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 2063-034-037 (AFFECTS: LOT 1) AND 2063-034-038 (AFFECTS: LOT 2)



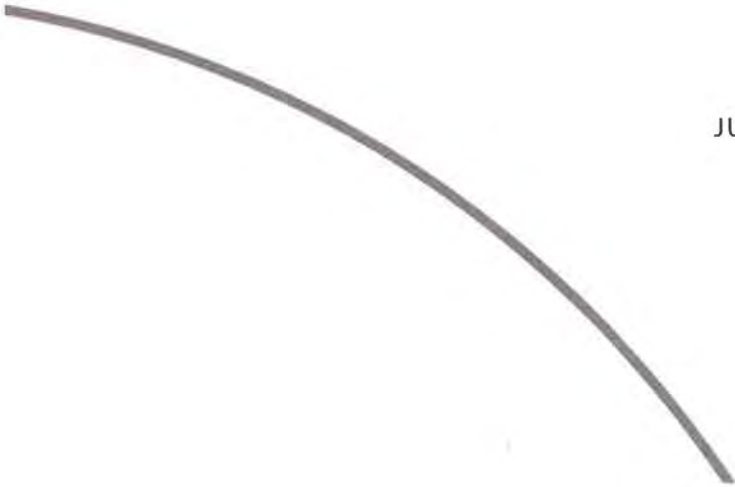
AVALON CALABASAS NEIGHBORHOOD PRESERVATION PLAN

JULY 2019

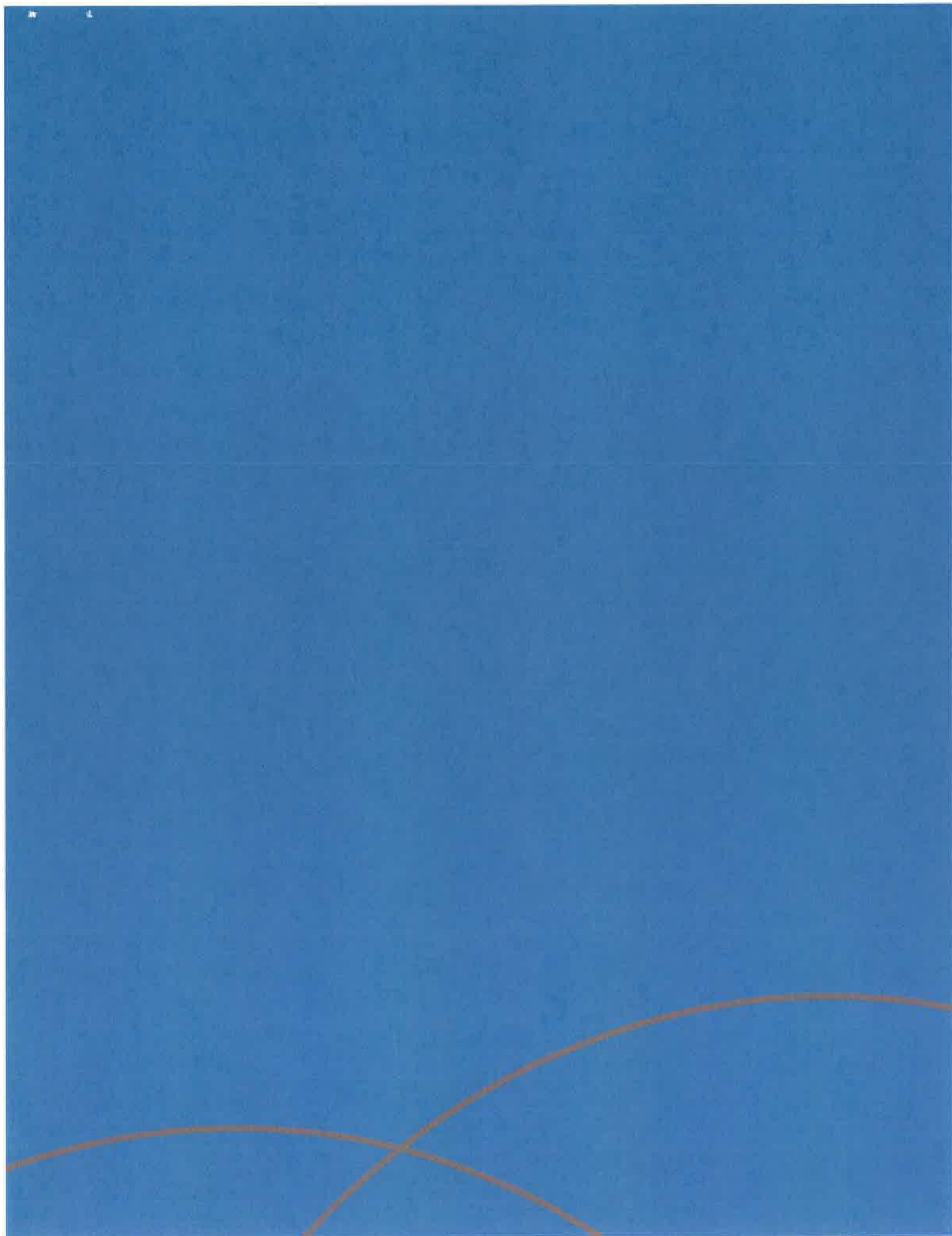


Avalon Calabasas Neighborhood Preservation Plan

A Specific Plan in the City of Calabasas



JULY 2019





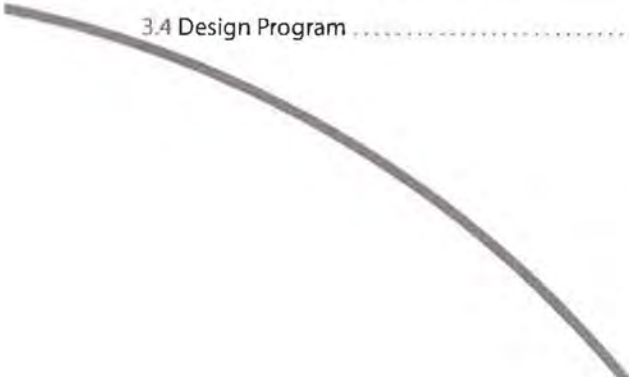
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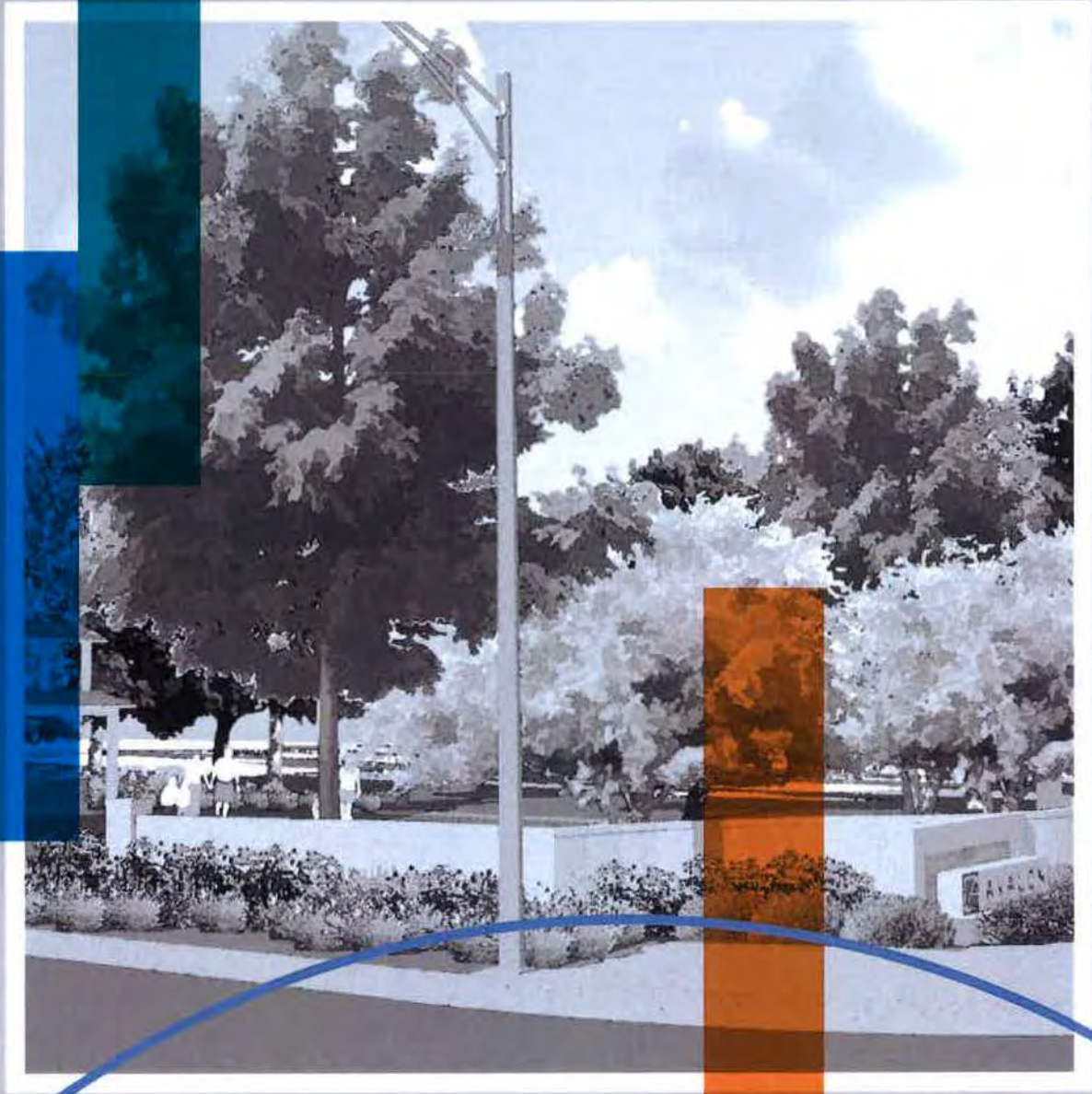
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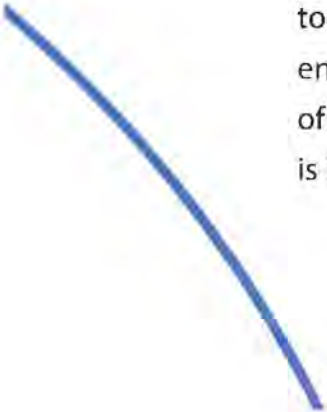


PREFACE

Avalon Calabasas is an existing residential community in the City of Calabasas. Of the 600 existing apartments, a small portion has been set aside as affordable dwelling units since the community was built in 1988. Recently, however, Avalon's affordable housing program ended, leaving longtime senior and working-class residents faced with rising rents that will likely be unaffordable.

To prevent the possible displacement of these existing Calabasas residents in a manner that ensures the continued financial viability of the entire Avalon Calabasas community, this planning document proposes to retain 80 affordable housing units at the existing community while adding 161 new market-rate units to the currently developed site. This solution proposes building only on already-developed land and maintains affordable housing at no cost to taxpayers – a win-win that will keep current members of the Calabasas workforce like teachers and first-responders in their homes.

In its General Plan, the City of Calabasas lays out a vision to continue to be a low-intensity, primarily residential community nestled in an environmental setting. The City places a high priority on the preservation of its beautiful rural and open spaces by ensuring the density of projects is limited. This document embodies the vision of the General Plan and



maintains its spirit and intent. No open space would be affected because the project would be built entirely on already developed land, and the rural Calabasas feel would be strengthened through the addition of a cohesive landscape plan featuring native species and the addition of over 350 new trees.

In addition to enhancing open space, this document ensures that redevelopment of Avalon Calabasas provides additional benefits to the broader Calabasas community. Such benefits will fund: 1) the Las Virgenes Unified School District (LVUSD) Community 360 Counseling Center for use in staffing a full-time credentialed counselor(s) to assist students struggling with depression and stress, or a similar use of funds; and 2) park improvements at nearby De Anza Park that may include providing a fully accessible playground, water play feature expansion, educational gardens, and/or other such improvements identified by the City's Community Services Department following a community outreach process. These additive community benefits reinforce the project's goals of supporting Calabasas residents, strengthening and preserving neighborhoods, and enhancing the City's beautiful, shared open spaces.

Additionally, the City's Housing Element in the General Plan identifies strategies and programs that focus on the conservation and improvement of existing housing and that assist in providing affordable housing. This document meets these objectives by proposing to preserve existing affordable housing in Calabasas. Through its adoption, the City will not only demonstrate its willingness to protect the most vulnerable Calabasas residents, it will preserve the precious few affordable housing units in the City without adversely impacting the quality of Calabasas' housing market.



In cities and counties throughout California, there is intense focus on housing – particularly affordable housing – due to the rapid expansion of homelessness, together with the existing housing crisis. This document provides the City of Calabasas a creative opportunity to preserve existing affordable housing for longtime Calabasas residents without negatively impacting the quality of life for residents who have worked hard to purchase homes in this idyllic and verdant community. Avalon Calabasas is committed to protecting the way of life in Calabasas while also ensuring its most vulnerable residents are not forgotten or ignored.





1

INTRODUCTION

1.1 Background

Avalon Calabasas is an existing garden-apartment residential community located in the City of Calabasas. The community was originally developed in 1988 (prior to the incorporation of Calabasas) utilizing County bond financing. This type of bond financing included requirements to provide affordable housing units for a period of 30 years. This rent-restricted affordable housing program ended in 2018 with the payoff of the 30-year time frame, meaning many longtime Calabasas residents and their families faced a change in housing circumstances difficult to resolve on their own.

Overall, the City of Calabasas has a dwindling supply of affordable housing. To address the possible displacement of Calabasas residents with expiration of the affordability covenants for the Avalon Calabasas community, a development solution has been identified to increase the number of units within this community as the most feasible way to preserve housing opportunities of longtime residents. Adoption of a specific plan accomplishes this goal. Under such a specific plan, the development concept will be privately funded, and the new units will not be constructed on any open, untouched, or undeveloped land in the City.



1.2 Purpose

The purpose of this Avalon Calabasas Neighborhood Preservation Plan – A Specific Plan (referred to in this document as Specific Plan) is to provide affordable and market-rate housing through the private redevelopment of the established Avalon Calabasas residential community within the City of Calabasas. This Specific Plan contains provisions unique to the existing 30.55-acre, 600-unit Avalon Calabasas residential community. Implementation of this Specific Plan permits a maximum of 761 multifamily apartment units—an additional 161 units within the existing Avalon Calabasas development. This will allow for continued availability of both market-rate and rent-restricted housing within the same residential community, while maintaining and refurbishing parking, open space, and on-site amenities to retain a quality living environment.

This Specific Plan is designed to achieve the following goals:

- Allow many existing community residents and their families to continue to live and work within the City of Calabasas.
- Provide 80 affordable housing units in the City of Calabasas that are privately financed—without the use of taxpayer funds—for at least 55 years.
- Provide new housing by increasing density within an established development envelope that does not require grading or construction on open, undeveloped lands.
- Convert underutilized parking lot areas within the Avalon Calabasas residential community into new homes surrounded by new landscaped areas that create inviting community gathering spaces.
- Revitalize landscaping and trail areas adjacent to the Las Virgenes Creek, adding a significant number of new trees that complement the native oaks and sycamores in the area.
- Comprehensively upgrade the architectural appearance of an established residential community, thereby creating attractive public views along the Las Virgenes Scenic Road Corridor.
- Implement strategies for new construction that has energy efficiency meeting Title 24 and water efficiency through the installation of low-water-use fixtures and water-efficient landscape systems.
- Use of low-emitting materials in construction and LEED-accredited construction design.
- Ensure environmentally sensitive development that avoids impacts on circulation and neighboring communities.
- Provide broader community benefits that fund support programs of the Las Virgenes Unified School District and physical improvements at Juan Bautista de Anza Park.

1.3 Location and Area of Specific Plan

1.3.1 LOCATION AND SETTING

The established Avalon Calabasas residential community that is the subject of this Specific Plan is located within the southwest portion of the City of Calabasas, north and south of Meadow Creek Lane, between Lost Hills Road and Las Virgenes Road, as shown in Figure 1-1. Surrounding land uses and development include:

- North: The Las Virgenes Unified School District offices and the A.E. Wright Middle School campus
- South: The El Encanto residential community and the Juan Bautista de Anza Park
- East: The Lone Oak residential community and Las Virgenes Road
- West: Channelized stream corridor of Las Virgenes Creek



Figure 1-1: Specific Plan Location

1.3.2 SPECIFIC PLAN AREA AND ACCESS

This Specific Plan applies to a narrowly defined area and specific parcels, identified as Los Angeles County Assessor Map numbers 2063-034-037 and 2063-034-038, as shown in Figure 1-2. Public streets provide access to the parcels within this Specific Plan. Meadow Creek Lane splits the parcels and traverses east and west, with five intersecting cul-de-sac streets running north to south: Oleander Court, Ceanothus Lane, Poppysseed Lane, Lupine Lane, and Orchid Lane.

1.4 Authority

The authority to prepare and adopt specific plans is established by California Government Code Sections 65450 through 65457. This Specific Plan conforms to these State provisions and the content criteria for specific plans set forth in the Calabasas Municipal Code (CMC) Section 17.66.030. CMC requirements for specific plans mirror State statutes, including provisions that a specific plan address land uses, infrastructure, development standards, implementation measures, and relationship with the City's General Plan. Upon adoption of this Specific Plan, related zoning actions, subdivisions, and public works projects shall then be consistent with this Specific Plan.

1.5 General Plan Land Use and Zoning Map Designation

1.5.1 LAND USE MAP

Prior to the adoption of this Specific Plan, the Land Use Map of the Land Use Element of the City of Calabasas General Plan 2030 designated the parcels within the boundaries of this Specific Plan as Residential-Multiple Family (16). Concurrent with the adoption of this Specific Plan, the designation on the City's Land Use Map of the Land Use Element will be amended to designate the parcels as Residential-Multiple Family (20). Section 4.5 of this Specific Plan provides a General Plan consistency analysis.

1.5.2 ZONING MAP

Prior to the adoption of this Specific Plan, the City of Calabasas Zoning Map designated the parcels within the boundaries of this Specific Plan as RM-16 (Residential, Multifamily). Concurrent with the adoption of this Specific Plan, the designation on the City's Zoning Map will be amended to designate the parcels as SP (Specific Plan) under the Special Purpose Zones.

1.6 Relationship to the Calabasas Municipal Code

1.6.1 CMC TITLE 17 AND CMC CHAPTER 2.40

This Specific Plan supersedes other development regulations and standards of CMC Title 17 – Zoning and CMC Chapter 2.40 – Architectural Review Panel for the Specific Plan Area, as shown in Figure 1-2. Whenever a provision contained in this Specific Plan conflicts with those contained in CMC Title 17 or CMC Chapter 2.40, the provisions of this Specific Plan shall take precedence. Absent a provision in this Specific Plan to the contrary, regulations contained in CMC Title 17 applicable to the City's RM (Residential, Multifamily) zoning district shall apply, as determined by the Community Development Director or designee.



 Specific Plan Area  Existing Building and Carport Footprints

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNR/SVA/Itas DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community; LARMC, LA County, Fleetsmart, Samsam, Los Angeles County Assessor's Parcel, 2016 Tax Parcel, CAMS Address Lines, Los Angeles County GIS Data Portal, City Boundaries and Associations Data, etc.



Figure 1-2: Specific Plan Area

1.6.2 OAK TREE REGULATIONS AND PERMITS

This Specific Plan incorporates by reference the City's regulations regarding oak tree protection set forth in CMC Chapter 17.32. In accordance with the provisions of CMC Chapter 17.32, three individual protected, native oak trees—*Quercus Agrifolia* (Coast Live Oak)—with a 24-inch diameter at breast height or greater have been identified; their respective locations are shown in Figure 1-3. These three oak trees will be protected and preserved. All new development under this Specific Plan shall be required to comply with all provisions and protocols as defined for an "Encroachment Within the Protected Zone" as outlined in City's adopted "Oak Tree Preservation and Protection Guidelines," Section X. Phases of Construction and Appendix E – Standard Designs for Encroachments within Protected Zones. A City of Calabasas Oak Tree Permit shall not be required for new development consistent with this Specific Plan.



Figure 1-3: Locations of Protected Oak Trees

1.6.3 SCENIC CORRIDOR REGULATIONS AND PERMITS

This Specific Plan incorporates by reference the City's regulations regarding City-designated scenic corridors outlined in CMC Sections 17.18.040, which sets forth design standards, and 17.62.050, which establishes review and permit requirements. The parcels within this Specific Plan lie within the viewshed of Las Virgenes Road, a City-designated Scenic Corridor. The City has adopted Scenic Corridor Development Guidelines (Guidelines). The Guidelines specifically allow for a Specific Plan to contain its own development policies to implement the Scenic Corridor provisions. This Specific Plan incorporates such provisions, and a City of Calabasas Scenic Corridor Permit shall not be required for new development consistent with this Specific Plan.

This Specific Plan implements Scenic Corridor Development Guidelines for Las Virgenes Road as follows:

- Design features to reduce exposure to fire hazards, seismic safety, pollutant runoff, erosion control, and other natural hazards are included.
- All roofs visible from Las Virgenes Road consist of surfaces with medium dark colored, fire-retardant, non-glare materials, and all rooftop equipment will be screened with architecturally compatible features.
- All structures visible from Las Virgenes Road will be articulated and textured, thus avoiding large, straight, blank facades.
- Water conservation and landscaping plans have been developed in conformance with the City's Water Efficient Landscape Criteria Ordinance.
- All new structures are designed and specifically focused in the interior of the already built-out site in order to blend with existing buildings, thus maintaining similar view conditions from Las Virgenes Road.
- Existing landscaping and tree planting— together with placement of new trees near new development—will visually enhance, soften, or conceal the new development.
- Vehicle parking areas will be screened by utilizing a combination of building placement, berms, landscaping, and decorative walls.
- The drainage system is designed to maintain existing flow patterns and volumes, and to minimize non-point source pollution consistent with water quality control regulations.
- Grading is designed to be minimized and limited to the areas for new building foundations, surface parking lot areas, and landscape planters.



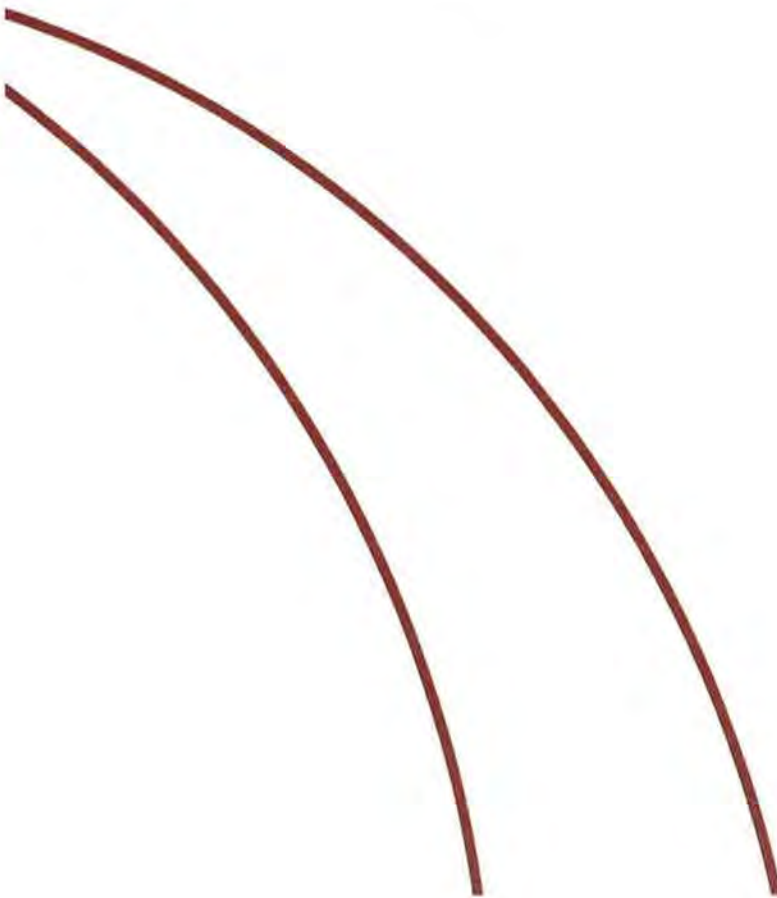


2

DEVELOPMENT PLAN

2.1 Introduction

This chapter summarizes the general development plan, outlines an affordable housing plan, and describes the conceptual plans for site improvements, architecture, landscaping, and utilities.



