



CITY of CALABASAS

TENTATIVE TRACT MAP

PROJECT APPLICANT/OWNER:

LMKK, LLC
5093 PARKWAY CALABASAS
CALABASAS, CA 91302

PROPERTY INFORMATION:

24415 MULHOLLAND HWY
CALABASAS, CA 91302
APN: 4455-004-046

CIVIL ENGINEER:

DIAMOND WEST, INC.
23801 CALABASAS ROAD, SUITE 1034
CALABASAS, CA 91302
(818) 591-1050

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THE NORTH HALF OF THE SOUTH 2/5TH OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 NORTH, RANGE 17 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF CALABASAS, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, ACCORDING TO THE OFFICE PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE OF THE SURVEYOR GENERAL, EXCEPT THEREFROM THAT PORTION THEREOF LYING WITHIN DRY CANYON COLD ROAD (50.00 FEET WIDE) AS DESCRIBED IN THE DEED TO THE COUNTY OF LOS ANGELES, RECORDED IN BOOK 300, PAGE 130, OF OFFICIAL RECORDS.

THE NORTH LINE AND SOUTH LINES HEREIN DESCRIBED ARE PARALLEL WITH THE SOUTH LINE OF SAID SECTION 33.

EXCEPT THAT PORTION OF THE NORTH ONE-HALF OF THE SOUTH 2/5THS OF THE SOUTHEAST ONE QUARTER OF SECTION 33, TOWNSHIP 1 NORTH, RANGE 17 WEST, S. B. B. M. ACCORDING TO THE OFFICE PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE ON SEPTEMBER 25, 1896 LYING EASTERLY OF THE CENTER LINE OF MULHOLLAND HIGHWAY, AS DESCRIBED IN THAT CERTAIN DEED RECORDED FEBRUARY 6, 1954, AS DOCUMENT NO. 3841. THE NORTH AND SOUTH LINES OF SAID NORTH HALF BEING PARALLEL RESPECTIVELY WITH THE SOUTH LINE OF SAID SECTION.

ZONING AND LAND USE:

ZONING: HILLSIDE MOUNTAINOUS (HM)
RURAL RESIDENTIAL W/ SCENIC OVERLAY (RR-SC)

FEMA FLOOD ZONE:

ZONE D: AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE
ZONE AE: BASE FLOOD ELEVATIONS DETERMINED, PER FEMA FLOOD INSURANCE RATE MAP NO. 06037C1531F, REVISED DATE SEPTEMBER 26, 2008.

AREA:

GROSS AREA: 1,205,346 SF (27.67 AC)

TOTAL DISTURBED:

PROPOSED: 5.2 AC

TOTAL IMPERVIOUS AREA:

EXISTING: 0 SF
PROPOSED: 176,170 SF

GROSS YARDAGE VOLUMES:

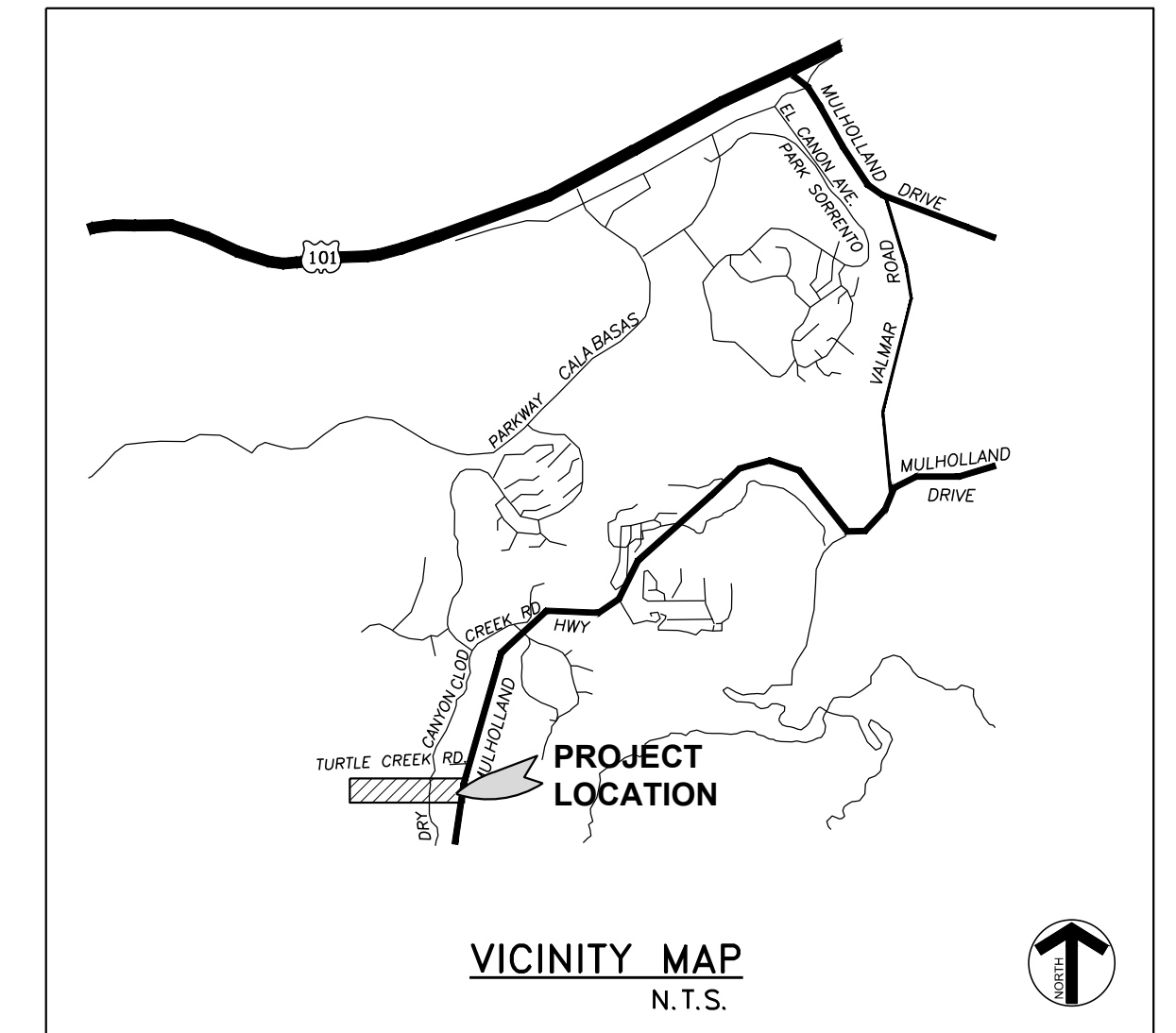
EAST OF DRY CANYON RD.	WEST OF DRY CANYON RD.
CUT: 19,000 CY	CUT: 19,000 CY
FILL: 25,000 CY	FILL: 2,000 CY
TOTAL: 6,000 CY (IMPORT)	TOTAL: 17,000 CY (EXPORT)