2.2 Affordable Housing Plan

Due to recently expired bond commitments, seniors and working-class residents living in affordable units at the Avalon Calabasas residential community are at risk of losing their homes. To prevent this displacement in a manner that ensures the continued viability of the community, development under this Specific Plan includes an affordable housing plan. The affordable housing plan was developed to be consistent with provisions outlined in Table 3-1 of this Specific Plan. The plan provides a total of 80 units at rent-restricted affordable rates for 55 years, with 60 units set aside for no more than moderate income households (households earning up to 120% AMI) and 20 units for no more than very-low income households (households earning 50% AMI or lower). The specific moderate and very-low income limits applicable to these households shall be those specified for Los Angeles County in the then-most current State Income Limits published by the California Department of Housing and Community Development (HCD). Rents for these moderate and low income units shall be calculated consistent with HCD guidelines and California Health & Safety Code sections 50052.5 and 50053.

A covenant restricting rents for the affordable units for a minimum 55 years shall be recorded upon issuance of a final certificate of occupancy for all new residential dwelling units.

2.3 Site and Architectural Improvements

The overall development concept to implement this Specific Plan is shown on the conceptual site plan, Figure 2-1, and accompanying architectural exhibits, Figures 2-2 through 2-6. The development plan provides for a comprehensive update to the Avalon Calabasas residential community that includes:

- A total of 761 apartment homes housed within 50 residential buildings;
 - 161 new units within 11 new buildings
 - 600 existing units within 39 existing buildings
- 1,172 on-site parking spaces consisting of a combination of open surface level, carports, and garages
- A new 1,725-square-foot maintenance building with associated parking area, providing on-site maintenance offices and equipment storage to be located at the terminus of the Orchid Lane cul-de-sac
- New and renovated on-site recreational amenities and accessory structures detailed further in Section 2.2 and Figures 2-7 through 2-11

The 161 new apartment homes consist of one-, two-, and three-bedroom units ranging in size from approximately 700 square feet to 1,300 square feet. The units will be housed within 11 new buildings configured as either a 13-plex or 16-plex. The new buildings will be distributed throughout the community, north and south of Meadow Creek Lane, as shown on Figure 2-1.

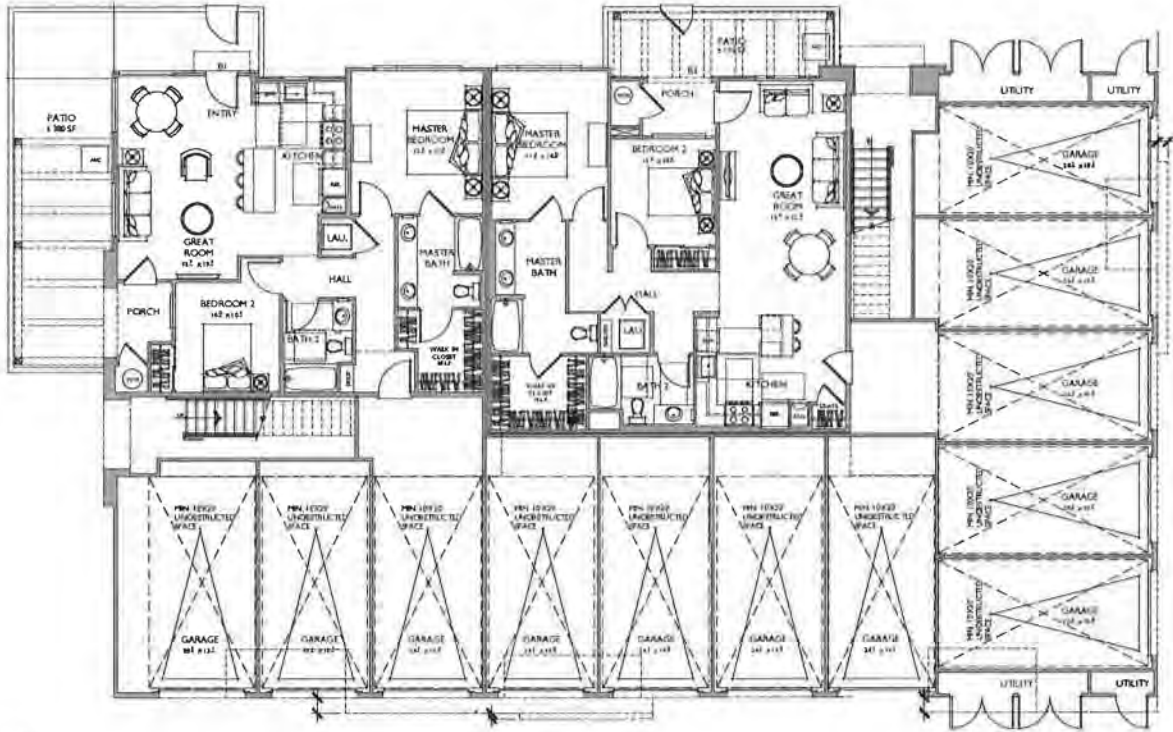
All new residential buildings will be three-story structures, similar to some of the existing on-site buildings. Ground floors will provide accessible dwelling units and single-car garage spaces served by private on-site drive aisles. The second and third floors will contain a combination of flats and townhome style units. All units will be provided with private open space in the form of fenced patios, balconies, or decks, dependent upon floor level. Figures 2-2 through 2-4 show the conceptual floor plans.

Architectural features, materials, and colors of the new residential buildings are designed to be compatible with the existing buildings and consistent with the Design Program contained in Section 3.5 of this Specific Plan. The existing residential buildings will be repainted to provide a comprehensive and cohesive update to the overall appearance of the Avalon Calabasas residential community. Figures 2-5 and 2-6 show conceptual materials.

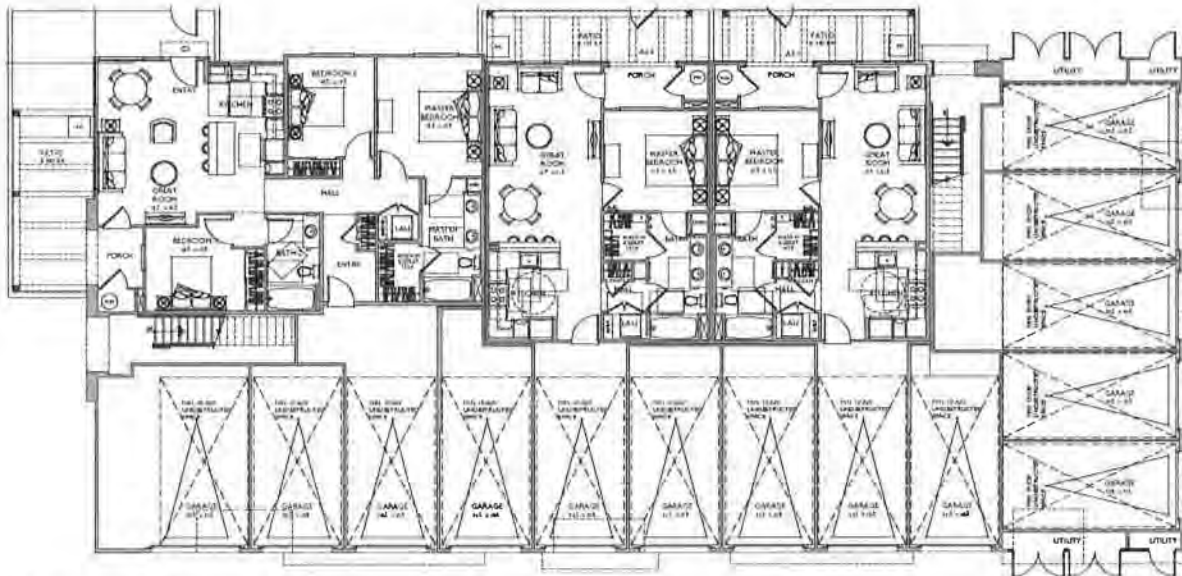


Figure 2-1: Conceptual Site Plan

13-PLEX



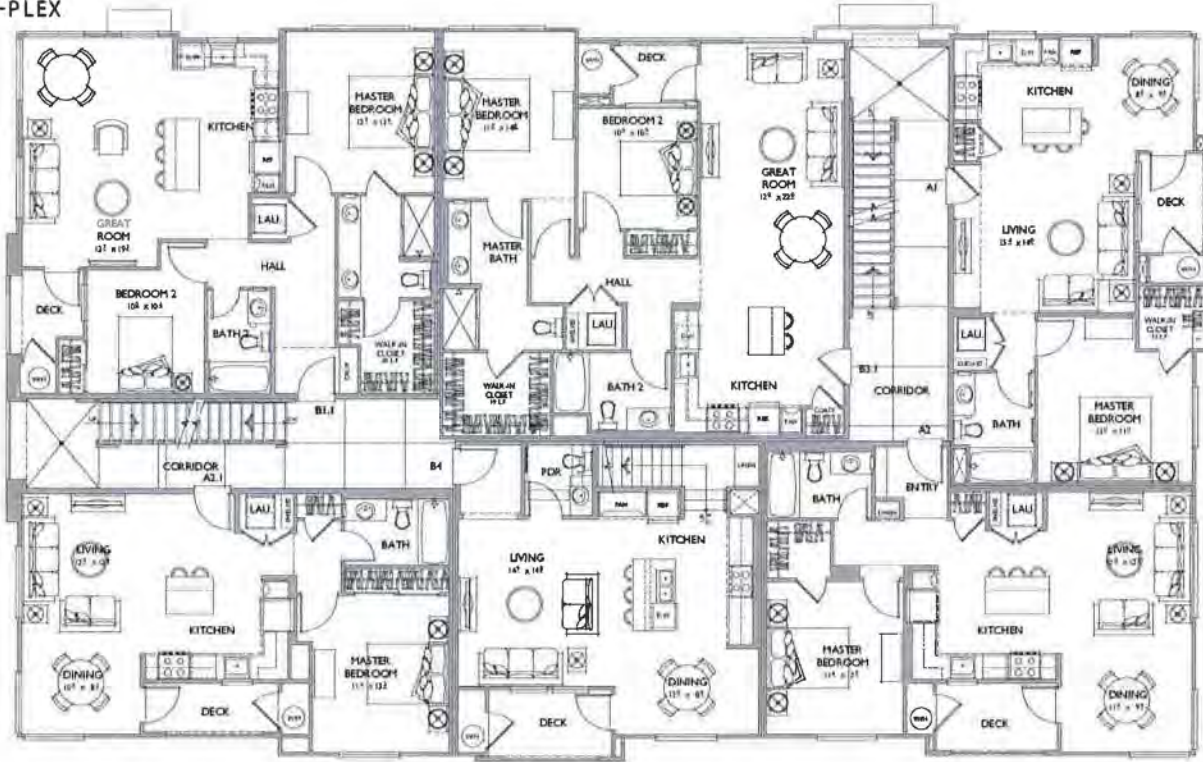
16-PLEX



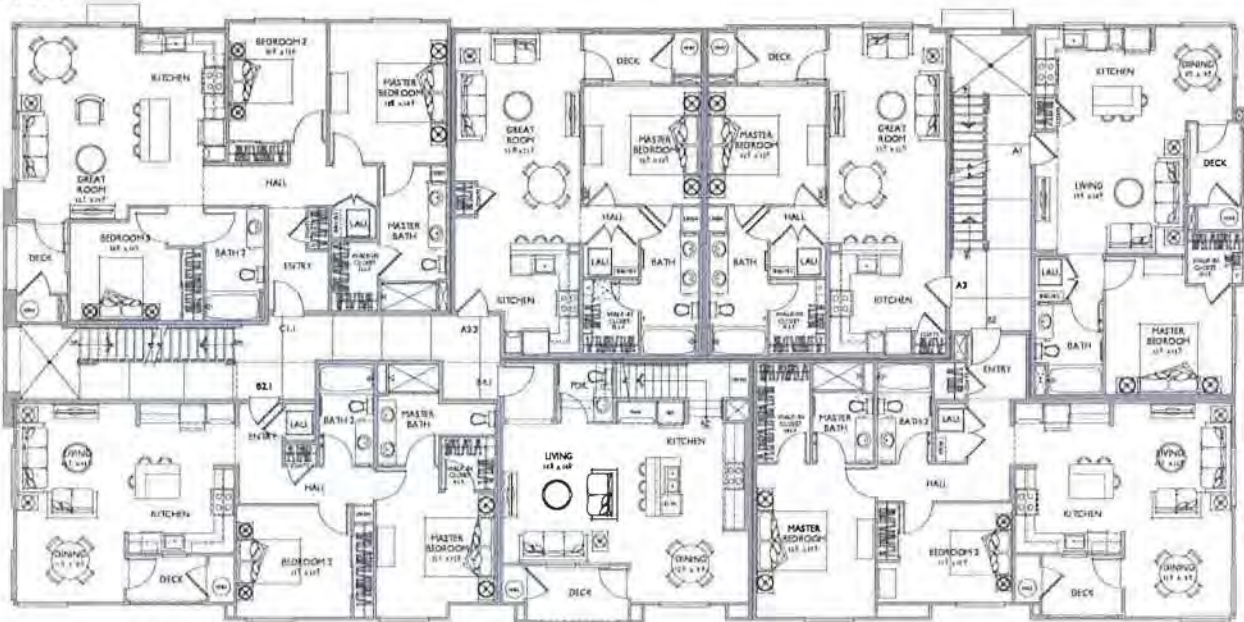
Source: Bassenian | Lagoni Architects

Figure 2-2: Conceptual Floor Plan – Ground Floor – 13-Plex and 16-Plex

13-PLEX



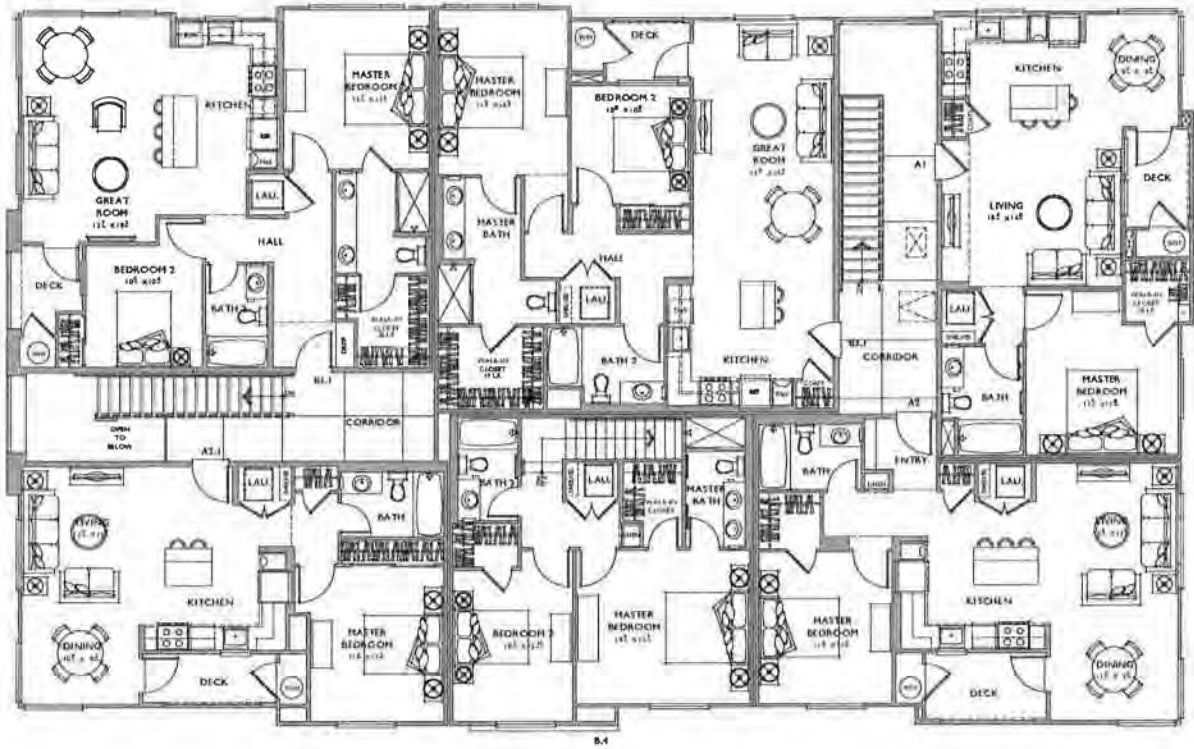
16-PLEX



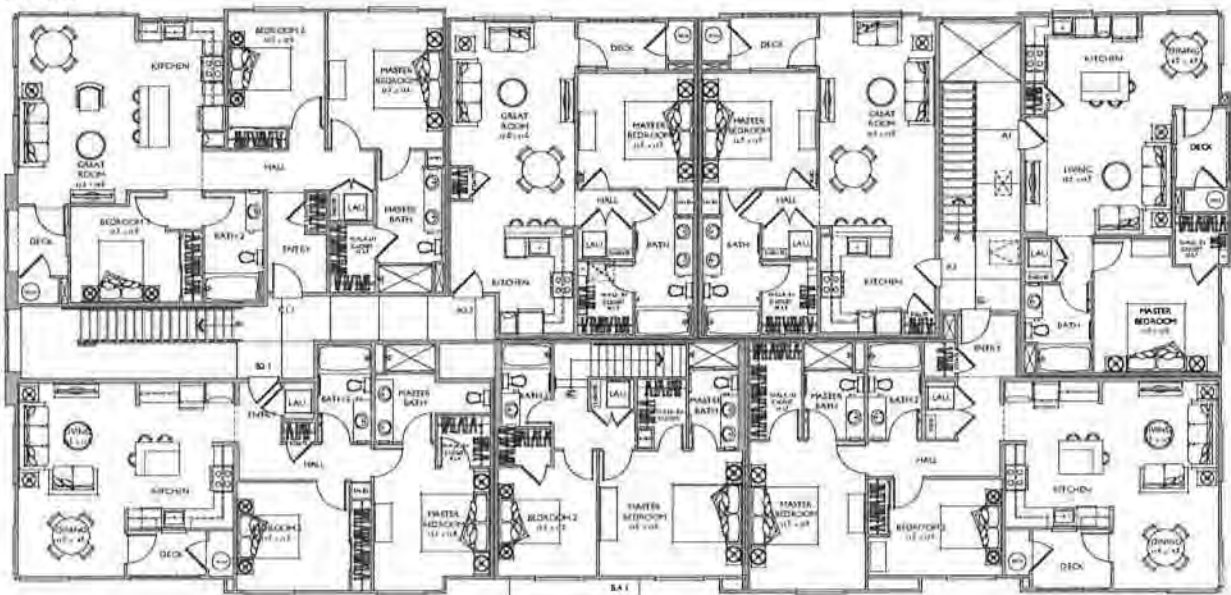
Source: Bassenian | Lagoni Architects

Figure 2-3: Conceptual Floor Plan – Second Floor – 13-Plex and 16-Plex

13-PLEX



16-PLEX



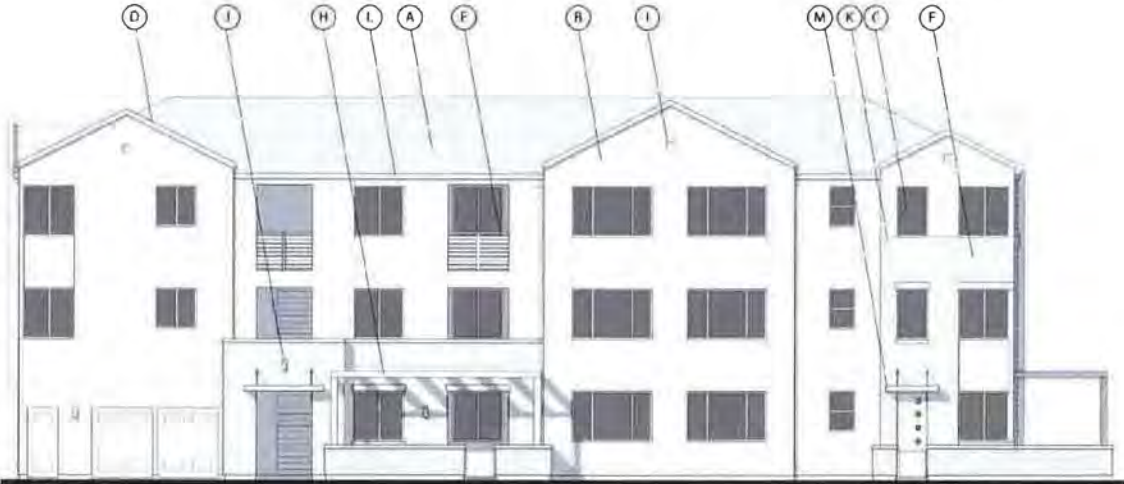
Source: Bassanian | Lagoni Architects

Figure 2-4: Conceptual Floor Plan – Third Floor – 13-Plex and 16-Plex



FINISHES LEGEND

- A - LOW PROFILE "S" TILE
- B - STUCCO
- C - VINYL WINDOW
- D - PARAPET CAP
- E - METAL GUARDRAIL
- F - WEATHERED BRICK
- G - ROLL-UP GARAGE DOOR
- H - WOOD TRELLIS
- I - DECORATIVE GABLE END
- J - LIGHT FIXTURE
- K - BRICK TRIM
- L - WOOD FASCIA
- M - METAL AWNING



FRONT

Figure 2-5: Conceptual Elevations – 13 Plex

- (D)
- (J)
- (H)
- (E)
- (A)
- (L)
- (K)
- (B)
- (I)
- (C)
- (F)
- (M)



FRONT
Source: Bassenian | Lagoni Architects

Figure 2-6: Conceptual Elevations – 16-Plex

2.4 Landscape and Recreational Amenities

The common area recreational amenities will be upgraded or refurbished to provide current and future residents with modernized facilities and to respond to evolving housing market trends and preferences. Amenities will be distributed much more broadly throughout the community to integrate and increase trees, landscape areas, and community gathering spaces between buildings. The locations and types of possible amenities are shown on Figure 2-7, with detailed enlargements of possible amenity types and their layout shown conceptually in Figures 2-8 through 2-10. The distribution and amount of open areas that will be provided following new construction are shown in Figure 2-11.

As illustrated in Figure 2-11, the open areas in front and on the sides of each building will be landscaped with a variety of trees, shrubs, and ground cover. The project also includes landscaped courtyard areas between the buildings which may include hardscape features. Passive and active courtyard spaces are created to provide residents opportunities to gather and mingle, entertain in small groups, or just enjoy the outdoors.

The existing recreation center of the Avalon Calabasas residential community, which houses the leasing offices and is located at the southwest corner of Meadow Creek Lane and Orchid Lane, will be upgraded to include a fitness center, an outdoor kitchen, and dining area. This refurbished facility incorporates the planting palette outlined in Section 3.5 of this Specific Plan. This center already has a large pool/spa facility associated with it.

A new recreation center is planned in the northwest corner to include a new swimming pool, outdoor covered terrace, firepit, and gaming area. The existing walking path bordering the channelized portion of Las Virgenes Creek will be updated as a fitness trail to connect the two recreational amenities, including new plantings consistent with the plant palette shown on Figure 3-4 in Section 3.5 of this Specific Plan.



Figure 2-7: Conceptual Landscape Plan



Figure 2-8: Conceptual Amenity Plan – North Recreation Area



Figure 2-9: Conceptual Amenity Plan – Group Dining Terrace



Figure 2-10: Conceptual Amenity Plan – Upgraded South Recreation Area

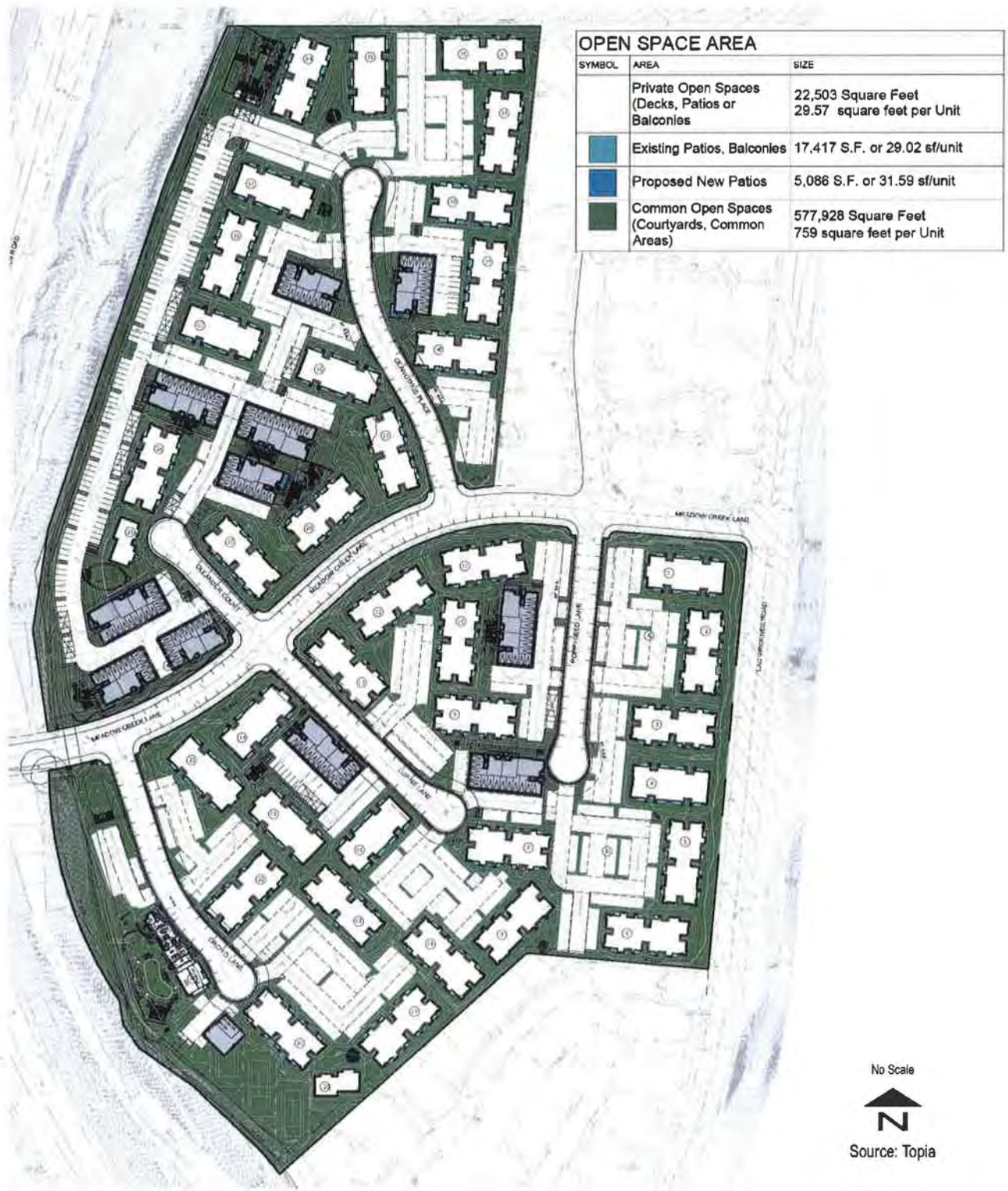


Figure 2-11: Open Space Areas

2.5 Site Preparation and Grading

Demolition of above-ground improvements and structures in various locations will occur in conjunction with grading to accommodate new building foundations, surface level parking lot areas, and landscape/hardscape areas. As shown on the conceptual site plan in Figure 2-1, certain existing improvements will be demolished to allow for construction of new improvements. The demolition and removal of improvements will include approximately:

- 2,200 square feet of common area recreation building
- 1,500 square feet of pool/spa and related concrete decking area
- 18,000 square feet of paved concrete surfaces
- 222,000 square feet of parking lot areas, including the removal of carports
- 65,000 square feet of existing planter/turfed areas

Removal of these improvements will create areas that will be graded to accommodate building foundations, new landscape planters, sidewalks, curb and gutter, new surface parking lot areas, and common area recreational amenities. The limits of grading activity are shown conceptually in Figure 2-12.

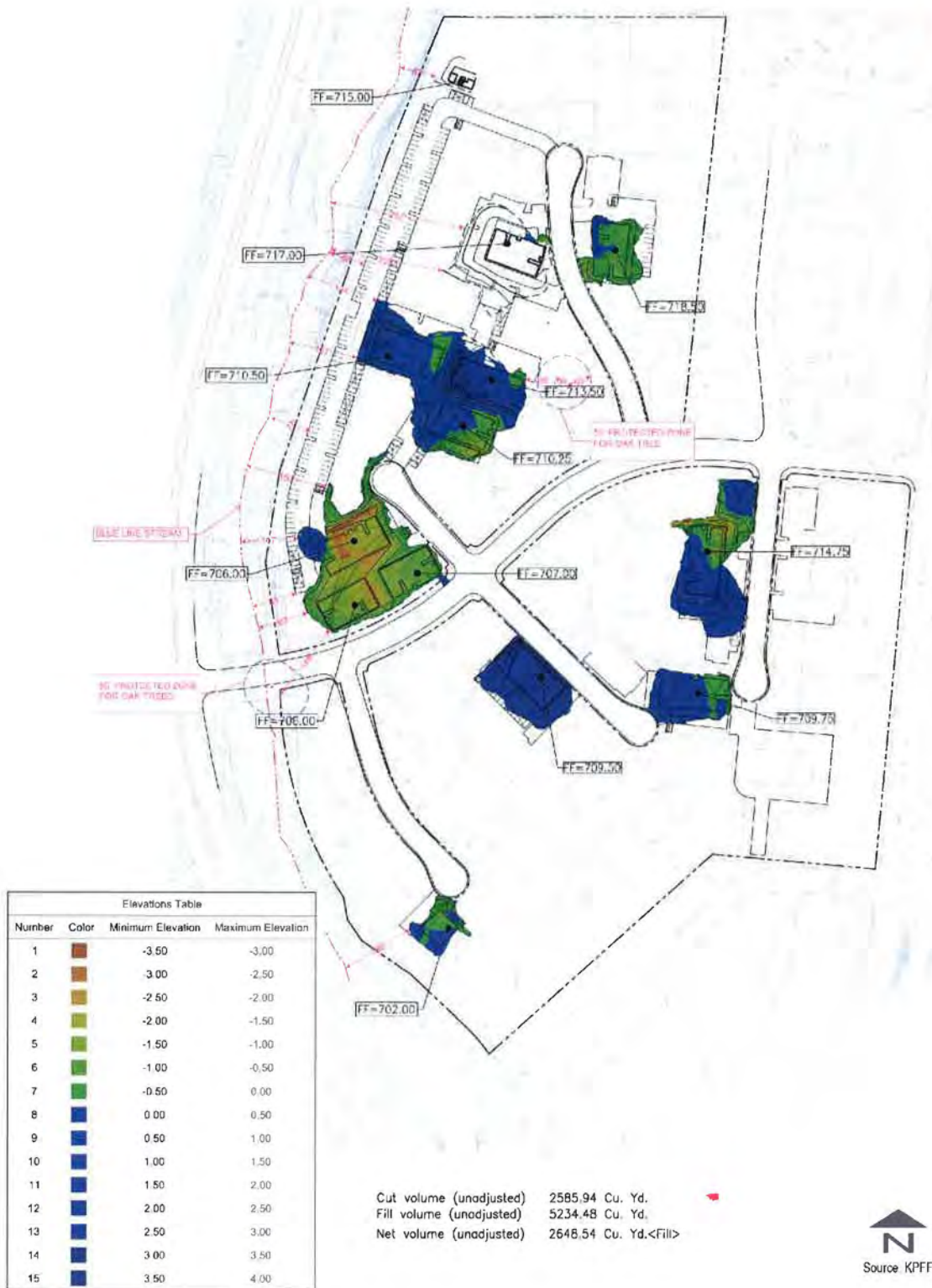


Figure 2-12: Conceptual Grading Plan

2.6 Utilities

The existing 600-unit Avalon Calabasas residential community was developed over 30 years ago within a then-urbanized area, with adequate facilities for water, sewer, and stormwater drainage. Any new connections to tie into existing systems will conform to all provisions of the respective agency/purveyor of such utilities, including fees and permitting, with the developer responsible for costs.

2.6.1 WATER

The Las Virgenes Municipal Water District (LVMWD) supplies potable water service to the City of Calabasas. The major water storage facility is the Las Virgenes Reservoir, which stores treated water received from the Metropolitan Water District of Southern California's (MWD) Jensen Water Treatment Plant. The reservoir can hold approximately three billion gallons, equivalent to a six-month supply of treated drinking water for district customers. The new buildings proposed to be added to the Avalon Calabasas residential community will require one new water connection for each building, 11 of which are residential and two are nonresidential (maintenance building and common open space area restroom/pool equipment building). A total of 13 new connections to the LVMWD water supply system are proposed to implement the development under this Specific Plan, as shown in Figure 2-13.

2.6.2 SEWER

The Avalon Calabasas residential community is served by an eight-inch Los Angeles County sewer main in Meadow Creek Lane, as well as a LVMWD 24-inch sewer trunk line that runs along the western border of the parcels, parallel to the channelized stream corridor of Las Virgenes Creek. The eight-inch line serves the majority of the sewer laterals for the existing Avalon Calabasas residential community, which then connects to the 24-inch regional line. A total of 13 additional lateral connections to these existing facilities are proposed to implement the development under this Specific Plan as shown in Figure 2-13. The capacity is sufficient within both these lines to serve the new buildings without requiring any upsizing or upgrades to facilities.

2.6.3 STORMWATER DRAINAGE AND TREATMENT

The Avalon Calabasas residential community was originally developed with five drainage zones on the property, four of which collect stormwater and urban runoff along curbs and gutters and in small concrete "valley" channels on the parcels, and then convey the runoff to drainage inlets and catch basins. The fifth zone at the southwest end of the southern parcel has sheet flow that flows directly into the channelized stream corridor of Las Virgenes Creek. These stormwater improvements were installed prior to current regulations established under the National Pollutant Discharge Elimination System (NPDES) for management of runoff pollutants.

As shown in Figure 2-13, the Los Angeles County Flood Control District maintains a 69-inch reinforced concrete pipe storm drain within Meadow Creek Lane, with a connecting 36-inch line in Lupine Lane and 24-inch pipe at the terminus of Poppysseed Lane. These regional facilities convey stormwater runoff to the channelized creek corridor of Las Virgenes Creek, which ultimately outfalls to Malibu Lagoon and Santa Monica Bay.

Since the areas of new development will be located adjacent to or close to existing buildings and structures, grading adjustments are minimized, and most of the existing drainage patterns will remain in their current conditions. However, areas of new development must comply with CMC Chapter 8.28 – Stormwater Management and Discharge Control and the City's Low Impact Development (LID) standards, including implementation of both non-structural and structural Best Management Practices (BMPs). Thus, all runoff will be captured for treatment, meaning that the Specific Plan will result in an improved condition with respect to stormwater quality entering regional drainage facilities. Also, runoff that currently discharges into the channelized creek corridor of Las Virgenes Creek will be captured and treated and either used for landscape irrigation or discharged consistent with NPDES regulations.

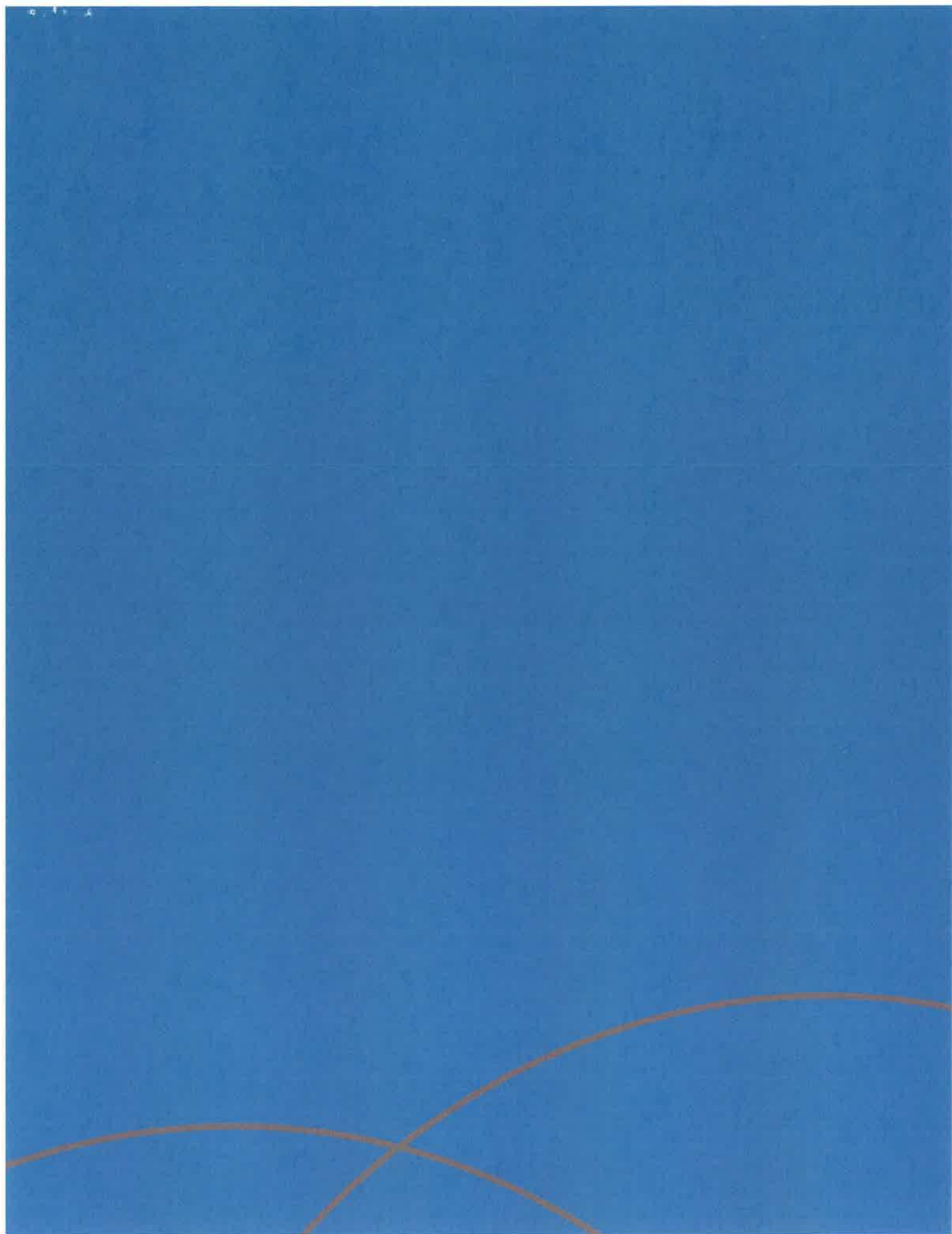


- Existing Sewer Line
- Proposed Sewer Line
- Existing Storm Drain
- Existing Water Line
- Proposed Water Line

* This map indicates the approximate locations of existing storm drains and existing and proposed sewer lines and water lines.

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, KPF

Figure 2-13: Composite Utility Plan







3

LAND USE AND DEVELOPMENT STANDARDS

3.1 Introduction

All development within this Specific Plan Area shall be governed by this Specific Plan in accordance with the land use and development standards contained herein.



3.2 Land Use Regulations

Table 3-1 indicates permitted land uses for all properties regulated by this Specific Plan. Provisions for certain listed land use types include applicable references to CMC Title 17 regulations, unless superseded by a provision of this Specific Plan. The following key applies to land uses in Table 3-1 below:

- "P" indicates "Primary and Permitted"; no separate permit is required to establish the use.
- "A" indicates that a use is "Accessory to a Primary Use" and does not require a separate permit.
- "T" indicates that a use is "Temporary" and requires a ministerial Temporary Use Permit pursuant to CMC Section 17.62.030 (Temporary Use Permit).

Table 3-1: Land Use Regulations

USE	PERMIT TYPE	APPLICABLE CMC TITLE 17 REGULATIONS
Apartments, Condominiums, Duplexes, and other Multi-Family Dwellings	P	
Home Occupations	A	17.12.115
Location Filming	T	17.62.030
Property Management	A	
Residential Accessory Uses and Structures ¹	A	17.12.165
Satellite Antennas	A	17.12.050
Storage - Temporary Portable Containers	T	17.62.030
Temporary Structures, Offices and Work Trailers	T	17.62.030

Note to Table 3-1

1. Includes passive and recreational uses and structures within Common Outdoor Space – Recreational Amenities, as described in Section 3.4.1 of this Specific Plan

Table 3-2: General Development Standards

DEVELOPMENT FEATURE	STANDARD	NOTES
Minimum Acreage of Project Site	30 ac	A project site can include multiple parcels
Maximum Density ¹	20 du/ac	Calculated using gross acreage comprising a project site
Minimum Percentage of Affordable Dwelling Units to Qualify for an Increase in Density ²	10%	
Maximum Site Coverage	55% of the gross acreage	Does not include trash enclosures, carports, patio cover/trellis, or similar structures
Minimum Building/Structure Setback from Property Lines	5 ft	
Minimum Building/Structure Setback from Private Drives/Aisles	5 ft	
Minimum Building to Building Separation ³	15 ft	Does not include trash enclosures, carports, patio cover/trellis or similar structures
Maximum Residential Building Height	40 ft	
Maximum Nonresidential Building Height	25 ft	
Minimum Common Outdoor Space per Dwelling Unit ⁴	500 sq ft	Includes common areas useable for passive or active recreation
Minimum Private Outdoor Space per Dwelling Unit	35 sq ft	Patio, deck, balcony, fenced yard, or similar space
Minimum Area of Landscape/Pervious Surface of Project Site	30% of the gross acreage	
Minimum Required Tree Shading in Parking Lot Area	50% coverage within 15 years of initial planting	Applicable only to new parking lot areas 10,000 sq ft or greater in size Such shading shall be maintained once established.
Minimum Number of Parking Spaces Per Dwelling Unit	1.5	At least one assigned space per unit
Minimum Number of Bicycle Spaces/Storage Per Dwelling Unit	1	Applicable only to new dwelling units
Minimum Number of Visitor Bicycle Spaces	1 space per 10 units	Applicable only to new dwelling units

Notes to Table 3-2

1. Maximum density stated may be increased by up to 30% if the site is at least 30 acres and governed by a specific plan that reserves, for a period of no less than 55 years, a minimum of 10% of residential units for affordable housing, as defined in the specific plan.
2. 25% of the 80 affordable units must be affordable to no more than very-low income (50% of AMI per Health and Safety Code Section 50105) households, with the remainder affordable to no more than moderate income (up to 120% of AMI per Health and Safety Code Section 50093) households. The specific moderate and very-low income limits applicable to these households shall be those specified for Los Angeles County in the then-most current State Income Limits published by the California Department of Housing and Community Development (HCD). Rents for these moderate and low income units shall be calculated consistent with HCD guidelines and California Health and Safety Code Sections 50052.5 and 50053. A covenant restricting rents for the affordable units for a minimum of 55 years shall be recorded upon issuance of a final certificate of occupancy for all new dwelling units.
3. Compliance with any requirements of CMC Title 15 are applicable to such structures.
4. Calculation includes common recreational amenities located within a building/structure setback.
5. Parking ratio applies to Primary Uses. No additional parking is required for an Accessory or Temporary Use.

3.3 Other Development Standards

The following subsections of this Specific Plan address other development standards applicable to development within this Specific Plan and shall be implemented in conjunction with applicable criteria of the Design Program outlined in Section 3.5. CMC Title 17 provisions are noted if applicable to a particular standard. Otherwise, all development standards of CMC Title 17 are superseded by provisions of this Specific Plan.

3.3.1 COMMON OUTDOOR SPACE – RECREATIONAL AMENITIES

New or renovated common outdoor space containing recreational amenities may include, but are not limited to, the following:

- Common outdoor kitchen/barbeque areas
- Common outdoor seating/dining areas
- Sport or game courts and facilities
- Pet exercise areas
- Fitness trails/with training apparatus
- Pools/spas and deck areas
- Any other similar outdoor structure or facility providing a recreational amenity for residents and their invited guests

The following CMC Sections of Title 17 shall apply only to new structures, but not renovated structures, within common outdoor space containing the specific recreational amenity type:

- CMC Section 17.12.165 H. – Swimming Pools/Spas/Hot Tubs
- CMC Section 17.12.165 I. – Outdoor Recreational Features
- CMC Section 17.12.165 J. – Tennis and Other Recreational Courts

3.3.2 TRASH ENCLOSURES

New trash enclosures shall comply with the provisions of CMC Section 17.12.165 K.

3.3.3 FENCING/WALLS

Development pursuant to this Specific Plan shall not be required to be continuously fenced along the property lines of the parcels, except where the property line of a parcel abuts a single-family residential or nonresidential zoning district. Where new fencing or walls is either proposed or required by building codes, it shall be decorative and designed to be consistent with the general appearance, colors, and finish materials of existing fencing or walls, including any that are refurbished, within the Avalon Calabasas residential community. New fencing or walls are subject only to the height provisions in CMC Section 17.20.100, including the ability of the Community Development Director, or designee, to approve a 25 percent adjustment in height. No other provisions of Title 17 apply to fencing or walls within this Specific Plan.

3.3.4 LANDSCAPE AND IRRIGATION

In addition to the provisions of Table 3-2 of this Specific Plan, new landscaped areas shall comply with the applicable provisions related to plant material, irrigation, recycled water, installation, and maintenance in CMC Section 17.26.050. A landscape documentation package pursuant to the requirements of CMC Section 17.26.030 shall be submitted and reviewed concurrent with a building permit application required by Section 4.2 of this Specific Plan. No other provisions of CMC Chapter 17.26 shall apply.

3.3.5 PARKING AND ACCESS

In addition to the provisions of Table 3-2 of this Specific Plan, new parking lot areas shall comply with the applicable provisions related to parking lot and space dimensions, drainage, lighting, and striping in CMC Section 17.28.070. No other provisions of CMC Chapter 17.28 shall apply.

Driveway access from the public streets to the parcels within this Specific Plan shall be shown on a circulation plan submitted and reviewed concurrent with building permit/encroachment permit application as required by Section 4.2 of this Specific Plan, and shall be designed consistent with the following:

- **Number of Access Points.** Multiple driveways and site access points from public streets for the parcels of this Specific Plan are permitted to accommodate circulation and traffic demand and to comply with Fire Department access requirements.
- **Distance from Street Intersection.** The minimum distance from any public street intersection to a driveway shall be located the maximum distance possible as measured from the curb return, and at least 60 feet.
- **Driveway Spacing.** The minimum separation from driveways taking access from the same public street for streets with design speeds of 30 mile per hour or less shall be 100 feet, measured driveway centerline to driveway centerline.
- **Driveway Width and Length.** The width of the driveway throat shall be a minimum of 25 feet, and the length of a driveway throat leading to the drive aisle that serves a bay of individual garage spaces or the markings for a surface parking space shall measure a minimum of five feet, measured from a property line. The landscaped areas between such a garage or surface parking space shall not interfere with any required sight distance.
- **Site Distance at Driveways.** Sight distance at driveways may be reduced as approved by the City Engineer subject to the ministerial permitting provisions outlined in Section 4.2 of this Specific Plan.

3.3.6 SIGNS

New signs shall comply with the applicable provisions in CMC Chapter 17.30.

3.3.7 LIGHTING

New lighting shall comply with the applicable provisions outlined in CMC Chapter 17.27.

3.3.8 GREEN BUILDING AND SUSTAINABILITY

New buildings shall be designed and constructed to incorporate environmentally sustainable design features equivalent to a minimum Silver certification under the Green Building Council's Leadership in Energy and Environmental Design (LEED) Rating System or equivalent standard in effect at the time building permit

applications are submitted. Such features shall include energy-efficient buildings, a pedestrian- and bicycle-friendly site design, and water conservation measures. LEED or similar standards shall be incorporated to reduce energy and water usage, and thus reduce associated greenhouse gas emissions. New development shall use green building technologies utilizing more resource-efficient modes of construction, adhering to the principles of energy efficiency, water conservation, environmentally preferable building materials, and overall waste reduction.

3.4 Design Program

3.4.1 ARCHITECTURAL ELEMENTS

The architecture of the existing buildings and ancillary structures consists of a minimal interpretation of a Mediterranean style. Although the Mediterranean style originated in European countries, it is often associated with a Spanish style. Many homes in California—and other states with Spanish histories—have utilized and continue to refine the use of this timeless style, making it a natural choice for an apartment home community in Calabasas.

Spanish-style structures usually are based on a rectangular floor plan and feature symmetrical facades, with low-pitched gable or hipped roofs. Other typical characteristics include rough plaster exteriors, accented by stonework, decorative iron, or wood railings, and red tiled roofs. Stucco and brick exteriors are usually painted a lighter color to contrast with the roof. Lush gardens usually accompany such structures, organized with well-defined areas taking advantage of the mild climates where this architectural style is most often found.

The Design Program of this Specific Plan articulates the building forms, massing, architectural details, and color palettes in a manner that ensures that the new buildings blend and relate stylistically with existing structures. The primary example of this is demonstrated by the use of the prevailing gable-ended roof forms with parapet caps seen throughout the existing apartment community. This detail has been repeated in the new building design wherever low-pitched, gable-ended forms occur, along with hipping the building edges to minimize building massing.

In addition to the tie-in with building form, new development within this Specific Plan is required to match and/or complement the existing finishes, colors, and materials. The low-pitched front-to-back S-tile roofs attribute to a synthesis of old and new. The new buildings offer a warm, off-white stucco color palette, which can be utilized to throughout the greater community to update existing buildings and provide an overall cohesive appearance.

Expansive and vertically stacking windows on the new building design mimic the pattern on existing buildings. To enhance the architecture further, key moments on the building exterior are accentuated through the use of brick, metal, and wood accents to refresh the overall “transitional” Mediterranean aesthetic and also tie into the existing common area recreation amenities, which will be updated consistent with this design approach and new complementing landscape and hardscape.

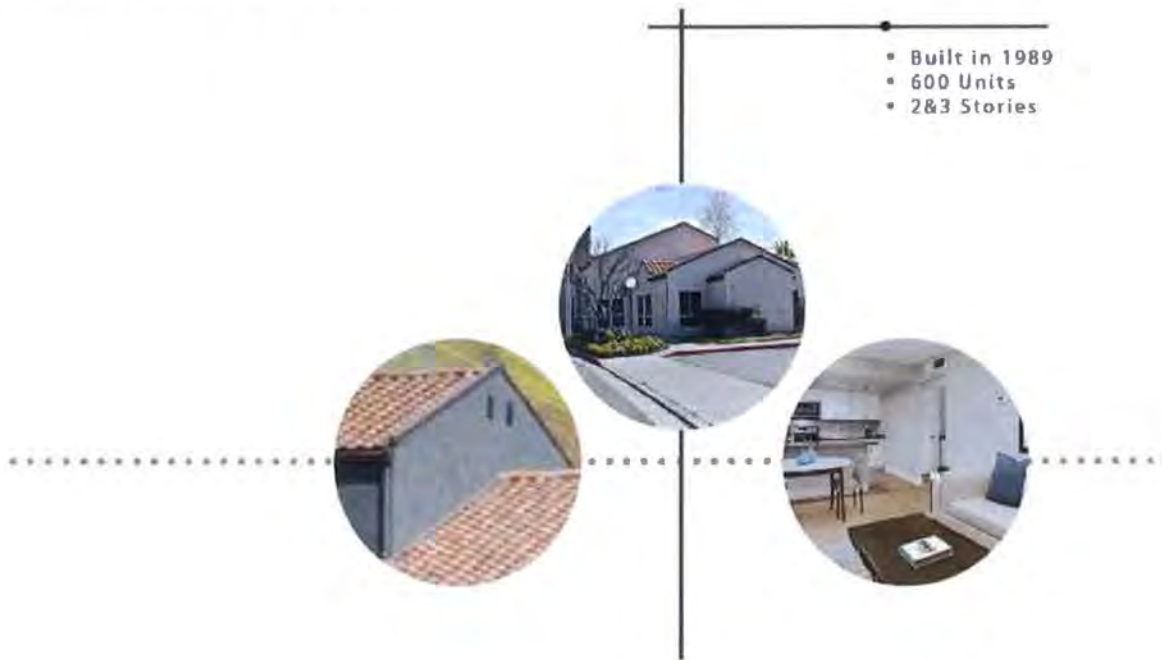


Figure 3-1: Community Character Study



• Parapet Wall



• "S" Tile Roof



• Masonry Veneer
(consider adding to existing building)



• Stucco / Vertically Stacked Windows



• Metal and Wood Accents



Source: Basseran | Lagoni Architects



Figure 3-2: Building Materials/Colors



Source: Bessarian | Lagani Architects

Figure 3-3: New Building Renderings

3.5.2 LANDSCAPE ELEMENTS

The new landscape areas shall incorporate organic plantings and focused arrangement that enhance the architecture and exterior spaces through layering. Where opportunities exist, passive and active courtyard spaces will be created to provide residents the ability to gather and mingle, entertain in small groups, or just enjoy the outdoors. These areas are defined by barbecue and dining terraces, seating areas, decorative lighting, and landscaping. These illustrations are examples and do not mandate specific enhancements.

To the extent possible, landscape design should minimize resource consumption. Hardscape materials shall be used that are long-lived and use minimal energy in their manufacture. The materials shall also either have high recycled material content or have minimal non-renewable material content. Passive methods of energy conservation, such as locating deciduous trees along the south facing building elevations, shall also be used. Drought-tolerant plantings shall be used, and reduction of water-intensive lawns will be promoted. Plant selection will be based on site characteristics of exposure, light intensity, soil analysis, site drainage, and irrigation, as shown in the plant palette of Figure 3-4.

Figure 3-4: Plant Palette

STREET TREE - THEME TREE



QUERCUS ILEX

CANOPY TREES



CANOPY TREES (CONTINUED)



LOPHOSTEMON CONFERTUS

PLATANUS RACEMOSA

EUCALYPTUS CLADOCALYX



QUERCUS AGRIFOLIA

SCHINUS MOLLE



Figure 3-4: Plant Palette (Continued)

PARKING LOT TREES



COURTYARD TREES



LARGE SHRUBS



Figure 3-4: Plant Palette (Continued)

LARGE SHRUBS (CONTINUED)



MEDIUM SHRUBS



GRASSES





Figure 3-4: Plant Palette (Continued)

GROUNDCOVERS



ARCTOSTAPHYLOS 'EMERALD CARPET'

LIRIOPE MUSCARI 'VARIEGATA'

TRACHELOSPERMUM JASMINOIDES

SMALL SHRUBS



BUXUS 'GREEN BEAUTY'

CARISSA JAPONICA 'PROSTRATA'

CISTUS SP.

DIANELLA TASMANICA 'VARIEGATA'

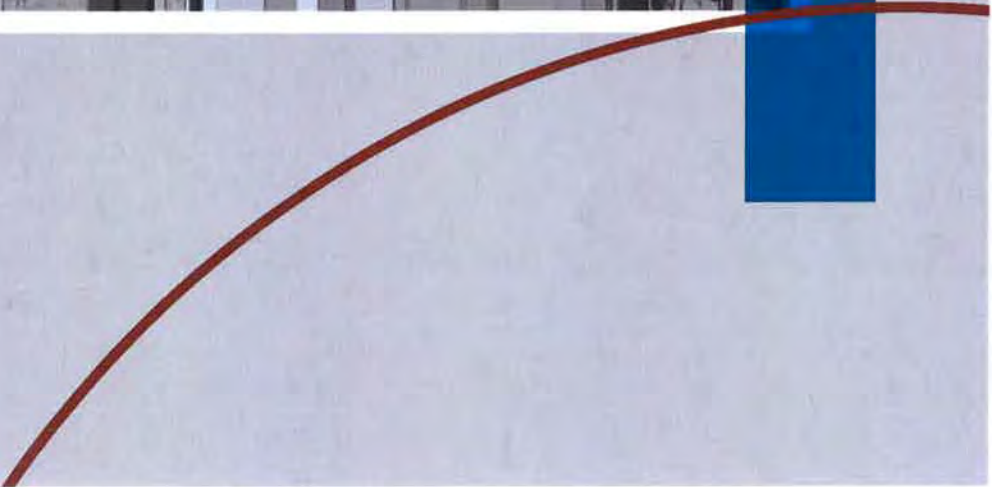


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SENECIO MANDRALISCAE





4 ADMINISTRATION AND IMPLEMENTATION

4.1 Purpose

This chapter sets forth the administration and implementation provisions of this Specific Plan, including financing and community benefits. This chapter also identifies consistency with the objectives and policies of the City of Calabasas General Plan 2030.



4.2 Administration

Development and uses consistent with and located within the boundaries of the Specific Plan are considered permitted unless otherwise stated in Chapter 3.0. Prior to the issuance of any City of Calabasas ministerial permit administered through the City's Building and Safety Division and/or Public Works Department, the Community Development Director, or designee, shall review all construction drawings for all structures and uses anticipated in this Specific Plan for consistency with this Specific Plan. Such ministerial permits shall be issued only after the Community Development Director, or designee, has determined that the structures and uses contemplated are substantially consistent with this Specific Plan. The Community Development Director, or designee, shall have this authority, without the separate or subsequent review and approval of the Development Review Committee (DRC), Architectural Review Panel (ARP), Planning Commission or the City Council. If determined consistent with the provisions contained in this Specific Plan, development and uses on the parcels within the Specific Plan shall be exempt from any of the following CMC Title 17 provisions related to requirements for a separate land use permit, planning application, review, or related non-ministerial permit:

- Chapter 17.60 – Application Filing and Processing
- Chapter 17.62 – Permit Approval or Disapproval
- Chapter 17.64 – Permit Implementation, Time Limits and Extensions
- Chapter 17.66 – Specific Plans
- Chapter 17.74 – Appeals and Calls for Review
- Chapter 17.76 – General Plan and Development Code Amendments
- Chapter 17.78 – Public Hearings

4.3 Amendments

Upon application of a landowner within the Specific Plan Area, the City Council may amend this Specific Plan without submitting the amendment to a majority vote of the voters at a subsequent City election, provided that such amendment does not frustrate or eliminate the purpose of the adopting initiative, which is to permit

761 multi-family residential units at Avalon Calabasas with at least 10% of such units reserved for affordable housing as defined in this Specific Plan. An amendment of this Specific Plan shall be required only if proposed development within the boundaries of the Specific Plan would result in:

- An increase in the total number of dwelling units,
- Changes to the Specific Plan Area boundary, or
- Any reduction in the number of affordable units to less than 10 percent of the overall number of dwelling units

The following modifications to this Specific Plan shall not be considered an amendment, and the Community Development Director, or designee, shall have authority, without the review and approval of the Planning Commission or the City Council, to ministerially approve such modifications that include, but are not limited to:

- Changes in building materials, colors, or other architectural features
- Changes to the layout of parking spaces or location of carports
- Changes to the location, size, or type of on-site recreational amenity
- Changes to the location or type of landscape or hardscape material
- Changes to the interior layout of a dwelling unit, including number of bedrooms
- Any other modification to this Specific Plan when determined substantially consistent with this Specific Plan

4.4 Interpretations

The Community Development Director, or designee, shall have authority, without the review and approval of the Development Review Committee (DRC), Architectural Review Panel (ARP), Planning Commission or the City Council, to make ministerial interpretations consistent with this Specific Plan, including but not limited to, determination of allowable land uses and the application of particular development standards.

4.5 Enforcement

All enforcement provisions of CMC Chapter 17.80 shall apply to properties regulated by this Specific Plan.

4.6 Exemption from Pavement Cut Moratorium

If determined consistent with the provisions contained within this Specific Plan, development on the parcels within this Specific Plan shall be exempt from Policy Nos. 105 (Pavement Cut Moratorium) and 105.1 (Listing of Streets Included in Pavement Cut Moratorium) issued by the Department of Public Works.

Notwithstanding the above, the following shall apply if it is determined that trenching is the most effective way to perform the work associated with the utility connections for the development:

- The trenches shall be repaired per the requirements of Administrative Policy No. PW 105.
- At the discretion of the City Engineer/Director of Public Works, an amount equal to the cost of the whole street being overlaid with 1.5 inches of rubberized asphalt beginning 50 feet before and extending 50 feet beyond the end of the excavation shall be deposited with the City of Calabasas for inclusion in the yearly overlay program. The cost shall include preparation of the area to be overlaid, the rubberized asphalt pavement in place, and in compliance with the most recent specifications used by the City for rubberized asphalt pavement.

The above requirements shall not apply to pavement cuts/trenching on any public streets within the boundary of the Specific Plan Area shown on Figure 1-2 other than Meadow Creek Lane and Orchid Lane.

4.7 Financing

The developer shall be responsible for all improvements associated with implementation of this Specific Plan. No public funds are necessary to implement this Specific Plan.

4.8 Severability

If any provision of this Specific Plan is invalidated, the remainder of this Specific Plan and implementation of it shall remain valid.

4.9 Relationship to the General Plan

The City of Calabasas General Plan 2030 serves as the long-term planning guide for future development throughout the City. The General Plan operates as a guide to the type of community desired for the future and provides the means to accomplish that goal. California law requires a specific plan to be consistent with the adopted general plan. This Specific Plan has been adopted in conjunction with amendments to the City of Calabasas General Plan that:

- Add text in the Land Use Element regarding the adoption of a specific plan under certain parameters within the Residential-Multiple Family (20) Land Use District designation.
- Amend the Land Use Element Map to change the Land Use District designation applicable to the Specific Plan properties from Residential-Multiple Family (16) to Residential-Multiple Family (20).
- This Specific Plan is consistent with the General Plan, as amended, and implements the objectives and policies outlined in the following subsections.

4.9.1 LAND USE ELEMENT

Objective – Maintain Calabasas as a predominantly residential community, with commercial, office, and business park uses playing a secondary, supporting role.

Policy II-9: Require that development be compatible with the overall residential character of the community.

Consistent. This Specific Plan prioritizes the enhancement of an existing residential community by providing additional housing within an established residential community that is compatible in design, massing, and height with the established community.

4.9.2 CONSERVATION ELEMENT

Objective – Create and sustain an urban forest that enhances the quality of life within Calabasas.

Policy IV-9: Continue to enforce the City's Oak Tree Ordinance.

Consistent. This Specific Plan incorporates all City requirements of the Oak Tree Ordinance (CMC Chapter 17.32 – Oak Tree Regulations), including a survey to assess the location and size of protected oak species, and requires implementation of all construction protocols, including fenced protected zones to sustain healthy native oak species within the boundary of the Specific Plan.

4.9.3 HOUSING ELEMENT

Objective – Conserve and improve existing housing in Calabasas.

Policy V-1: Preserve the character, scale and quality of established residential neighborhoods.

Policy V-4: Undertake proactive steps to preserve existing assisted rental housing at risk of conversion to market rents.

Consistent. The primary objective of this Specific Plan is to allow for the continued availability of affordable housing units in Calabasas and on this site in particular. The bond financing that stipulated that 20 percent of the original housing units of the Avalon Calabasas residential community be affordable type units expired in 2018. In order to continue providing such housing amid dramatically increasing housing costs in the region, the property owner has proactively committed through the implementation of this Specific Plan to increase the overall number of units within the community, thereby allowing 80 of the units to be set aside for moderate and very-low income households restricted by a covenant for a period of at least 55 years.

Objective – Provide adequate housing sites through appropriate land use and zoning designations to accommodate the needs of existing and future Calabasas residents.

Policy V-8: Provide site opportunities for development of housing that respond to the diverse housing needs of

Calabasas residents and workforce in terms of density, location, and cost.

Consistent. The City's General Plan and Development Code are amended concurrently with this Specific Plan to allow increased density to ensure the inclusion of affordable housing units.

Objective – Assist in the provision of a variety of housing types to address the needs of all economic segments of the Calabasas community.

Policy V-14: Provide financial and/or regulatory incentives to facilitate the development of affordable housing.

Policy V-15: Encourage affordable housing units to be dispersed throughout a project and not grouped together in a single area.

Policy V-16: Encourage use of sustainable and green building design in new and existing housing to reduce energy and water consumption.

Consistent. The City's General Plan and Development Code are amended concurrently with this Specific Plan to allow increased density to ensure the inclusion of affordable housing units. The Specific Plan includes a provision to require the distribution of the affordable housing units throughout the residential community. The Specific Plan includes sustainable and green provisions for new development that will convert high water use landscape areas to a water-conserving palette.

Objective – Address and remove governmental constraints that may hinder or discourage housing development in Calabasas.

Policy V-17: Offer regulatory incentives and concessions, including density bonuses, to offset or reduce the costs of developing affordable housing.

Policy V-18: Promote the timely processing and approval of residential projects that meet General Plan policies and City regulatory requirements.

Consistent. The City's General Plan and Development Code are amended concurrently with this Specific Plan to allow increased density to ensure the inclusion of affordable housing units. Timely processing is achieved

through use of the State’s initiative process to expedite the path towards an approval process by the City for housing development that meets several General Plan policies, as outlined herein.

4.9.4 CIRCULATION ELEMENT

Objective – Achieve a balance between the demand for and supply of parking, recognizing desirability and availability of alternatives to the single occupant automobile.

Policy: Maintain an adequate supply of parking to support the function of the uses parking serves, and to facilitate transportation demand management programs.

Consistent. This Specific Plan establishes a parking ratio based upon documented utilization of the existing on-site parking spaces of the established residential community. Also, bicycle parking is required for the new development under this Specific Plan, thereby promoting an alternative to single occupant automobile use. This demand-based approach responds to the evolving nature of how people use automobiles.

4.9.5 COMMUNITY DESIGN ELEMENT

Objective – Focus new development in and near areas that already contain existing development.

Objective – Promote high-quality design for structures and building sites.

Objective – Protect and enhance public views from scenic corridors within the community.

Policy IX-5: Ensure that new development is aesthetically compatible with the area’s natural environment and that it contributes to a positive image for the City.

Policy IX-6: Require that new developments preserve views of identified scenic resources from designated corridors.

Policy IX-8: Require that new development establishes architectural and siting design themes that are compatible with the surrounding context.

Policy IX-10: Within residential neighborhoods, protect neighborhood character by maintaining the mass, scale,

and height of structures at a size that is compatible with the size of the parcel upon which the structure is located, as well as the size of adjacent development.

Policy IX-16: Integrate sustainable practices into the design of developments, including the planning, building form, materials, and landscaping.

Policy IX-43: Require new development to be designed in a manner consistent with the Scenic Corridor Overlay Zoning requirements and the Scenic Corridor Design Guidelines.

Consistent. The Specific Plan includes a design program that:

- Ensures new development is compatible with the surrounding natural areas and contributes positively towards the City. Implementation of this Specific Plan will provide new buildings centrally located and buffered by existing buildings and mature landscaping, thus preserving views from the Las Virgenes Scenic Corridor.
- Includes provision to upgrade the appearance of existing structures to provide an overall cohesive community and restores the Spanish style through requirements for use of materials, colors, and a complementary plant palette.
- Sustainable and green building requirements are included for new development with the Specific Plan, and in particular, new development converts large areas of turf to natural, water-conserving landscaped areas.
- Incorporates relevant policies and provisions of the City’s Scenic Corridor Design Guidelines, as outlined in subsection 1.6.3 of this Specific Plan.

4.9.6 SERVICES, INFRASTRUCTURE, AND TECHNOLOGY

Objective – Require developers to pay for all infrastructure, public facilities, and service costs that they create.

Policy XII-7: Require developers to construct and/or pay for the new onsite capital improvements required to serve the new development.

Policy XII-21: Direct new development to areas with adequate water facilities and services, areas that have adequate facilities and services committed, or areas where facilities and services can be economically extended consistent with the LVMWD's master plan.

Policy XII-23: Support conservation and efficient water use in an effort to minimize the need for new water sources.

Policy XII-26: Direct new development to areas with adequate existing sewer facilities and services, areas where adequate facilities and services and facilities are committed, or areas where services and facilities can be economically extended consistent with the LVMWD and TSD master plans of area service providers.

Policy XII-27: Promote the design of wastewater systems that minimize inflow and infiltration.

Policy XII-29: Employ appropriate stormwater management practices to prevent stormwater problems from urban runoff, which may include flooding, erosion, or stream channel scouring in natural drainage systems. These practices at a minimum will include the collection, control and treatment of stormwater runoff at a rate and quantity that prevents damage to both man-made and natural drainage systems.

Policy XII-32: Prevent water quality degradation through implementation of Best Management Practice and educational programs to reduce pollution entering surface waters.

Consistent. Adequate utilities serve the existing Avalon Calabasas residential community, and capacity currently exists to serve the increased density permitted under this Specific Plan. All costs—both fees and construction—for new connections to water and sewer mains will be borne by the developer. Implementation of large turf areas of the Avalon Calabasas residential community will be converted to a water-efficient landscape palette. New development under this Specific Plan includes the collection, control, and treatment of stormwater runoff utilizing both structural and non-structural BMPs.

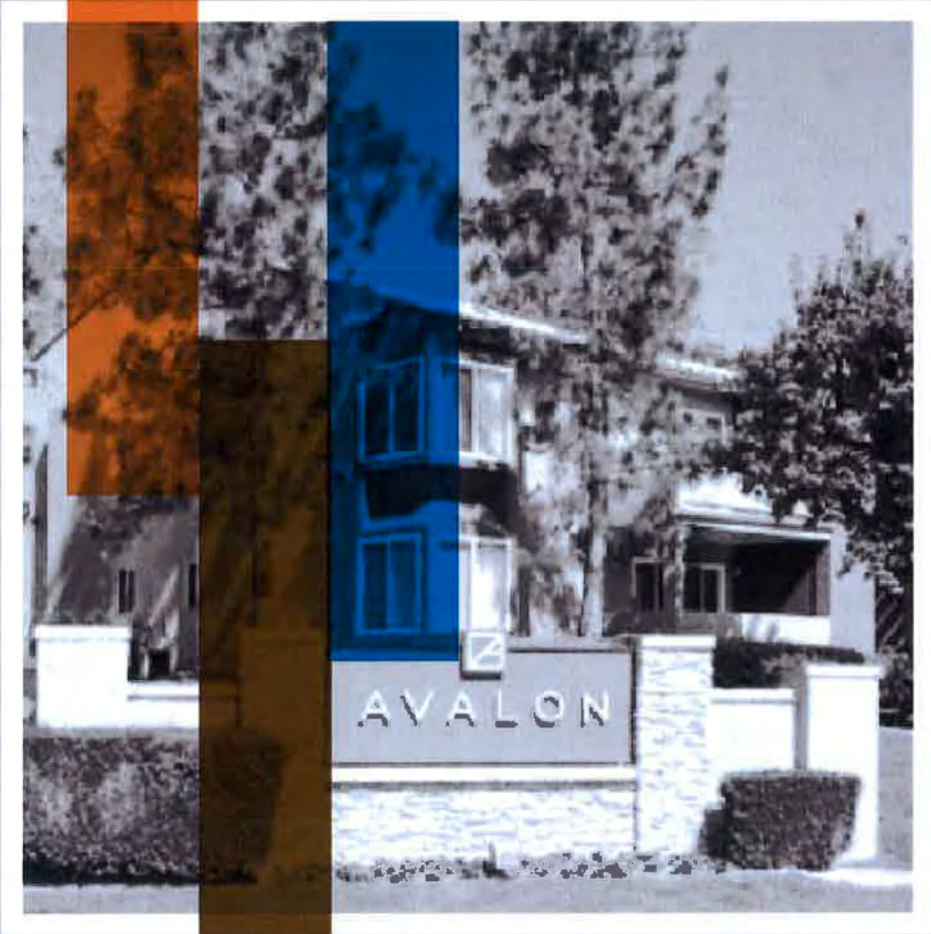
4.10 Community Benefits

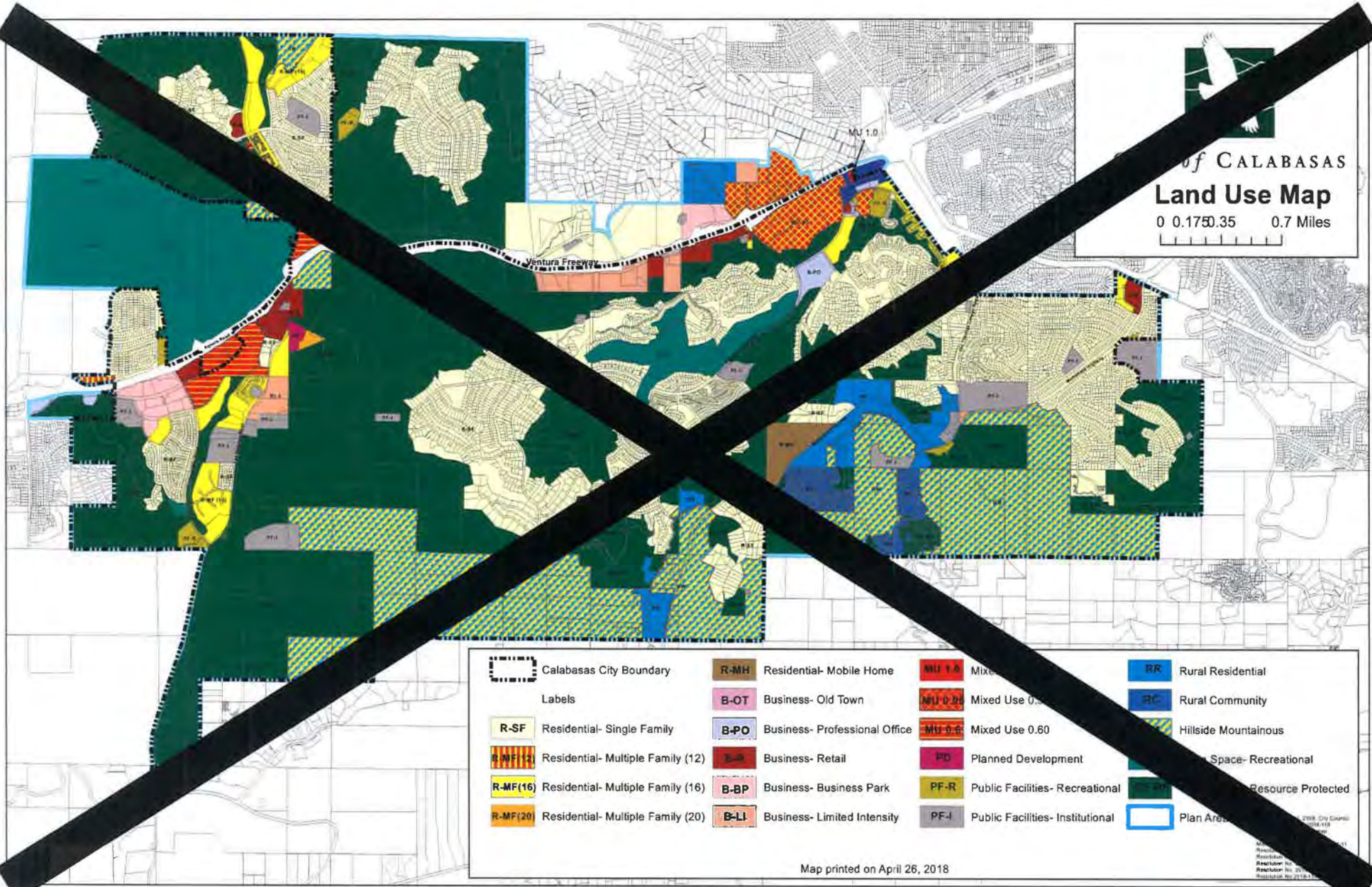
The reimagining of the Avalon Calabasas community under this Specific Plan will provide benefits to the broader Calabasas community. Such benefits and the timing for each are as follows:

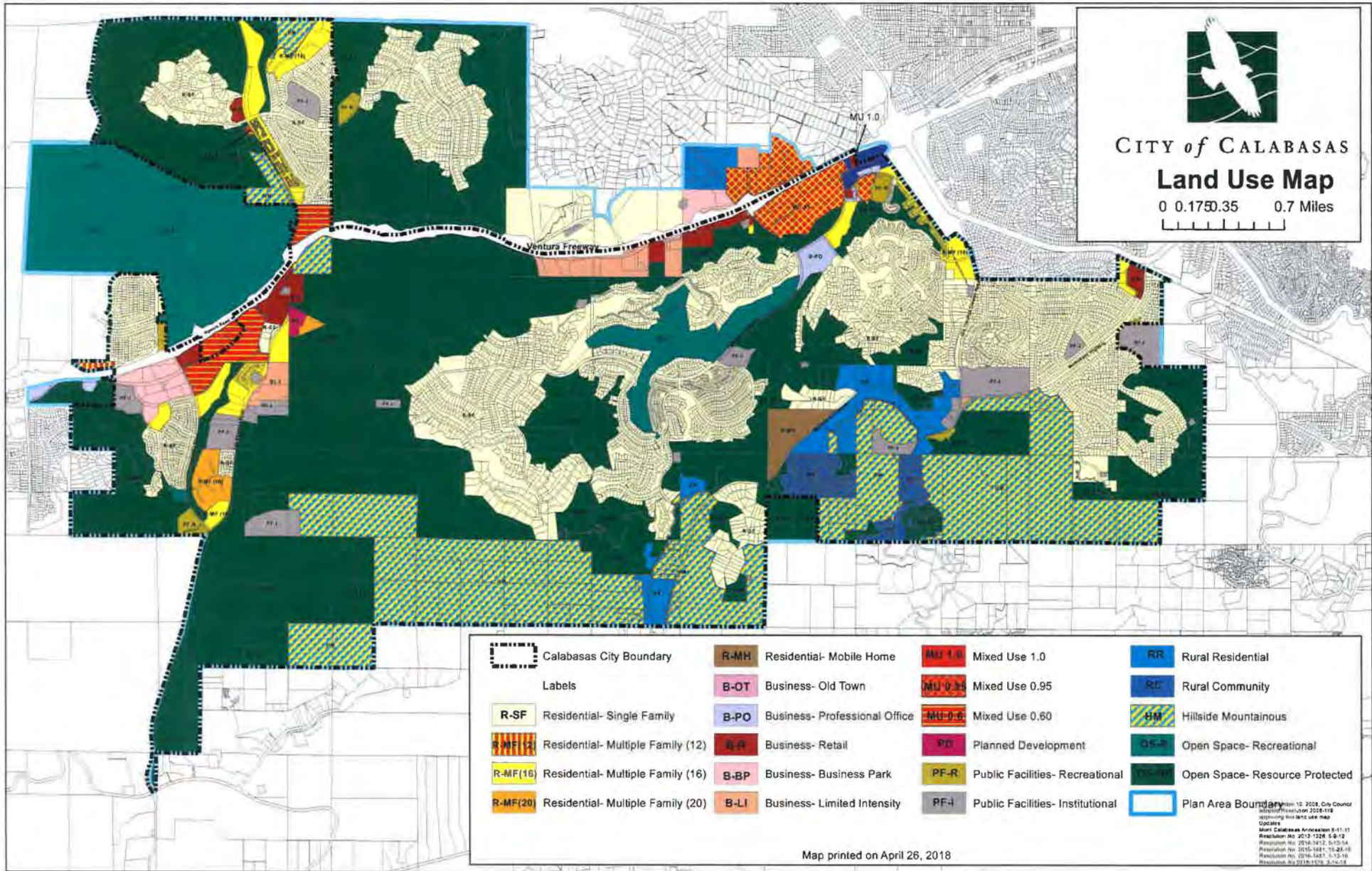
- Dedication of \$300,000 in funds to the Las Virgenes Unified School District (LVUSD) Community 360 Counseling Center for use in staffing a full-time credentialed counselor(s) to assist students struggling with depression and stress, or other similar use of funds. Proof of an offer of payment shall be provided to the City of Calabasas showing disbursement of funds has occurred prior to issuance of building permits for the first new residential building under this Specific Plan.
- Dedication of \$300,000 in funds to the City of Calabasas to be used towards park improvements to the City of Calabasas De Anza Park, which may include providing a fully accessible playground, water play feature expansion, educational gardens, and/or other such improvements identified by the City's Community Services Department via a community outreach process. Such community outreach process shall not delay the issuance of building permits for development under this Specific Plan. Upon agreement between the City of Calabasas and developer on a method for funding, the funds shall be disbursed upon issuance of a certificate of occupancy of at least 50 percent of the new residential units. The development's offer to pay the funds shall satisfy this obligation.

4.11 Definition of Words Used in this Specific Plan

The words used in this Specific Plan shall be defined as set forth in CMC Chapter 17.90 (Definitions) and contained in Appendix B - Glossary of the City of Calabasas General Plan 2030.









CITY of CALABASAS Zoning Map

0 0.2 0.4 0.8 Miles

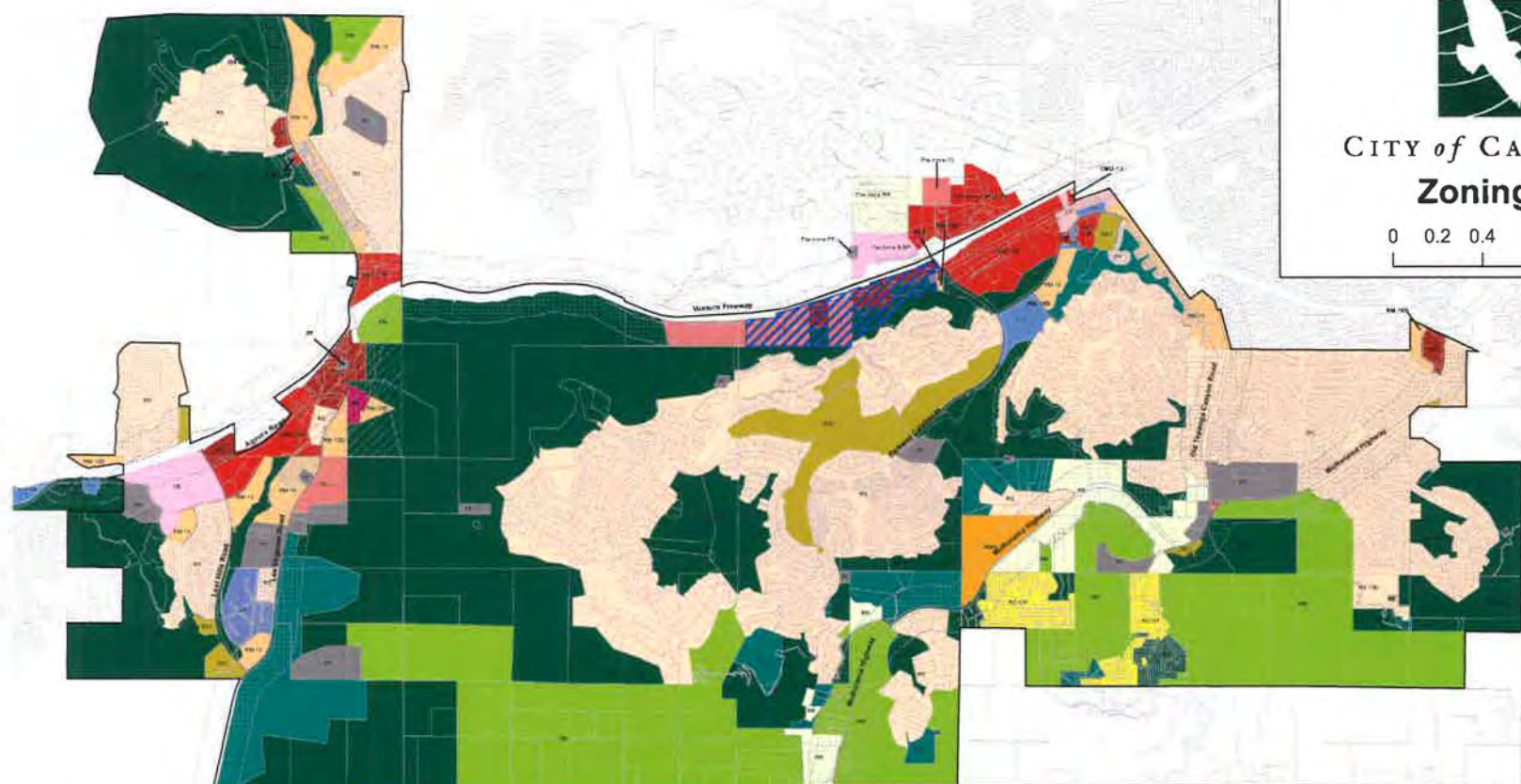


Exhibit D - Amended Zoning Map

Map printed on April 26, 2018

Please verify with the Planning Department for accuracy of map/print. Map printed.

¹The map does not include all rezoned areas.

On January 27, 2010, City Council adopted Ordinance 2010-007 amending the zoning map.

Updates

Mari Calabasas Annexation	8-11-11
Ord No 2013-207	5-23-12
Ord No 2015-329	10-28-15
Ord No 2016-231	1-13-16
Ord No 2017-151	3-6-17
Ord No 2018-280	2-28-18
Ord No 2017-151	3-6-17

Residential Zones	Commercial Zones	Special Purpose Zones	Overlay Zones
PD Planned Development	CB Commercial, Business Park	HM Hillside/Mountainous	-CH Calabasas Highlands
RS Residential, Single-Family	CL Commercial, Limited	OS Open Space	-OT Old Topanga
RM Residential, Multi-Family ¹	CMU Commercial, Mixed Use ²	REC Recreation	DP Development Plan
RMH Residential, Mobile Home	CO Commercial, Office	PF Public Facility	Commercial Auto Retailer
RC Rural Community	CR Commercial, Retail	OS-DR Open Space - Development Restricted	Las Virgenes Gateway
RR Rural Residential	CT Commercial, Old Town	SP Specific Plan	Scenic Corridor ³

¹ The number following the RM label indicates the maximum density for the area. D is for density.

² The number following the CMU label indicates the maximum FAR for the area.

³ The shaded area indicates properties within 300 feet of the designated Scenic Corridor. Properties visible from the Scenic Corridor shall be governed by the City.

**ITEM 4 ATTACHMENT 2
RESOLUTION NO. 2019-1651**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY CALABASAS, CALIFORNIA, CALLING AND GIVING NOTICE OF THE HOLDING OF A [GENERAL] MUNICIPAL ELECTION ON [TUESDAY, NOVEMBER 3, 2020] OR A [SPECIAL] MUNICIPAL ELECTION ON [TUESDAY, MARCH 3, 2020], FOR SUBMISSION OF ORDINANCE NO. 2019-380 TO THE QUALIFIED VOTERS.

WHEREAS, an initiative petition was filed with the City Clerk on July 10, 2019, entitled "CALABASAS NEIGHBORHOOD PRESERVATION INITIATIVE"; and

WHEREAS, the initiative petition was circulated as required by law; and

WHEREAS, the Elections Official certified the petition as it contained at least 10% of the verified signatures of registered voters of the City of Calabasas; and

WHEREAS, the City Council has not voted in favor of the Ordinance; and

WHEREAS, the City Council is authorized and directed by Elections Code section 9241 to submit the Ordinance to the voters.

NOW, THEREFORE, BE IT RESOLVED, THAT THE CITY COUNCIL OF THE CITY OF CALABASAS DOES RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. That pursuant to the requirements of the laws of the State of California relating to General Law cities, there be and ordered to be held in the City of Calabasas, California, a [General] Municipal Election on [Tuesday, November 3, 2020,] or a [Special] Municipal Election on [Tuesday, March 3, 2020] for the purpose of submitting the following measure to the voters:

SHALL THE INITIATIVE ORDINANCE NO. 2019-380 AMENDING THE CALABASAS GENERAL PLAN AND MUNICIPAL CODE AND ADOPTING A NEW SPECIFIC PLAN ALLOWING UP TO 161 NEW MARKET-RATE APARTMENT UNITS, WITHIN AN EXISTING 600-UNIT APARTMENT COMPLEX AT 3831 NORTH ORCHID LANE, CALABASAS, CA, REQUIRING AT LEAST TEN PERCENT OF THE COMPLEX'S UNITS BE RESERVED FOR FIFTY-FIVE YEARS AS DEED-RESTRICTED AFFORDABLE UNITS, DESIGNATING 60 UNITS FOR MODERATE INCOME HOUSEHOLDS AND 20 UNITS FOR VERY-LOW INCOME HOUSEHOLDS, BE ADOPTED?	YES
	NO

SECTION 2. That the text of the ordinance, Ordinance No. 2019-380,

submitted to the voters is attached as Exhibit A.

SECTION 3. That the vote requirement for the measure to pass is a majority (50% + 1) of the votes cast.

SECTION 4. That the ballots to be used at the election shall be in form and content as required by law.

SECTION 5. That the Election Official is authorized and instructed and directed to procure and furnish any and all official ballots, notices, printed matter and all supplies, equipment and paraphernalia that may be necessary in order to properly and lawfully conduct the election.

SECTION 6. That the vote centers for the election shall be open as required during the identified voting period pursuant to Sections 4007 and 14401 of the California Elections Code.

SECTION 7. That in all particulars not recited in the Resolution, the election shall be held and conducted as provided by law for holding municipal elections.

SECTION 8. That notice of time and place of holding the election is given and the Elections Official is authorized and instructed and directed to give further or additional notice of the election, in time, form and matter as required by law.

SECTION 10. The City Clerk shall certify to the adoption of this resolution and shall cause the same to be processed in the manner required by law.

PASSED, APPROVED AND ADOPTED on the ____ day of _____ 2019.

David J. Shapiro

ATTEST:

APPROVED AS TO FORM:

Maricela Hernandez, City Clerk
Master Municipal Clerk
California Professional Municipal Clerk

Scott H. Howard
Contract City Attorney
Colantuono, Highsmith & Whatley, PC

Attachment: Exhibit A – Ordinance No. 2019-380

**ITEM 4 ATTACHMENT 3
RESOLUTION NO. 2019-1652**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CALABASAS, CALIFORNIA, REQUESTING THE BOARD OF SUPERVISORS OF THE COUNTY OF LOS ANGELES TO RENDER FULL SERVICES, WITH THE EXCEPTION OF FILING OF NOMINATION PAPERS, TO THE CITY RELATING TO THE CONDUCT OF A [GENERAL] MUNICIPAL ELECTION ON [TUESDAY, NOVEMBER 3, 2020] OR A SPECIAL MUNICIPAL ELECTION ON [TUESDAY, MARCH 3, 2020].

WHEREAS, on _____, 2019, the City Council of the City of Calabasas called an Election for the purpose of submitting to the voters a City Measure; and

WHEREAS, it is desirable that the Municipal Election to be consolidated if possible with the General Election to be held on the same date, and that within the City precincts, polling places and election officers of the two elections to be the same, and that the Los Angeles County Registrar of Voters canvass the returns of the Municipal Election and that the election be held in all respects as if there were only one election; and

WHEREAS, WHEREAS, a [General] Municipal Election is to be held in the City of Calabasas, California, on [Tuesday, November 3, 2020,] or a [Special]; Municipal Election is to be held in the City of Calabasas, California, [Tuesday, March 3, 2020]; and

WHEREAS, in the course of conduct of the election it is necessary for the City to request services of the County of Los Angeles.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CALABASAS, CALIFORNIA, DOES RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. That pursuant to the requirements of §10403 of the Elections Code, the Board of Supervisors of the County of Los Angeles is hereby requested to consent and agree to the consolidation of a [General] Municipal Election on [Tuesday, November 3, 2020,] or a [Special] Municipal Election on [Tuesday, March 3, 2020], for the purpose of placing a Measure on the ballot as follows:

<p>SHALL THE INITIATIVE ORDINANCE NO. 2019-380 AMENDING THE CALABASAS GENERAL PLAN AND MUNICIPAL CODE AND ADOPTING A NEW SPECIFIC PLAN ALLOWING UP TO 161 NEW MARKET-RATE APARTMENT UNITS, WITHIN AN EXISTING 600-UNIT APARTMENT COMPLEX AT 3831 NORTH ORCHID LANE, CALABASAS, CA, REQUIRING AT LEAST TEN PERCENT OF THE COMPLEX'S UNITS BE RESERVED FOR FIFTY-FIVE YEARS AS DEED-RESTRICTED AFFORDABLE UNITS, DESIGNATING 60 UNITS FOR MODERATE INCOME HOUSEHOLDS AND 20 UNITS FOR VERY-LOW INCOME HOUSEHOLDS, BE ADOPTED?</p>	YES
	NO

SECTION 3. That the proposed complete text of Ordinance No. 2019-380, submitted to the voters is attached as Exhibit A.

SECTION 4. That the vote requirement for the measure to pass is a majority (50% + 1) of the votes cast.

SECTION 4. That the Los Angeles County Registrar of Voters is authorized to canvass the returns of the Special Municipal Election and the election shall be held in all respects as if there were only one election, and only one form of ballot shall be used. The election will be held and conducted in accordance with the provisions of law regulating the Statewide General election.

SECTION 6. That the Board of Supervisors is requested to issue instructions to the county elections department to take any and all steps necessary for the holding of the consolidated election.

SECTION 5. That the City of Calabasas recognizes that additional costs will be incurred by the County by reason of this consolidation and agrees to reimburse the County for any costs.

SECTION 6. That the City Clerk is hereby directed to file a certified copy of

the Resolution with the Board of Supervisors and the Los Angeles County Registrar of Voters of the County of Los Angeles.

SECTION 7. The City Clerk shall certify to the adoption of this resolution and shall cause the same to be processed in the manner required by law.

PASSED, APPROVED AND ADOPTED on _____ day of _____ 2019.

David J. Shapiro

ATTEST:

APPROVED AS TO FORM:

Maricela Hernandez, City Clerk
Master Municipal Clerk
California Professional Municipal Clerk

Scott H. Howard
Contract City Attorney
Colantuono, Highsmith & Whatley, PC

**ITEM 4 ATTACHMENT 4
RESOLUTION NO. 2019-1653**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CALABASAS, CALIFORNIA, SETTING PRIORITIES FOR FILING A WRITTEN ARGUMENT REGARDING A CITY MEASURE AND DIRECTING THE CITY ATTORNEY TO PREPARE AN IMPARTIAL ANALYSIS; AND PROVIDING FOR THE FILING OF REBUTTAL ARGUMENTS FOR THE [GENERAL] MUNICIPAL ELECTION TO BE HELD ON [NOVEMBER 3, 2020] OR A [SPECIAL] MUNICIPAL ELECTION ON [MARCH 3, 2020] REGARDING A CITY MEASURE.

WHEREAS, a [General] Municipal Election is to be held in the City of Calabasas, California, on [November 3, 2020] or a [Special] Municipal Election on [March 3, 2020], at which there will be submitted to the voters the following Measure:

<p>SHALL THE INITIATIVE ORDINANCE NO. 2019-380 AMENDING THE CALABASAS GENERAL PLAN MUNICIPAL CODE AND ADOPTING A NEW SPECIFIC PLAN ALLOWING UP TO 161 NEW MARKET-RATE APARTMENT UNITS, WITHIN AN EXISTING 600-UNIT APARTMENT COMPLEX AT 3831 NORTH ORCHID LANE, CALABASAS, CA, REQUIRING AT LEAST TEN PERCENT OF THE COMPLEX'S UNITS BE RESERVED FOR FIFTY-FIVE YEARS AS DEED-RESTRICTED AFFORDABLE UNITS, DESIGNATING 60 UNITS FOR MODERATE INCOME HOUSEHOLDS AND 20 UNITS FOR VERY-LOW INCOME HOUSEHOLDS, BE ADOPTED?</p>	YES
	NO

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CALABASAS DOES RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. That the City Council authorizes

(Council Member In Favor or Opposed)

(Council Member In Favor or Opposed)

(Council Member In Favor or Opposed)

to file a written argument regarding this Initiative, not exceeding 300 words in length (EC §§ 9282 and 9286), as specified above, accompanied by the printed name and signature of the author submitting it, in accordance with, Article 4, Chapter 3, Division 9 of the Elections Code of the State of California. The argument may be changed or withdrawn until and including the date fixed by the City Clerk after which no arguments for or against the City’s Measure may be submitted to the City Clerk. The arguments shall be accompanied by the Form of Statement To Be Filed By Author of the Argument (see Form F-A-1-Exhibit A). Additionally, the proponents of the Initiative will have the first opportunity to submit an argument supporting the adoption of the ordinance not exceeding 300 words in length. Thereafter, other qualified voters may also submit arguments in favor of or opposed to the ordinance. In the event more than one argument in support of a position is submitted, the City Clerk will decide which argument for or against will be published in accord with Elections Code section 9287.

SECTION 2. That the City Council directs the City Clerk to transmit a copy of the Measure to the City Attorney, unless the organization or salaries of the office of the City Attorney are affected.

a. The City Attorney shall prepare an impartial analysis of the measure not exceeding 500 words showing the effect of the measure on the existing law and the operation of the measure. If the measure affects the organization or salaries of the office of the City Attorney, the City Clerk shall prepare the impartial analysis.

b. The analysis shall include a statement indicating whether the measure was placed on the ballot by a petition signed by the requisite number of voters or by the governing body of the city.

c. In the event the entire text of the measure is not printed on the ballot, nor in the voter information portion of the sample ballot, there shall be printed immediately below the impartial analysis, in no less than 10-point type, the following: “The above statement is an impartial analysis of Ordinance No. 2016-333 or Measure F. If you desire a copy of the ordinance or measure, please call the Election Official’s office at 818-224-1661 and a copy will be mailed at no cost to you.”

d. The impartial analysis shall be filed by the date set by the City Clerk for the filing of primary arguments.

SECTION 3. That pursuant to Section 9285 of the Elections Code of the State of California, when the elections official has selected the arguments for and against the measure which will be printed and distributed to the voters, the elections official shall send a copy of an argument in favor of the proposition to the authors of any argument against the measure and a copy of an argument against the measure to the authors of any argument in favor of the measure immediately upon receiving the arguments.

The author or a majority of the authors of an argument relating to a city measure may prepare and submit a rebuttal argument not exceeding 250 words or may authorize in writing any other person or persons to prepare, submit, or sign the rebuttal argument.

A rebuttal argument may not be signed by more than five authors.

The rebuttal arguments shall be filed with the City Clerk, signed, with the printed name(s) and signature(s) of the author(s) submitting it, or if submitted on behalf of an organization, the name of the organization, and the printed name and signature of at least one of its principal officers, **not more than 10 days after** the final date for filing direct arguments. The rebuttal arguments shall be accompanied by the Form of Statement To Be Filed By Author(s) of Argument (see Form F-A-1).

Rebuttal arguments shall be printed in the same manner as the direct arguments. Each rebuttal argument shall immediately follow the direct argument which it seeks to rebut.

SECTION 4. That the City Clerk shall certify to the adoption of this resolution and shall cause the same to be processed in the manner required by law.

PASSED, APPROVED AND ADOPTED this ____ day of ____ 2019.

David J. Shapiro, Mayor

ATTEST:

APPROVED AS TO FORM:

Maricela Hernandez, City Clerk
Master Municipal Clerk
California Professional Municipal Clerk

Scott H. Howard
Contract City Attorney
Colantuono, Highsmith & Whatley, PC

**EXHIBIT A
ARGUMENTS**

**FORM OF STATEMENT TO BE FILED BY
AUTHORS OF ARGUMENTS**

All arguments concerning measures filed pursuant to Division 9, Chapter 3 (beginning with § 9200) of the Elections Code shall be accompanied by the following form statement **to be signed** by each proponent, and by each author, if different, of the argument:

The undersigned proponent (s) or author(s) of the (primary/rebuttal) argument (in favor of/against) ballot proposition Ordinance No. 2019-380 at the Special Municipal Election for the City of Calabasas to be held on [November 3, 2019] [March 3, 2020] hereby state that the argument is true and correct to the best of (his/her/their) knowledge and belief.

Print Name _____ Title _____ (If applicable):Submitted on behalf of : _____ <div style="text-align: center;">(name of organization)</div>	Signature _____ Date _____
Print Name _____ Title _____ (If applicable):Submitted on behalf of : _____ <div style="text-align: center;">(name of organization)</div>	Signature _____ Date _____
Print Name _____ Title _____ (If applicable):Submitted on behalf of : _____ <div style="text-align: center;">(name of organization)</div>	Signature _____ Date _____
Print Name _____ Title _____ (If applicable):Submitted on behalf of : _____ <div style="text-align: center;">(name of organization)</div>	Signature _____ Date _____
Print Name _____ Title _____ (If applicable):Submitted on behalf of : _____ <div style="text-align: center;">(name of organization)</div>	Signature _____ Date _____

**ITEM 4 ATTACHMENT 5
CERTIFICATE OF SUFFICIENCY OF PETITION**

I, Maricela Hernandez, MMC, CPMC, City Clerk of the City of Calabasas, County of Los Angeles, State of California, hereby certify that:

The petition entitled "**CALABASAS NEIGHBORHOOD PRESERVATION INITIATIVE**" was filed with the City Clerk Department on July 10, 2019.

That said petition consists of 84 sections;

That each section contains signatures purporting to be signatures of qualified electors of the City of Calabasas, California;

That attached to this petition at the time it was filed, was an affidavit purporting to be the affidavit of the person who solicited the signatures, and containing the dates between which the purported qualified electors signed this petition;

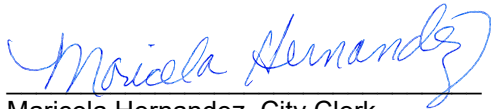
That the affiant stated his or her own qualification, that he or she had solicited the signatures upon that Section, that all of the signatures were made in his or her presence, and that to the best of his or her own information and belief, each signature to that section was the genuine signature of the person whose name it purports to be;

That after the proponents filed this petition and based on the County of Los Angeles Registrar of Voters' Signature Verification Letter of Finding; I have determined the following facts regarding this petition:

1. Total number of signatures filed by proponent raw count:	<u>2,157</u>
2. Number of signatures disqualified during raw count:	<u>3</u>
3. Number of signatures sent to the County for verification	<u>2,154</u>
4. Total number of signatures verified:	<u>1,914</u>
5. Number of signatures not verified:	<u>243</u>
6. Number of signatures found sufficient:	<u>1,588</u>
7. Number of signatures found insufficient including 8 duplicates:	<u>332</u>
8. Total number of signatures required to qualify for special election: (10% x <u>15,787</u> voters)	<u>1,579</u>

Based on the above, the petition is deemed to be sufficient.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Calabasas this 23rd day of October 2019.



Maricela Hernandez, City Clerk
Master Municipal Clerk
California Professional Municipal Clerk
City of Calabasas



Check Register Report

Bank: BANK OF AMERICA - CITY OPERATING
 Reporting Period: 09/12/2019 to 10/08/2019

Date: 10/14/2019
 Time: 1:14:18PM
 Page 1 of 21

Check No.	Check Date	Vendor Name	Check Description	Amount	Department
Administrative Services					
106528	10/1/2019	MUNICIPAL CODE CORPORATION	MUNICIPAL CODE SUPPLEMENT	609.55	Administrative Services
106386	9/13/2019	US BANK	VISA- APA	260.00	Administrative Services
106398	9/18/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	123.18	Administrative Services
106386	9/13/2019	US BANK	VISA- PLANET ZEN	99.95	Administrative Services
106552	10/8/2019	AMSTAR EXPRESS, INC.	COURIER SERVICE	97.38	Administrative Services
106460	9/25/2019	EXER- MORE THAN URGENT CARE	PRE-EMPLOYMENT PHYSICALS	75.00	Administrative Services
106593	10/8/2019	MICHITSCH/GLENN//	REIMB- INTERVIEW PANEL	71.14	Administrative Services
106386	9/13/2019	US BANK	VISA- STAPLES	67.74	Administrative Services
106398	9/18/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	62.02	Administrative Services
106542	10/1/2019	VALLEY NEWS GROUP	LEGAL ADVERTISING	45.00	Administrative Services
106386	9/13/2019	US BANK	VISA- COGNITO	32.00	Administrative Services
106386	9/13/2019	US BANK	VISA- INDEED	25.25	Administrative Services
106386	9/13/2019	US BANK	VISA- ITUNES.COM	6.99	Administrative Services
Total Amount for 13 Line Item(s) from Administrative Services				\$1,575.20	
City Attorney					
106453	9/25/2019	COLANTUONO, HIGHSMITH &	GENERAL SERVICES	23,381.63	City Attorney
106609	10/8/2019	THOMPSON COE	LEGAL SERVICES	4,384.73	City Attorney
106453	9/25/2019	COLANTUONO, HIGHSMITH &	BROWN PETITION	2,725.00	City Attorney
106453	9/25/2019	COLANTUONO, HIGHSMITH &	CRLA & ED FUND	1,380.65	City Attorney
106408	9/18/2019	HOPKINS & CARLEY	LEGAL SERVICES	756.00	City Attorney
106453	9/25/2019	COLANTUONO, HIGHSMITH &	ZEESMAN	150.00	City Attorney
Total Amount for 6 Line Item(s) from City Attorney				\$32,778.01	
City Council					
106386	9/13/2019	US BANK	VISA- CCCA	575.00	City Council
106393	9/18/2019	BOZAJIAN/JAMES R//	REIMB TRAVEL/SUPPLIES	372.77	City Council
106560	10/8/2019	BOZAJIAN/JAMES R//	REIMB OFFICE SUPPLIES	272.62	City Council
106431	9/18/2019	SHAPIRO/DAVID//	REIMB TRAVEL-2019 SCAG MTG	262.60	City Council
106386	9/13/2019	US BANK	VISA- ROSTI TUSCAN KITCHEN	211.10	City Council
106386	9/13/2019	US BANK	VISA- CALABASAS SELF STORAGE	199.00	City Council
106562	10/8/2019	CALABASAS HIGH SCHOOL	SOMETHING YELLOW FOUNDATION	125.00	City Council
106386	9/13/2019	US BANK	VISA- GOLDEN HORN	106.08	City Council
106435	9/18/2019	THE KEVIN CORDASCO FOUNDATION:	DONATION	100.00	City Council
106507	10/1/2019	CONEJO AWARDS	NAME BADGES	28.96	City Council



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106462	9/25/2019	GAINES/FRED//	REIMB TRAVEL- CCCA MTG	25.00	City Council
Total Amount for 11 Line Item(s) from City Council				\$2,278.13	
City Management					
106386	9/13/2019	US BANK	VISA- INTERNATION	790.00	City Management
106386	9/13/2019	US BANK	VISA- AMERICA IN BLOOM	410.00	City Management
106386	9/13/2019	US BANK	VISA- LCC	150.00	City Management
106591	10/8/2019	LYSIK/GARY J//	REIMB TRAVEL-2019 LCC BOARD	59.97	City Management
106386	9/13/2019	US BANK	VISA- CCCA	40.00	City Management
Total Amount for 5 Line Item(s) from City Management				\$1,449.97	
Civic Center O&M					
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	9,083.36	Civic Center O&M
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	7,344.00	Civic Center O&M
106604	10/8/2019	SECURAL SECURITY CORP	SECURITY- NIGHTLY CIV CTR	5,349.00	Civic Center O&M
106430	9/18/2019	SECURAL SECURITY CORP	PATROL CAR SERVICES- CIV CTR	5,178.00	Civic Center O&M
106406	9/18/2019	HAYNES BUILDING SERVICES, LLC	JANITORIAL SERVICES	2,923.07	Civic Center O&M
106406	9/18/2019	HAYNES BUILDING SERVICES, LLC	JANITORIAL SERVICES	1,923.51	Civic Center O&M
106616	10/8/2019	WAXIE SANITARY SUPPLY	JANITORIAL SERVICES	935.03	Civic Center O&M
106386	9/13/2019	US BANK	VISA- DIY/HOME DEPOT	901.69	Civic Center O&M
106616	10/8/2019	WAXIE SANITARY SUPPLY	JANITORIAL SERVICES	756.33	Civic Center O&M
106523	10/1/2019	LAS VIRGENES MUNICIPAL WATER	WATER SERVICE	668.16	Civic Center O&M
106519	10/1/2019	JOHNSON CONTROLS FIRE	SECURITY MONITORING	600.00	Civic Center O&M
106519	10/1/2019	JOHNSON CONTROLS FIRE	SECURITY MONITORING	600.00	Civic Center O&M
106523	10/1/2019	LAS VIRGENES MUNICIPAL WATER	WATER SERVICE	540.21	Civic Center O&M
106573	10/8/2019	EMERALD COAST PLANTSCAPES, INC	PLANT MAINTENANCE- CITY HALL	500.00	Civic Center O&M
106613	10/8/2019	VORTEX INDUSTRIES INC	DOOR REPAIRS - LIBRARY	467.98	Civic Center O&M
106386	9/13/2019	US BANK	VISA- VISTA PAINT	344.07	Civic Center O&M
106434	9/18/2019	SOUTHERN CALIFORNIA GAS CO	GAS SERVICE	310.96	Civic Center O&M
106434	9/18/2019	SOUTHERN CALIFORNIA GAS CO	GAS SERVICE	251.41	Civic Center O&M
106402	9/18/2019	EMERALD COAST PLANTSCAPES, INC	PLANT MAINTENANCE- LIBRARY	250.00	Civic Center O&M
106573	10/8/2019	EMERALD COAST PLANTSCAPES, INC	PLANT MAINTENANCE- LIBRARY	250.00	Civic Center O&M
106430	9/18/2019	SECURAL SECURITY CORP	PATROL CAR SERVICES- CIV CTR	179.23	Civic Center O&M
106430	9/18/2019	SECURAL SECURITY CORP	PATROL CAR SERVICES- CIV CTR	179.23	Civic Center O&M
106386	9/13/2019	US BANK	VISA- DIY/HOME DEPOT	151.44	Civic Center O&M
106483	9/25/2019	SECURAL SECURITY CORP	PATROL CAR SERVICES- INTERVENT	150.80	Civic Center O&M



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106386	9/13/2019	US BANK	VISA- EXXON MOBIL	40.00	Civic Center O&M
106386	9/13/2019	US BANK	VISA- RESEDA JANITORIAL	27.37	Civic Center O&M
106386	9/13/2019	US BANK	VISA- RESEDA JANITORIAL	27.36	Civic Center O&M
Total Amount for 27 Line Item(s) from Civic Center O&M				\$39,932.21	

Community Development

106524	10/1/2019	M6 CONSULTING, INC.	PLAN CHECK SERVICES	54,872.76	Community Development
106592	10/8/2019	M6 CONSULTING, INC.	PERMIT SERVICES	13,965.00	Community Development
106592	10/8/2019	M6 CONSULTING, INC.	INSPECTION SERVICES	10,106.55	Community Development
106566	10/8/2019	CITY OF BURBANK	IT HOSTING/ TECH SUPPORT	8,480.00	Community Development
106446	9/25/2019	CALABASAS CREST LTD	R.A.P.- OCT 2019	7,056.00	Community Development
106602	10/8/2019	RINCON CONSULTANTS INC	ENVIRONMENTAL CONSULTING	4,997.98	Community Development
106602	10/8/2019	RINCON CONSULTANTS INC	ENVIRONMENTAL CONSULTING	1,265.00	Community Development
106386	9/13/2019	US BANK	VISA- APA	606.00	Community Development
106386	9/13/2019	US BANK	VISA- APA	575.00	Community Development
106459	9/25/2019	DUDEK & ASSOCIATES INC	EIR CONSULTING	532.50	Community Development
106386	9/13/2019	US BANK	VISA- ENGINEER SUPPLY	395.99	Community Development
106512	10/1/2019	DUDEK & ASSOCIATES INC	EIR CONSULTING	382.50	Community Development
106571	10/8/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	351.93	Community Development
106459	9/25/2019	DUDEK & ASSOCIATES INC	EIR CONSULTING	315.00	Community Development
106461	9/25/2019	FLEYSHMAN/ALBERT//	R.A.P.- OCT 2019	240.00	Community Development
106475	9/25/2019	MEDVETSKY/LINA//	R.A.P.- OCT 2019	240.00	Community Development
106482	9/25/2019	RASCOE/JOAN//	R.A.P.- OCT 2019	240.00	Community Development
106471	9/25/2019	LEVY/ESTHER//	R.A.P.- OCT 2019	240.00	Community Development
106493	9/25/2019	YAZDINIAN/SUSAN//	R.A.P.- OCT 2019	240.00	Community Development
106512	10/1/2019	DUDEK & ASSOCIATES INC	EIR CONSULTING	157.50	Community Development
106510	10/1/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	118.59	Community Development
106571	10/8/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	102.16	Community Development
106571	10/8/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	99.81	Community Development
106412	9/18/2019	INTERNATIONAL CODE COUNCIL INC	CODE BOOKS	98.44	Community Development
106571	10/8/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	90.78	Community Development
106510	10/1/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	89.13	Community Development
106571	10/8/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	80.65	Community Development
106578	10/8/2019	ICC L.A. BASIN CHAPTER	2020 CBC/CRC TRAINING	80.00	Community Development
106409	9/18/2019	ICC L.A. BASIN CHAPTER	2018 ICCLABC TRAINING	70.00	Community Development
106459	9/25/2019	DUDEK & ASSOCIATES INC	EIR CONSULTING	67.50	Community Development
106571	10/8/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	52.40	Community Development



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106571	10/8/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	49.44	Community Development
106571	10/8/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	47.80	Community Development
106571	10/8/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	34.66	Community Development
106386	9/13/2019	US BANK	VISA- 7 ELEVEN/UNION 76	21.89	Community Development
106571	10/8/2019	CYBERCOPY, INC.	COPY/PRINTING SERVICE	17.79	Community Development
Total Amount for 36 Line Item(s) from Community Development				\$106,380.75	

Community Services

106587	10/8/2019	LAS VIRGENES UNIFIED SCHOOL	JOINT USE AGREEMENT-AE WRIGHT	24,380.00	Community Services
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- SCHL	14,681.00	Community Services
106583	10/8/2019	JOLLY BOUNCER, INC.	ENTERTAINMENT- PUMPKIN FEST	8,580.00	Community Services
106608	10/8/2019	TEAM PLAY EVENTS	ENTERTAINMENT- PUMPKIN FEST	8,326.50	Community Services
106556	10/8/2019	AWESOME EVENTS INC	ENTERTAINMENT- PUMPKIN FEST	7,700.00	Community Services
106387	9/18/2019	A RENTAL CONNECTION	EQUIPMENT RENTAL - CONCERT	3,683.42	Community Services
106551	10/8/2019	ALLIANT INSURANCE SERVICES INC	SPECIAL EVENTS INS- DE ANZA	3,677.00	Community Services
106454	9/25/2019	CONVERSE CONSULTANTS	WILD WALNUT PARK PROJECT	3,600.00	Community Services
106538	10/1/2019	SO CA MUNI ATHLETIC FEDERATION	CLASS INSURANCE	3,461.80	Community Services
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- SCHL	3,158.66	Community Services
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	2,898.95	Community Services
106486	9/25/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	2,497.01	Community Services
106558	10/8/2019	BARRY KAY ENTERPRISES, INC.	PUMPKIN FEST T-SHIRTS	2,447.11	Community Services
106550	10/8/2019	ALADIN JUMPERS	ENTERTAINMENT- PUMPKIN FEST	2,405.20	Community Services
106538	10/1/2019	SO CA MUNI ATHLETIC FEDERATION	CLASS INSURANCE	2,287.60	Community Services
106418	9/18/2019	L.A. COUNTY PUBLIC HEALTH SVCS	VENDOR PERMITS- PUMPKIN FEST	2,206.00	Community Services
106540	10/1/2019	THORNTON/JOHN PAUL//	RECREATION INSTRUCTOR	2,082.50	Community Services
106576	10/8/2019	GUDIS/MATT//	ENTERTAINMENT- PUMPKIN FEST	2,000.00	Community Services
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	1,771.44	Community Services
106561	10/8/2019	BRUCE/SCOT//	ENTERTAINMENT- PUMPKIN FEST	1,750.00	Community Services
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- SCHL	1,739.84	Community Services
106440	9/18/2019	VERGUN/SHANNON JANNETTE//	RECREATION INSTRUCTOR	1,561.00	Community Services
106506	10/1/2019	CLARK PEST CONTROL	PEST CONTROL SERVICES	1,540.00	Community Services
106406	9/18/2019	HAYNES BUILDING SERVICES, LLC	JANITORIAL SERVICES	1,363.05	Community Services
106612	10/8/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- SCHL	1,248.00	Community Services
106386	9/13/2019	US BANK	VISA- POTTERY ETC	1,229.16	Community Services
106572	10/8/2019	DIAL M PRODUCTIONS	ENTERTAINMENT- PUMPKIN FEST	1,200.00	Community Services
106598	10/8/2019	PESCETTO/JEFFREY//	ENTERTAINMENT- PUMPKIN FEST	1,200.00	Community Services
106386	9/13/2019	US BANK	VISA- LOWES	1,050.74	Community Services



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106537	10/1/2019	SECURAL SECURITY CORP	SECURITY- AC STELLE	1,024.32	Community Services
106458	9/25/2019	DNA ELECTRIC	ELECTRICAL REPAIRS	880.00	Community Services
106401	9/18/2019	DNA ELECTRIC	ELECTRICAL REPAIRS	865.00	Community Services
106483	9/25/2019	SECURAL SECURITY CORP	SECURITY- CONCERT	807.04	Community Services
106386	9/13/2019	US BANK	VISA- DIY/HOME DEPOT	784.67	Community Services
106547	10/1/2019	WAXIE SANITARY SUPPLY	JANITORIAL SERVICES	779.71	Community Services
106386	9/13/2019	US BANK	VISA- CALABASAS SELF STORAGE	748.00	Community Services
106531	10/1/2019	PACIFIC PLATINUM SERVICES, INC	TRANSPORT SERVICES	685.00	Community Services
106558	10/8/2019	BARRY KAY ENTERPRISES, INC.	BASKETBALL T-SHIRTS	666.31	Community Services
106597	10/8/2019	PACIFIC PLATINUM SERVICES, INC	TRANSPORT SERVICES	595.00	Community Services
106530	10/1/2019	NICHOLSON/TRISSA//	RECREATION INSTRUCTOR	588.00	Community Services
106386	9/13/2019	US BANK	VISA- TICKET PRINTING/24 WRIST	527.50	Community Services
106616	10/8/2019	WAXIE SANITARY SUPPLY	JANITORIAL SERVICES	518.81	Community Services
106386	9/13/2019	US BANK	VISA- KNOT & ROPE SUPPLY	438.89	Community Services
106439	9/18/2019	UNITED SITE SERVICES OF CA INC	PORTABLE TOILET RENTAL	419.60	Community Services
106386	9/13/2019	US BANK	VISA- COSTCO/DS SVCS	414.51	Community Services
106527	10/1/2019	MONAHAN/ANN//	RECREATION INSTRUCTOR	366.10	Community Services
106386	9/13/2019	US BANK	VISA- SEE ME OVERHEAD	322.87	Community Services
106530	10/1/2019	NICHOLSON/TRISSA//	RECREATION INSTRUCTOR	322.00	Community Services
106386	9/13/2019	US BANK	VISA- GANNA WALSKA	315.00	Community Services
106444	9/25/2019	AT&T	TELEPHONE SERVICE	311.04	Community Services
106604	10/8/2019	SECURAL SECURITY CORP	SECURITY- FILM FEST	310.40	Community Services
106386	9/13/2019	US BANK	VISA- COSTCO	301.59	Community Services
106589	10/8/2019	LITTLEJOHN COMMUNICATIONS INC	PAY PHONE SVC- JUL-SEP 2019	300.00	Community Services
106386	9/13/2019	US BANK	VISA- LOWES/FRANKLINS	270.85	Community Services
106447	9/25/2019	CANON FINANCIAL SERVICES INC	CANON COPIER LEASES	267.98	Community Services
106430	9/18/2019	SECURAL SECURITY CORP	PATROL CAR SERVICES- GATES	267.24	Community Services
106430	9/18/2019	SECURAL SECURITY CORP	PATROL CAR SERVICES- GRAPE	267.24	Community Services
106612	10/8/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- SCHL	265.26	Community Services
106399	9/18/2019	DEPARTMENT OF JUSTICE	STAFF FINGERPRINTING APPS	256.00	Community Services
106386	9/13/2019	US BANK	VISA- 7 ELEVEN/UNION 76	232.19	Community Services
106523	10/1/2019	LAS VIRGENES MUNICIPAL WATER	WATER SERVICE	213.25	Community Services
106430	9/18/2019	SECURAL SECURITY CORP	PATROL CAR SERVICES- SR CTR	186.74	Community Services
106573	10/8/2019	EMERALD COAST PLANTSCAPES, INC	PLANT MAINTENANCE- SR CTR	185.00	Community Services
106430	9/18/2019	SECURAL SECURITY CORP	PATROL CAR SERVICES- CIV CTR	179.23	Community Services
106430	9/18/2019	SECURAL SECURITY CORP	PATROL CAR SERVICES- DE ANZA	156.12	Community Services
106386	9/13/2019	US BANK	VISA- DIRECT TV	151.66	Community Services
106386	9/13/2019	US BANK	VISA- SAM & ALFREDA	150.00	Community Services



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106452	9/25/2019	CLARK PEST CONTROL	PEST CONTROL SERVICES	150.00	Community Services
106411	9/18/2019	INNER-I ...SECURITY IN FOCUS	JUL-SEP 2019 MONITORING- DEANZ	135.00	Community Services
106541	10/1/2019	UNITED SITE SERVICES OF CA INC	PORTABLE TOILET RENTAL	128.81	Community Services
106386	9/13/2019	US BANK	VISA- AMAZON.COM	123.26	Community Services
106417	9/18/2019	KNOTT/BRIAN//	PUMPKIN FEST REFUND	120.00	Community Services
106386	9/13/2019	US BANK	VISA- WALMART	119.30	Community Services
106541	10/1/2019	UNITED SITE SERVICES OF CA INC	PORTABLE TOILET RENTAL	117.85	Community Services
106425	9/18/2019	PORT-A-STOR INC.	STORAGE - A E WRIGHT	109.00	Community Services
106452	9/25/2019	CLARK PEST CONTROL	PEST CONTROL SERVICES	105.00	Community Services
106386	9/13/2019	US BANK	VISA- TRADER JOES/RALPHS	102.43	Community Services
106430	9/18/2019	SECURAL SECURITY CORP	ALARM RESPONSE- SR CTR	100.86	Community Services
106444	9/25/2019	AT&T	TELEPHONE SERVICE	99.90	Community Services
106434	9/18/2019	SOUTHERN CALIFORNIA GAS CO	GAS SERVICE	99.25	Community Services
106411	9/18/2019	INNER-I ...SECURITY IN FOCUS	JUL-SEP 2019 MONITORING- SRCTR	90.00	Community Services
106386	9/13/2019	US BANK	VISA- CALABASAS CAR CARE	88.17	Community Services
106386	9/13/2019	US BANK	VISA- AMAZON.COM	85.17	Community Services
106430	9/18/2019	SECURAL SECURITY CORP	ALARM RESPONSE- CREEKSIDE	72.12	Community Services
106386	9/13/2019	US BANK	VISA- DIY/HOME DEPOT	64.12	Community Services
106506	10/1/2019	CLARK PEST CONTROL	PEST CONTROL SERVICES	58.35	Community Services
106430	9/18/2019	SECURAL SECURITY CORP	ALARM RESPONSE- DE ANZA	58.23	Community Services
106386	9/13/2019	US BANK	VISA- MALIBU LAUNDRY	54.00	Community Services
106386	9/13/2019	US BANK	VISA- CONSTANT CONTACT	45.00	Community Services
106386	9/13/2019	US BANK	VISA- RALPHS/USPS	33.00	Community Services
106386	9/13/2019	US BANK	VISA- FACILITRON	30.00	Community Services
106386	9/13/2019	US BANK	VISA- THE STAND	29.51	Community Services
106386	9/13/2019	US BANK	VISA- AMAZON.COM	27.06	Community Services
106386	9/13/2019	US BANK	VISA- AGOURA LOCK TECH	20.54	Community Services
106386	9/13/2019	US BANK	VISA- RITE AID	16.39	Community Services
106590	10/8/2019	LIVESCAN USA, INC.	FINGERPRINTING SERVICES	16.00	Community Services
106386	9/13/2019	US BANK	VISA- CANVA	8.00	Community Services
106506	10/1/2019	CLARK PEST CONTROL	PEST CONTROL SERVICES	5.00	Community Services
106386	9/13/2019	US BANK	VISA- ITUNES.COM	0.99	Community Services
Total Amount for 99 Line Item(s) from Community Services				\$134,378.41	

Finance

106388	9/18/2019	ADP, INC	PAYROLL PROCESSING	5,590.55	Finance
106476	9/25/2019	MUNISERVICES, LLC	UUT COMPLIANCE SERVICES	4,372.97	Finance



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106407	9/18/2019	HDL, COREN & CONE INC.	PROPERTY TAX SERVICES	1,512.50	Finance
106465	9/25/2019	HDL, COREN & CONE INC.	PROPERTY TAX SERVICES	745.00	Finance
106476	9/25/2019	MUNISERVICES, LLC	SALES TAX REPORTING SVCS	500.00	Finance
106386	9/13/2019	US BANK	VISA- AMAZON.COM	478.49	Finance
106394	9/18/2019	BRINK'S INCORPORATED	BANK SERVICE	191.32	Finance
106467	9/25/2019	J THAYER COMPANY, INC.	OFFICE SUPPLIES	31.70	Finance
106394	9/18/2019	BRINK'S INCORPORATED	BANK SERVICE	30.92	Finance
Total Amount for 9 Line Item(s) from Finance				\$13,453.45	

Library

106502	10/1/2019	BIBLIOTHECA, LLC	E-BOOKS	4,000.00	Library
106392	9/18/2019	BIBLIOTHECA, LLC	E-BOOKS	2,947.41	Library
106515	10/1/2019	GALE CENGAGE LEARNING INC	E-BOOKS	2,516.64	Library
106516	10/1/2019	INFOGROUP	LICENSE RENEWAL	2,285.00	Library
106559	10/8/2019	BIBLIOTHECA, LLC	E-BOOKS	2,138.60	Library
106585	10/8/2019	KR NIDA CORPORATION	RADIO SERVICE	2,077.32	Library
106427	9/18/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	1,971.00	Library
106390	9/18/2019	BAKER & TAYLOR, LLC	BOOKS-LIBRARY	1,518.83	Library
106426	9/18/2019	PREFERRED BENEFIT	VISION/DENTAL PREMIUM- SEP 19	728.56	Library
106410	9/18/2019	INGRAM LIBRARY SERVICES	BOOKS-LIBRARY	697.97	Library
106427	9/18/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	500.00	Library
106391	9/18/2019	BCC	LIFE & DISABILITY INS- SEP 19	443.89	Library
106580	10/8/2019	INGRAM LIBRARY SERVICES	BOOKS-LIBRARY	347.82	Library
106518	10/1/2019	J THAYER COMPANY, INC.	OFFICE SUPPLIES	313.99	Library
106534	10/1/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	309.20	Library
106580	10/8/2019	INGRAM LIBRARY SERVICES	BOOKS-LIBRARY	307.99	Library
106517	10/1/2019	INGRAM LIBRARY SERVICES	BOOKS-LIBRARY	298.04	Library
106534	10/1/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	264.96	Library
106601	10/8/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	243.72	Library
106386	9/13/2019	US BANK	VISA- ALA	207.00	Library
106389	9/18/2019	AT&T	TELEPHONE SERVICE	198.72	Library
106534	10/1/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	197.98	Library
106534	10/1/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	181.42	Library
106427	9/18/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	174.98	Library
106557	10/8/2019	BAKER & TAYLOR, LLC	BOOKS-LIBRARY	174.94	Library
106386	9/13/2019	US BANK	VISA- CLA	165.00	Library
106563	10/8/2019	CANON FINANCIAL SERVICES INC	CANON COPIER LEASES	149.88	Library



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106563	10/8/2019	CANON FINANCIAL SERVICES INC	CANON COPIER LEASES	149.88	Library
106534	10/1/2019	RECORDED BOOKS, LLC	BOOKS ON CD	127.46	Library
106534	10/1/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	125.00	Library
106534	10/1/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	108.77	Library
106501	10/1/2019	BARRY KAY ENTERPRISES, INC.	STAFF T-SHIRTS	104.93	Library
106420	9/18/2019	MIDWEST TAPE, LLC	DVD'S-LIBRARY	104.14	Library
106411	9/18/2019	INNER-I ...SECURITY IN FOCUS	JUL-SEP 2019 MONITORING- LIBRY	90.00	Library
106601	10/8/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	90.00	Library
106534	10/1/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	89.79	Library
106534	10/1/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	87.20	Library
106397	9/18/2019	CSAC-EXCESS INSURANCE	EAP/JUL-SEP 2019	85.73	Library
106410	9/18/2019	INGRAM LIBRARY SERVICES	BOOKS-LIBRARY	79.37	Library
106504	10/1/2019	CANON SOLUTIONS AMERICA, INC	COPIER SVC PROGRAM- WHG01368	79.19	Library
106504	10/1/2019	CANON SOLUTIONS AMERICA, INC	COPIER SVC PROGRAM- WHG01091	79.19	Library
106526	10/1/2019	MIDWEST TAPE, LLC	DVD'S-LIBRARY	75.29	Library
106427	9/18/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	73.60	Library
106517	10/1/2019	INGRAM LIBRARY SERVICES	BOOKS-LIBRARY	72.17	Library
106601	10/8/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	70.40	Library
106386	9/13/2019	US BANK	VISA- KETAB CORP	67.91	Library
106534	10/1/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	60.00	Library
106601	10/8/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	56.81	Library
106427	9/18/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	55.00	Library
106410	9/18/2019	INGRAM LIBRARY SERVICES	BOOKS-LIBRARY	51.85	Library
106427	9/18/2019	RECORDED BOOKS, LLC	BOOKS ON CD	46.79	Library
106534	10/1/2019	RECORDED BOOKS, LLC	BOOKS ON CD	45.55	Library
106564	10/8/2019	CANON SOLUTIONS AMERICA, INC	COPIER SVC PROGRAM- FTG80700	39.91	Library
106427	9/18/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	36.54	Library
106534	10/1/2019	RECORDED BOOKS, LLC	E- AUDIO BOOKS	36.54	Library
106601	10/8/2019	RECORDED BOOKS, LLC	BOOKS ON CD	35.84	Library
106526	10/1/2019	MIDWEST TAPE, LLC	DVD'S-LIBRARY	28.29	Library
106594	10/8/2019	MIDWEST TAPE, LLC	DVD'S-LIBRARY	28.29	Library
106500	10/1/2019	BAKER & TAYLOR, LLC	BOOKS-LIBRARY	21.06	Library
106517	10/1/2019	INGRAM LIBRARY SERVICES	BOOKS-LIBRARY	19.03	Library
106557	10/8/2019	BAKER & TAYLOR, LLC	BOOKS-LIBRARY	17.58	Library
106534	10/1/2019	RECORDED BOOKS, LLC	BOOKS ON CD	7.61	Library
106557	10/8/2019	BAKER & TAYLOR, LLC	BOOKS-LIBRARY	4.48	Library



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Total Amount for 63 Line Item(s) from Library				\$27,712.05	
LMD #22					
106495	10/1/2019	ABSOLUTE	BRUSH CLEARANCE SERVICES	37,063.39	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	28,700.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	19,440.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	12,648.27	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	12,648.27	LMD #22
106495	10/1/2019	ABSOLUTE	BRUSH CLEARANCE SERVICES	12,600.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	12,000.04	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	12,000.04	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	9,412.88	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	8,925.55	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	5,954.12	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	5,954.12	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	5,727.85	LMD #22
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	5,510.00	LMD #22
106495	10/1/2019	ABSOLUTE	BRUSH CLEARANCE SERVICES	5,200.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	4,895.86	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	4,895.86	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	4,632.16	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	4,000.04	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	4,000.04	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	3,843.47	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	3,843.47	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	3,569.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	3,524.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	3,310.00	LMD #22
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	3,245.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	2,970.84	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	2,970.84	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	2,808.00	LMD #22
106503	10/1/2019	CALABASAS PARK HOMEOWNERS ASSO	LAKE MONITORING SERVICES	2,450.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	2,278.29	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	2,278.29	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	1,625.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	1,245.08	LMD #22



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106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	1,245.08	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	1,209.23	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	1,087.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	986.16	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	888.50	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	860.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	804.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	782.00	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	771.77	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	744.89	LMD #22
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	709.09	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	688.16	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	668.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	645.67	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	604.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	567.53	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	564.69	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	550.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	549.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	549.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	545.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	488.24	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	472.50	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	395.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	354.00	LMD #22
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	318.62	LMD #22
106605	10/8/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	308.86	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	300.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	296.33	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	265.49	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	246.23	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	241.24	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	239.68	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	215.00	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	196.02	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	195.41	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	195.41	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	162.99	LMD #22



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106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	155.05	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	152.43	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	151.37	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	150.41	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	149.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	147.93	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	142.71	LMD #22
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	139.61	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	131.14	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	128.00	LMD #22
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	109.00	LMD #22
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	101.90	LMD #22
106486	9/25/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	97.02	LMD #22
106426	9/18/2019	PREFERRED BENEFIT	VISION/DENTAL PREMIUM- SEP 19	56.39	LMD #22
106391	9/18/2019	BCC	LIFE & DISABILITY INS- SEP 19	53.41	LMD #22
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	37.17	LMD #22
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	31.65	LMD #22
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	21.48	LMD #22
106397	9/18/2019	CSAC-EXCESS INSURANCE	EAP/JUL-SEP 2019	6.03	LMD #22
Total Amount for 91 Line Item(s) from LMD #22				\$279,041.26	

LMD #24

106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	5,285.00	LMD #24
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	4,300.00	LMD #24
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	1,295.00	LMD #24
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	800.00	LMD #24
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	477.28	LMD #24
106499	10/1/2019	AZTECA LANDSCAPE	LANDSCAPE MAINTENANCE	207.91	LMD #24
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	184.33	LMD #24
106486	9/25/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	47.47	LMD #24
106426	9/18/2019	PREFERRED BENEFIT	VISION/DENTAL PREMIUM- SEP 19	4.03	LMD #24
106391	9/18/2019	BCC	LIFE & DISABILITY INS- SEP 19	3.82	LMD #24
106397	9/18/2019	CSAC-EXCESS INSURANCE	EAP/JUL-SEP 2019	0.43	LMD #24
Total Amount for 11 Line Item(s) from LMD #24				\$12,605.27	

LMD #27



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106486	9/25/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	27.71	LMD #27
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	11.32	LMD #27
106426	9/18/2019	PREFERRED BENEFIT	VISION/DENTAL PREMIUM- SEP 19	1.01	LMD #27
106391	9/18/2019	BCC	LIFE & DISABILITY INS- SEP 19	0.95	LMD #27
106397	9/18/2019	CSAC-EXCESS INSURANCE	EAP/JUL-SEP 2019	0.11	LMD #27
Total Amount for 5 Line Item(s) from LMD #27				\$41.10	

LMD #32

106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	11.90	LMD #32
106605	10/8/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	10.36	LMD #32
106426	9/18/2019	PREFERRED BENEFIT	VISION/DENTAL PREMIUM- SEP 19	1.01	LMD #32
106391	9/18/2019	BCC	LIFE & DISABILITY INS- SEP 19	0.95	LMD #32
106397	9/18/2019	CSAC-EXCESS INSURANCE	EAP/JUL-SEP 2019	0.11	LMD #32
Total Amount for 5 Line Item(s) from LMD #32				\$24.33	

LMD 22 - Common Benefit Area

106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	9,677.34	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	9,677.34	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	6,288.00	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	5,739.65	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	5,739.65	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	3,491.00	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	3,101.83	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	3,101.83	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	2,637.95	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	2,637.95	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	2,230.00	LMD 22 - Common Benefit Area
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	2,014.69	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	1,883.51	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	1,883.51	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	1,662.00	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	1,419.87	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	1,068.52	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	980.00	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	812.11	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	719.21	LMD 22 - Common Benefit Area



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106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	713.47	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	700.33	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	700.33	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	677.79	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	565.00	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	565.00	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	532.81	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	524.31	LMD 22 - Common Benefit Area
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	417.92	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	368.27	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	234.35	LMD 22 - Common Benefit Area
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- LMD	213.00	LMD 22 - Common Benefit Area
106605	10/8/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	206.65	LMD 22 - Common Benefit Area
106426	9/18/2019	PREFERRED BENEFIT	VISION/DENTAL PREMIUM- SEP 19	91.27	LMD 22 - Common Benefit Area
106391	9/18/2019	BCC	LIFE & DISABILITY INS- SEP 19	74.46	LMD 22 - Common Benefit Area
106397	9/18/2019	CSAC-EXCESS INSURANCE	EAP/JUL-SEP 2019	14.86	LMD 22 - Common Benefit Area
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	9.85	LMD 22 - Common Benefit Area
Total Amount for 37 Line Item(s) from LMD 22 - Common Benefit Area				\$73,375.63	

Media Operations

106575	10/8/2019	GRANICUS INC.	WEB ARCHIVING SERVICE	15,600.00	Media Operations
106575	10/8/2019	GRANICUS INC.	WEB ARCHIVING SERVICE	13,738.80	Media Operations
106386	9/13/2019	US BANK	VISA- B&H PHOTO	3,574.55	Media Operations
106441	9/18/2019	VERIZON WIRELESS	TELEPHONE SERVICE	3,118.93	Media Operations
106487	9/25/2019	TELECOM LAW FIRM, P.C.	TELECOMM CONSULT SVCS	2,940.00	Media Operations
106532	10/1/2019	PERFORMING ARTS EDUCATION CTR	SOTC EVENT	2,074.75	Media Operations
106422	9/18/2019	NICKERSON/LAURA//	CTV HOST SERVICES	1,732.50	Media Operations
106436	9/18/2019	TIME WARNER CABLE	CABLE MODEM- CITY HALL	1,615.00	Media Operations
106610	10/8/2019	TIME WARNER CABLE	CABLE MODEM- CITY HALL	1,615.00	Media Operations
106555	10/8/2019	AT&T	TELEPHONE SERVICE	1,113.63	Media Operations
106433	9/18/2019	SOLID WASTE SOLUTIONS, INC	FILM PERMITS/SERVICES	816.00	Media Operations
106478	9/25/2019	NATIONAL CAPTIONING INSTITUTE	CLOSED CAPTIONING SVCS	588.00	Media Operations
106468	9/25/2019	KEY INFORMATION SYSTEMS, INC.	T-1 LINE MONTHLY FEE	578.77	Media Operations
106386	9/13/2019	US BANK	VISA- AMAZON.COM	509.35	Media Operations
106404	9/18/2019	FUSION CLOUD COMPANY	DSL SERVICE	487.47	Media Operations
106488	9/25/2019	TIME WARNER CABLE	CABLE MODEM- CITY HALL	480.46	Media Operations
106603	10/8/2019	RUSSO/MICHAEL//	REIMB TRAVEL EXP- NATOA	356.02	Media Operations



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106467	9/25/2019	J THAYER COMPANY, INC.	OFFICE SUPPLIES	300.85	Media Operations
106488	9/25/2019	TIME WARNER CABLE	CABLE MODEM- CITY HALL	298.98	Media Operations
106421	9/18/2019	NEXUS TECHNOLOGIES LLC	LASER FISCHE PORTAL	200.00	Media Operations
106386	9/13/2019	US BANK	VISA- U BREAK I FIX	192.33	Media Operations
106386	9/13/2019	US BANK	VISA- SCAN NATOA	180.00	Media Operations
106555	10/8/2019	AT&T	TELEPHONE SERVICE	164.69	Media Operations
106405	9/18/2019	GRACENOTE MEDIA SERVICES	CTV GUIDE LISTING	105.86	Media Operations
106451	9/25/2019	CHARTER COMMUNICATIONS	CABLE MODEM- CITY HALL	90.07	Media Operations
106445	9/25/2019	AT&T MOBILITY	TELEPHONE SERVICE	48.24	Media Operations
106386	9/13/2019	US BANK	VISA- AMAZON.COM	41.60	Media Operations
106386	9/13/2019	US BANK	VISA- RALPHS	33.90	Media Operations
106386	9/13/2019	US BANK	VISA- CA FISH GRILL	32.03	Media Operations
106574	10/8/2019	FUSION CLOUD COMPANY	DSL SERVICE	0.58	Media Operations
Total Amount for 30 Line Item(s) from Media Operations				\$52,628.36	

Non-Departmental - Finance

106548	10/2/2019	CALABASAS CHAMBER OF COMMERCE	FY 19/20 CHAMBER SERVICES	30,000.00	Non-Departmental - Finance
106585	10/8/2019	KR NIDA CORPORATION	RADIO SERVICE	4,847.07	Non-Departmental - Finance
106430	9/18/2019	SECURAL SECURITY CORP	PARKING ENFORCEMENT	3,491.59	Non-Departmental - Finance
106546	10/1/2019	VENCO WESTERN, INC.	EMERGENCY- WOOLSEY FIRE 11/18	2,561.00	Non-Departmental - Finance
106581	10/8/2019	IRON MOUNTAIN, INC.	STORAGE SERVICES	2,443.53	Non-Departmental - Finance
106413	9/18/2019	IRON MOUNTAIN, INC.	STORAGE SERVICES	2,045.44	Non-Departmental - Finance
106386	9/13/2019	US BANK	VISA- LIFE STORAGE	1,371.00	Non-Departmental - Finance
106386	9/13/2019	US BANK	VISA- COSTCO	889.43	Non-Departmental - Finance
106563	10/8/2019	CANON FINANCIAL SERVICES INC	CANON COPIER LEASES	502.61	Non-Departmental - Finance
106401	9/18/2019	DNA ELECTRIC	EMERGENCY- WOOLSEY FIRE 11/18	425.00	Non-Departmental - Finance
106533	10/1/2019	READYREFRESH BY NESTLE	WATER SERVICE	417.23	Non-Departmental - Finance
106386	9/13/2019	US BANK	VISA- COFFEE WHOLESALE USA	356.33	Non-Departmental - Finance
106564	10/8/2019	CANON SOLUTIONS AMERICA, INC	COPIER SVC PROGRAM- JME22147	309.95	Non-Departmental - Finance
106518	10/1/2019	J THAYER COMPANY, INC.	OFFICE SUPPLIES	258.33	Non-Departmental - Finance
106415	9/18/2019	J THAYER COMPANY, INC.	OFFICE SUPPLIES	258.20	Non-Departmental - Finance
106514	10/1/2019	FENCE FACTORY	EMERGENCY- WOOLSEY FIRE 11/18	228.75	Non-Departmental - Finance
106386	9/13/2019	US BANK	VISA- AMAZON.COM	169.83	Non-Departmental - Finance
106386	9/13/2019	US BANK	VISA- COSTCO	136.79	Non-Departmental - Finance
106481	9/25/2019	PORT-A-STOR INC.	EMERGENCY- WOOLSEY FIRE 11/18	134.00	Non-Departmental - Finance
106386	9/13/2019	US BANK	VISA- WALMART	126.35	Non-Departmental - Finance
106457	9/25/2019	CR PRINT	BUSINESS CARDS	105.45	Non-Departmental - Finance



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106509	10/1/2019	CR PRINT	BUSINESS CARDS	88.15	Non-Departmental - Finance
106509	10/1/2019	CR PRINT	BUSINESS CARDS	88.15	Non-Departmental - Finance
106509	10/1/2019	CR PRINT	BUSINESS CARDS	88.15	Non-Departmental - Finance
106448	9/25/2019	CANON SOLUTIONS AMERICA, INC	COPIER SVC PROGRAM- KZT02095	64.00	Non-Departmental - Finance
106513	10/1/2019	FEDERAL EXPRESS CORP.	COURIER SERVICE	58.21	Non-Departmental - Finance
106448	9/25/2019	CANON SOLUTIONS AMERICA, INC	COPIER SVC PROGRAM- NMC09173	15.53	Non-Departmental - Finance
106507	10/1/2019	CONEJO AWARDS	NAME BADGES	14.48	Non-Departmental - Finance
106507	10/1/2019	CONEJO AWARDS	NAME BADGES	14.48	Non-Departmental - Finance
106441	9/18/2019	VERIZON WIRELESS	TELEPHONE SERVICE	10.78	Non-Departmental - Finance
Total Amount for 30 Line Item(s) from Non-Departmental - Finance				\$51,519.81	

Pavroll

106426	9/18/2019	PREFERRED BENEFIT	VISION/DENTAL PREMIUM- SEP 19	7,045.80	Payroll
106391	9/18/2019	BCC	LIFE & DISABILITY INS- SEP 19	4,155.23	Payroll
106553	10/8/2019	APPLE ONE	TEMPORARY EMPLOYMENT SVCS	918.40	Payroll
106496	10/1/2019	APPLE ONE	TEMPORARY EMPLOYMENT SVCS	918.40	Payroll
106496	10/1/2019	APPLE ONE	TEMPORARY EMPLOYMENT SVCS	918.40	Payroll
106496	10/1/2019	APPLE ONE	TEMPORARY EMPLOYMENT SVCS	734.72	Payroll
106397	9/18/2019	CSAC-EXCESS INSURANCE	EAP/JUL-SEP 2019	726.87	Payroll
106490	9/25/2019	WASHBURN/DENNIS//	HEALTH INS REIMB (RETIREE)	720.82	Payroll
106450	9/25/2019	CATE/CHARLES R.//	HEALTH INS REIMB (RETIREE)	720.82	Payroll
106569	10/8/2019	COROALLES/ANTHONY//	HEALTH INS REIMB (RETIREE)	720.82	Payroll
106463	9/25/2019	GROVEMAN/BARRY//	HEALTH INS REIMB (RETIREE)	720.82	Payroll
106466	9/25/2019	HILL/BOB//	HEALTH INS REIMB (RETIREE)	720.82	Payroll
106473	9/25/2019	LOPATA/MARVIN//	HEALTH INS REIMB (RETIREE)	720.82	Payroll
106480	9/25/2019	PARKER/ROBIN//	HEALTH INS REIMB (RETIREE)	720.82	Payroll
106479	9/25/2019	P&A ADMINISTRATIVE SVCS INC	FSA MONTHLY ADMIN FEE- OCT 19	76.50	Payroll
Total Amount for 15 Line Item(s) from Payroll				\$20,540.06	

Police / Fire / Safety

106469	9/25/2019	L.A. CO. SHERIFF'S DEPT.	SHERIFF SVCS- AUG 2019	383,533.02	Police / Fire / Safety
106469	9/25/2019	L.A. CO. SHERIFF'S DEPT.	SHERIFF SVCS- AUG 2019	9,733.43	Police / Fire / Safety
106522	10/1/2019	L.A. CO. DEPT. OF ANIMAL CARE	ANIMAL HOUSING SVCS- AUG 2019	6,895.97	Police / Fire / Safety
106469	9/25/2019	L.A. CO. SHERIFF'S DEPT.	SHERIFF SVCS- AUG 2019	387.50	Police / Fire / Safety
106419	9/18/2019	LIFELOC TECHNOLOGIES, INC.	PAS UNIT MAINTENANCE	114.59	Police / Fire / Safety



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Total Amount for 5 Line Item(s) from Police / Fire / Safety				\$400,664.51	
Public Safety & Emergency Preparedness					
106396	9/18/2019	CPARS CONSULTING, INC.	EOC TRAINING	7,559.00	Public Safety & Emergency Preparedness
106509	10/1/2019	CR PRINT	FIRE POSTCARDS	4,236.68	Public Safety & Emergency Preparedness
106386	9/13/2019	US BANK	VISA- MACKAY COMMUNICATIONS	233.58	Public Safety & Emergency Preparedness
106386	9/13/2019	US BANK	VISA- RALPHS	43.04	Public Safety & Emergency Preparedness
106386	9/13/2019	US BANK	VISA- IMS	39.58	Public Safety & Emergency Preparedness
Total Amount for 5 Line Item(s) from Public Safety & Emergency Preparedness				\$12,111.88	
Public Works					
106403	9/18/2019	EXCEL PAVING COMPANY	CITYWIDE RESURFACING PROJ	690,289.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- P.W.	17,750.85	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- PARKS	15,437.68	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- PARKS	12,034.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	10,665.00	Public Works
106495	10/1/2019	ABSOLUTE	BRUSH CLEARANCE SERVICES	4,900.00	Public Works
106549	10/8/2019	4IMPRINT, INC.	CITY LOGO PENS W/RULER	4,500.59	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	4,375.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	4,320.00	Public Works
106508	10/1/2019	COUNTY OF LOS ANGELES	CATCH BASIN SERVICES	3,970.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	3,965.00	Public Works
106536	10/1/2019	RON'S MAINTENANCE, INC.	CATCH BASIN CLEANING SERVICE	3,900.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- P.W.	3,309.54	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- P.W.	3,273.45	Public Works
106456	9/25/2019	COUNTY OF LOS ANGELES	CONTRACT SERVICES	2,619.33	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	2,375.00	Public Works
106414	9/18/2019	ISSAKHANI/MARINA//	CONSULTING SERVICES	2,200.00	Public Works
106582	10/8/2019	ISSAKHANI/MARINA//	CONSULTING SERVICES	2,200.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- PARKS	1,776.92	Public Works
106617	10/8/2019	WILLDAN ASSOCIATES INC.	GEOTECH REVIEW	1,520.00	Public Works
106568	10/8/2019	CONVERSE CONSULTANTS	CONSULTING SERVICES	1,490.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- PARKS	1,432.24	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	1,140.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	1,070.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	1,070.00	Public Works



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106464	9/25/2019	HAJZADEH/HOUMAN//	CONSULTING SERVICES	875.00	Public Works
106464	9/25/2019	HAJZADEH/HOUMAN//	CONSULTING SERVICES	850.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	835.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- PARKS	810.38	Public Works
106577	10/8/2019	HAJZADEH/HOUMAN//	CONSULTING SERVICES	800.00	Public Works
106577	10/8/2019	HAJZADEH/HOUMAN//	CONSULTING SERVICES	800.00	Public Works
106442	9/18/2019	YIN/JULIE//	CONSULTING SERVICES	796.50	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	780.00	Public Works
106495	10/1/2019	ABSOLUTE	BRUSH CLEARANCE SERVICES	759.78	Public Works
106442	9/18/2019	YIN/JULIE//	CONSULTING SERVICES	756.00	Public Works
106521	10/1/2019	KHANDAKER/ASHIQUE//	CONSULTING SERVICES	710.00	Public Works
106428	9/18/2019	ROLDAN/VINCENT//	CONSULTING SERVICES	700.00	Public Works
106521	10/1/2019	KHANDAKER/ASHIQUE//	CONSULTING SERVICES	700.00	Public Works
106535	10/1/2019	ROLDAN/VINCENT//	CONSULTING SERVICES	700.00	Public Works
106535	10/1/2019	ROLDAN/VINCENT//	CONSULTING SERVICES	700.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	690.00	Public Works
106495	10/1/2019	ABSOLUTE	BRUSH CLEARANCE SERVICES	602.20	Public Works
106428	9/18/2019	ROLDAN/VINCENT//	CONSULTING SERVICES	560.00	Public Works
106416	9/18/2019	KHANDAKER/ASHIQUE//	CONSULTING SERVICES	560.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	517.50	Public Works
106494	9/25/2019	YIN/JULIE//	CONSULTING SERVICES	459.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- PARKS	455.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- PARKS	455.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	450.00	Public Works
106416	9/18/2019	KHANDAKER/ASHIQUE//	CONSULTING SERVICES	448.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	440.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	425.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	393.75	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	375.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	375.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- PARKS	293.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- P.W.	280.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- P.W.	280.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- P.W.	273.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- P.W.	260.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	243.75	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- PARKS	238.00	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	225.00	Public Works



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106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- P.W.	204.00	Public Works
106554	10/8/2019	ARC DOCUMENT SOLUTIONS, LLC	COPY/PRINTING SERVICE	151.62	Public Works
106529	10/1/2019	NEWBURY PARK TREE SERVICE INC	TREE TRIMMING/REMOVAL SVCS	150.00	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- PARKS	142.00	Public Works
106605	10/8/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	122.40	Public Works
106386	9/13/2019	US BANK	VISA- AMAZON.COM	116.88	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- P.W.	115.00	Public Works
106437	9/18/2019	UNDERGROUND SERVICE ALERT	MONTHLY MEMBERSHIP FEE	110.65	Public Works
106386	9/13/2019	US BANK	VISA- DIY/HOME DEPOT	103.58	Public Works
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	94.38	Public Works
106386	9/13/2019	US BANK	VISA- CAPCA	85.00	Public Works
106554	10/8/2019	ARC DOCUMENT SOLUTIONS, LLC	COPY/PRINTING SERVICE	76.51	Public Works
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- P.W.	74.50	Public Works
106492	9/25/2019	YALDA/ROBERT//	REIMB- INTERVIEW PANEL	66.69	Public Works
106386	9/13/2019	US BANK	VISA- HARBOR FREIGHTS	48.45	Public Works
106386	9/13/2019	US BANK	VISA- DIY/HOME DEPOT	45.39	Public Works
106542	10/1/2019	VALLEY NEWS GROUP	LEGAL ADVERTISING	45.00	Public Works
106400	9/18/2019	DIG SAFE BOARD	STATE REGULATORY FEE	43.43	Public Works
106441	9/18/2019	VERIZON WIRELESS	TELEPHONE SERVICE	38.01	Public Works
106486	9/25/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	21.30	Public Works
106386	9/13/2019	US BANK	VISA- DIY	5.21	Public Works
Total Amount for 84 Line Item(s) from Public Works				\$824,314.46	

Recoverable / Refund / Liability

106599	10/8/2019	PETTY CASH	PETTY CASH- PUMPKIN FEST	10,000.00	Recoverable / Refund / Liability
106429	9/18/2019	RUIZ CONCRETE & PAVING INC.	SIDEWALK REPAIRS	6,892.03	Recoverable / Refund / Liability
106600	10/8/2019	PETTY CASH	PETTY CASH- PUMPKIN FEST	5,000.00	Recoverable / Refund / Liability
106525	10/1/2019	MARTINEZ/JOHN//	REFUND BUILDING PERMIT	1,281.70	Recoverable / Refund / Liability
106423	9/18/2019	P&A ADMINISTRATIVE SVCS INC	FSA-MED/DEP CARE REIMBURSEMENT	1,153.86	Recoverable / Refund / Liability
106596	10/8/2019	P&A ADMINISTRATIVE SVCS INC	FSA-MED/DEP CARE REIMBURSEMENT	192.31	Recoverable / Refund / Liability
106511	10/1/2019	DRUDZINSKI/MICHAEL//	RECREATION REFUND	165.60	Recoverable / Refund / Liability
106596	10/8/2019	P&A ADMINISTRATIVE SVCS INC	FSA-MED/DEP CARE REIMBURSEMENT	165.00	Recoverable / Refund / Liability
106588	10/8/2019	LESLIE/CHERYL//	RECREATION REFUND	103.25	Recoverable / Refund / Liability
106596	10/8/2019	P&A ADMINISTRATIVE SVCS INC	FSA-MED CARE REIMBURSEMENT	99.98	Recoverable / Refund / Liability
106607	10/8/2019	TDE TOURING LLC	REFUND OVERPAYMENT	99.51	Recoverable / Refund / Liability
106614	10/8/2019	WASHBURN/CAROL//	RECREATION REFUND	38.00	Recoverable / Refund / Liability
106423	9/18/2019	P&A ADMINISTRATIVE SVCS INC	FSA-MED/DEP CARE REIMBURSEMENT	15.26	Recoverable / Refund / Liability



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106403	9/18/2019	EXCEL PAVING COMPANY	CITYWIDE RESURFACING PROJ	-34,514.45	Recoverable / Refund / Liability
Total Amount for 14 Line Item(s) from Recoverable / Refund / Liability				<u>\$-9,307.95</u>	

Tennis & Swim Center

106386	9/13/2019	US BANK	VISA- KEISER CORP	5,037.50	Tennis & Swim Center
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	2,294.53	Tennis & Swim Center
106498	10/1/2019	ATMOSPHERE EVENTS & CATERING	SOCIAL EXPENSE- 25TH ANNIV	2,184.53	Tennis & Swim Center
106470	9/25/2019	LAS VIRGENES MUNICIPAL WATER	WATER SERVICE	2,048.08	Tennis & Swim Center
106565	10/8/2019	CASAS/JORGE//	FITNESS EQUIPMENT REPAIRS	1,853.15	Tennis & Swim Center
106472	9/25/2019	LITTLE LEARNERS LLC	RECREATION INSTRUCTOR	1,610.00	Tennis & Swim Center
106470	9/25/2019	LAS VIRGENES MUNICIPAL WATER	WATER SERVICE	1,385.64	Tennis & Swim Center
106565	10/8/2019	CASAS/JORGE//	FITNESS EQUIPMENT REPAIRS	1,368.77	Tennis & Swim Center
106449	9/25/2019	CASAS/JORGE//	FITNESS EQUIPMENT REPAIRS	1,226.70	Tennis & Swim Center
106434	9/18/2019	SOUTHERN CALIFORNIA GAS CO	GAS SERVICE	1,040.09	Tennis & Swim Center
106449	9/25/2019	CASAS/JORGE//	FITNESS EQUIPMENT REPAIRS	805.59	Tennis & Swim Center
106474	9/25/2019	MARKET PLAYS PRODUCTIONS	STAFF UNIFORMS	782.84	Tennis & Swim Center
106567	10/8/2019	COMMERCIAL AQUATIC SVCS	POOL SERVICE/REPAIR	722.88	Tennis & Swim Center
106395	9/18/2019	COMMERCIAL AQUATIC SVCS	POOL SERVICE/REPAIR	716.68	Tennis & Swim Center
106520	10/1/2019	KEISER CORPORATION	FITNESS EQUIPMENT PARTS	603.18	Tennis & Swim Center
106505	10/1/2019	CASCIONE/GAYLENE//	RECREATION INSTRUCTOR	551.40	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- MISTER G FITNESS	540.00	Tennis & Swim Center
106567	10/8/2019	COMMERCIAL AQUATIC SVCS	POOL SERVICE/REPAIR	530.52	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- CLARK PEST CONTROL	500.00	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- AMAZON.COM	457.25	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- HOME DEPOT	441.82	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- WSW CORP	410.00	Tennis & Swim Center
106474	9/25/2019	MARKET PLAYS PRODUCTIONS	STAFF UNIFORMS	349.04	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- SMART & FINAL	345.31	Tennis & Swim Center
106615	10/8/2019	WATERLINE TECHNOLOGIES INC	POOL CHEMICALS	330.15	Tennis & Swim Center
106489	9/25/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- T&SC	244.66	Tennis & Swim Center
106391	9/18/2019	BCC	LIFE & DISABILITY INS- SEP 19	228.25	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- AMAZON.COM	227.80	Tennis & Swim Center
106426	9/18/2019	PREFERRED BENEFIT	VISION/DENTAL PREMIUM- SEP 19	222.60	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- PRINTING ZONE	213.53	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- MCCALLA COMPANY	193.84	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- CAP LEASING	192.00	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- SHERWIN WILLIAMS	159.18	Tennis & Swim Center



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106491	9/25/2019	WATERLINE TECHNOLOGIES INC	POOL CHEMICALS	157.36	Tennis & Swim Center
106546	10/1/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- T&SC	155.00	Tennis & Swim Center
106483	9/25/2019	SECURAL SECURITY CORP	SECURITY- FOUNDERS HALL	147.44	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- HOME DEPOT	133.26	Tennis & Swim Center
106491	9/25/2019	WATERLINE TECHNOLOGIES INC	POOL CHEMICALS	117.16	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- HOME DEPOT	110.62	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- CONSTANT CONTACT	100.00	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- RED CROSS	78.00	Tennis & Swim Center
106411	9/18/2019	INNER-I ...SECURITY IN FOCUS	JUL-SEP 2019 MONITORING- T&SC	75.00	Tennis & Swim Center
106584	10/8/2019	KISHIMOTO/RAINE//	REIMB MILEAGE - AUG/SEP 19	62.23	Tennis & Swim Center
106604	10/8/2019	SECURAL SECURITY CORP	SECURITY- PARKING T&SC	62.08	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- INDEED	58.79	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- RALPHS	57.77	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- ACME VALLEY KEYS	43.80	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- RALPHS	42.84	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- S&S WORLDWIDE	28.45	Tennis & Swim Center
106426	9/18/2019	PREFERRED BENEFIT	VISION/DENTAL PREMIUM- SEP 19	27.48	Tennis & Swim Center
106397	9/18/2019	CSAC-EXCESS INSURANCE	EAP/JUL-SEP 2019	24.23	Tennis & Swim Center
106391	9/18/2019	BCC	LIFE & DISABILITY INS- SEP 19	21.98	Tennis & Swim Center
106386	9/13/2019	US BANK	VISA- REI	9.86	Tennis & Swim Center
106397	9/18/2019	CSAC-EXCESS INSURANCE	EAP/JUL-SEP 2019	3.23	Tennis & Swim Center
Total Amount for 54 Line Item(s) from Tennis & Swim Center				\$31,334.09	

Transportation

106477	9/25/2019	MV TRANSPORTATION, INC.	SHUTTLE SERVICES- AUG 19	14,624.07	Transportation
106579	10/8/2019	IDEAL GENERAL SERVICES, INC.	DIAL-A-RIDE SEP 2019	13,359.50	Transportation
106595	10/8/2019	MOORE & ASSOCIATES, INC.	TITLE VI PLAN ANALYSIS	9,700.00	Transportation
106432	9/18/2019	SIEMENS MOBILITY, INC	TRAFFIC SIGN MAINTENANCE	8,862.58	Transportation
106477	9/25/2019	MV TRANSPORTATION, INC.	SHUTTLE SERVICES- AUG 19	8,317.64	Transportation
106477	9/25/2019	MV TRANSPORTATION, INC.	SHUTTLE SERVICES- AUG 19	6,965.33	Transportation
106443	9/25/2019	ALL CITY MANAGEMENT SVCS, INC.	SCHOOL CROSSING GUARD SVCS	6,143.71	Transportation
106438	9/18/2019	UNITED PACIFIC	FUEL CHARGES- AUG 2019	6,138.46	Transportation
106485	9/25/2019	SO-CAL PRESSURE WASH	PRESSURE WASHING	5,600.00	Transportation
106477	9/25/2019	MV TRANSPORTATION, INC.	SHUTTLE SERVICES- AUG 19	4,970.50	Transportation
106486	9/25/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	4,719.98	Transportation
106606	10/8/2019	SOUTHERN CALIFORNIA EDISON	EV CHARGING STATION EXT	4,440.44	Transportation
106477	9/25/2019	MV TRANSPORTATION, INC.	SHUTTLE SERVICES- AUG 19	3,531.34	Transportation



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106472	9/25/2019	LITTLE LEARNERS LLC	YOUTH EXCURSION	3,500.00	Transportation
106605	10/8/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	3,394.17	Transportation
106611	10/8/2019	TOYOTA FINANCIAL SERVICES	LEASE PAYMENT- OCT 2019	2,092.14	Transportation
106484	9/25/2019	SIEMENS MOBILITY, INC	TRAFFIC SIGN MAINTENANCE	1,371.25	Transportation
106539	10/1/2019	SOUTHERN CALIFORNIA EDISON	ELECTRIC SERVICE	1,265.31	Transportation
106477	9/25/2019	MV TRANSPORTATION, INC.	SHUTTLE FUEL COST- AUG 19	1,248.57	Transportation
106386	9/13/2019	US BANK	VISA- MYERS & SONS	1,150.98	Transportation
106477	9/25/2019	MV TRANSPORTATION, INC.	SHUTTLE SERVICES- AUG 19	1,058.75	Transportation
106386	9/13/2019	US BANK	VISA- B&B MOTORS	745.14	Transportation
106570	10/8/2019	COUNTY OF LOS ANGELES	CONTRACT SERVICES	586.20	Transportation
106424	9/18/2019	PARSONS TRANSPORTATION GROUP	LOST HILLS INTERCHANGE	453.75	Transportation
106587	10/8/2019	LAS VIRGENES UNIFIED SCHOOL	BEFORE & AFTER SCHOOL AIDES	431.32	Transportation
106386	9/13/2019	US BANK	VISA- AMAZON.COM	424.89	Transportation
106386	9/13/2019	US BANK	VISA- CHEVRON/SHELL OIL/USA	297.94	Transportation
106386	9/13/2019	US BANK	VISA- HOME DEPOT	271.03	Transportation
106386	9/13/2019	US BANK	VISA- 7 ELEVEN/USA SHELL	263.40	Transportation
106586	10/8/2019	LA DWP	TRAFFIC METER SERVICE	202.79	Transportation
106386	9/13/2019	US BANK	VISA- TIRE MAN	196.12	Transportation
106386	9/13/2019	US BANK	VISA- PCS INC	178.00	Transportation
106386	9/13/2019	US BANK	VISA- ROYS TOWING	150.00	Transportation
106497	10/1/2019	AT&T	TELEPHONE SERVICE	105.50	Transportation
106386	9/13/2019	US BANK	VISA- CHEVRON/SHELL OIL	104.16	Transportation
106386	9/13/2019	US BANK	VISA- 7 ELEVEN/UNION 76	88.88	Transportation
106386	9/13/2019	US BANK	VISA- EXXON MOBIL	62.00	Transportation
106386	9/13/2019	US BANK	VISA- EXXON MOBIL	54.89	Transportation
106386	9/13/2019	US BANK	VISA- DIY/HOME DEPOT	51.95	Transportation
106386	9/13/2019	US BANK	VISA- IMS	47.28	Transportation
106386	9/13/2019	US BANK	VISA- CHEVRON	33.40	Transportation
106386	9/13/2019	US BANK	VISA- UNION 76	28.99	Transportation
106386	9/13/2019	US BANK	VISA- 7 ELEVEN/UNION 76	21.99	Transportation
106386	9/13/2019	US BANK	VISA- CHEVRON/SHELL OIL	10.00	Transportation
106386	9/13/2019	US BANK	VISA- EXXON MOBIL	9.00	Transportation
Total Amount for 45 Line Item(s) from Transportation				\$117,273.34	
GRAND TOTAL for 700 Line Items				\$2,226,104.33	



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Tennis & Swim Center					
13699	10/10/2019	ANTHEM BLUE CROSS	MEDICAL INSURANCE	7,465.22	Tennis & Swim Center
13694	9/27/2019	VENCO WESTERN, INC.	LANDSCAPE MAINTENANCE- T&SC	3,720.94	Tennis & Swim Center
13697	10/10/2019	AAA DIRECT MAIL	FACILITY EXPENSE	3,145.37	Tennis & Swim Center
13687	9/27/2019	ATMOSPHERE EVENTS & CATERING	PROMOTION/SOCIALS	2,859.53	Tennis & Swim Center
13690	9/27/2019	LAS VIRGENES MUNICIPAL WATER	WATER SERVICE	2,048.07	Tennis & Swim Center
13701	10/10/2019	DIGITAL COLOR WORKS	ADMINISTRATIVE EXPENSES	1,777.53	Tennis & Swim Center
13689	9/27/2019	ICW GROUP	WORKERS COMP INS	1,738.56	Tennis & Swim Center
13703	10/10/2019	UNIFIRST CORPORATION	JANITORIAL SUPPLIES	1,124.95	Tennis & Swim Center
13695	9/27/2019	WILSON SPORTING GOODS	FACILITY EXPENSE	766.91	Tennis & Swim Center
13702	10/10/2019	EJC PRINTING	TENNIS COURT PAPERS	698.61	Tennis & Swim Center
13695	9/27/2019	WILSON SPORTING GOODS	FACILITY EXPENSE	677.10	Tennis & Swim Center
13701	10/10/2019	DIGITAL COLOR WORKS	ADMINISTRATIVE EXPENSES	612.08	Tennis & Swim Center
13700	10/10/2019	DESIGNSCAPE	PLANT MAINTENANCE- T&SC	436.00	Tennis & Swim Center
13703	10/10/2019	UNIFIRST CORPORATION	JANITORIAL SUPPLIES	428.87	Tennis & Swim Center
13686	9/27/2019	AT&T	TELEPHONE SERVICE	346.22	Tennis & Swim Center
13688	9/27/2019	BLUE SHIELD OF CA	INSURANCE EXPENSE	314.90	Tennis & Swim Center
13696	9/27/2019	XEROX FINANCIAL SERVICES	ADMINISTRATIVE EXPENSES	288.97	Tennis & Swim Center
13691	9/27/2019	MARILYN'S TROPHIES	PROMOTION/SOCIALS	257.40	Tennis & Swim Center
13693	9/27/2019	UNIFIRST CORPORATION	JANITORIAL SUPPLIES	164.26	Tennis & Swim Center
13693	9/27/2019	UNIFIRST CORPORATION	JANITORIAL SUPPLIES	121.96	Tennis & Swim Center
13698	10/10/2019	ADP, INC	ADMINISTRATIVE EXPENSES	99.37	Tennis & Swim Center
13692	9/27/2019	RICHARDS/JEFF//	REIMBURSE EXPENSE	20.00	Tennis & Swim Center
13690	9/27/2019	LAS VIRGENES MUNICIPAL WATER	WATER SERVICE	7.50	Tennis & Swim Center
Total Amount for 23 Line Item(s) from Tennis & Swim Center				\$29,120.32	
GRAND TOTAL for 23 Line Items				\$29,120.32	

FUTURE AGENDA ITEMS

Department Agenda Headings Agenda Title/Future Agenda

13-Nov

1	PW	Presentation	Award from LA Section of American Society of Civil Engineers (ASCE) for Las Virgenes Creek Restoration Project – Phase II
2	PW	Presentation	America in Bloom Awards
3	CC	Consent	Art in public Places appointment
4	CD	New Business	Introduction of Ordinance No. 2019-372, adoption of State new Building Codes
5	PW	New Business	MRT bridge update
6	CD	New Business	Planning Commission recommendation regarding safe distance siting standards

Future Items

7	AS/HR	New Business	Hiring freeze explanation/process
8	PW	Consent	Approval of a Professional Services Agreement with Prevailing Wages to ____ in the Amount of \$__ for Construction of 3 Medians on Malibu Hills Road as part of City's Green Street Projects
9	PW	New Business	Recommendation from the Environmental Commission regarding anticoagulants ordinance
10	CD	New Business	Story poles review by Planning Commission or CDD
11	AS	New Business	Evaluation of private security est. Jan 2020
12	AS	Presentation	Clean Power Alliance update Jan 2020
13	CS	New Business	Commemorative plaques for City facilities
14	PS	New Business	County's Woolsey Fire After Action Report
15	PW	New Business	Recommendation from the Environmental Commission regarding San Jose Ordinance and other ideas for further reduction of plastics including plastic bags
16	CD/Finance	New Business	Annexation updates
17	CD/PW	New Business	EV charging ports for new development
18	CD	Public Hearing	West Village Project
19	CA	New Business	Closed session regarding State's mandate for affordable housing
20	CA/CC	New Business	Report/timeline on a cannabis tax initiative
21	AS/HR	New Business	Salary adjustments policy

2019 Meeting Dates

Nov 27 -	Dec 11 - Council Reorganization
Canceled -	Dec 25 - Canceled - Christmas