PUBLIC UTILITIES / SERVICES:

WATER: LAS VIRGENES MUNICIPAL WATER DISTRICT
4232 LAS VIRGENES ROAD
CALABASAS, CA 91302
(818) 880-4110

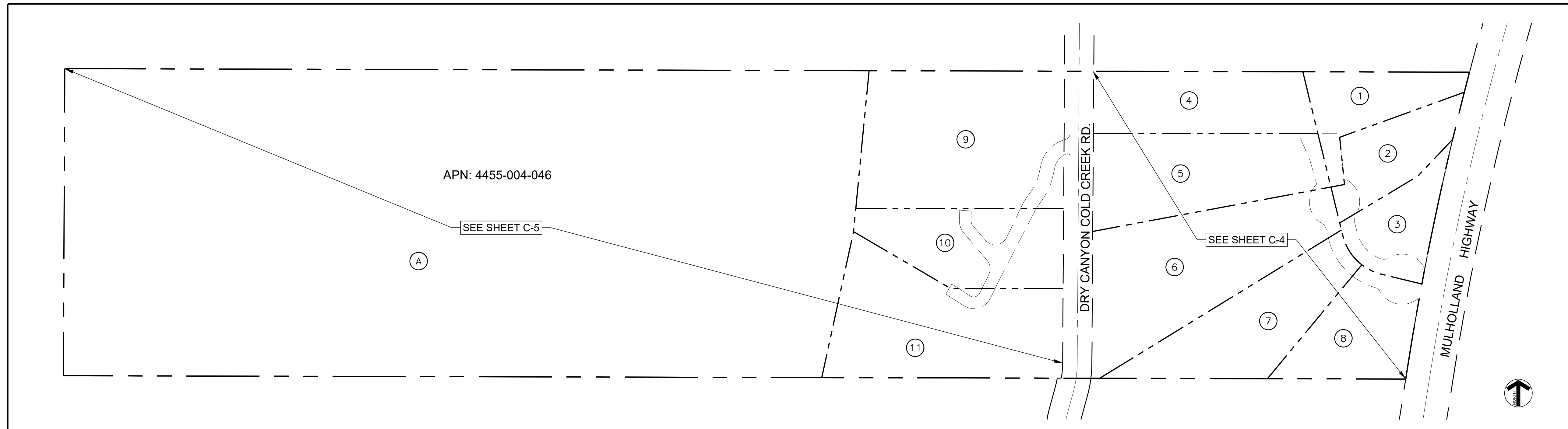
ELECTRICAL: SOUTHERN CALIFORNIA EDISON
3589 FOOTHILL DRIVE
THOUSAND OAKS, CA 91361
(818) 494-7016

SEWER: SEPTIC SYSTEM



SHEET INDEX:

- SHEET C1 - TITLE SHEET
- SHEET C2 - EXISTING CONDITIONS PLAN
- SHEET C3 - SITE CONSTRAINTS EXHIBIT
- SHEET C4 - CONCEPTUAL GRADING & DRAINAGE PLAN (1)
- SHEET C5 - CONCEPTUAL GRADING & DRAINAGE PLAN (2)
- SHEET C6 - CONCEPTUAL GRADING SECTIONS
- SHEET C7 - CONCEPTUAL STREET IMPROVEMENT PLAN
- SHEET C8 - DEVELOPMENT PLAN EXHIBIT
- SHEET C9 - SLOPE EXHIBIT
- SHEET C10 - LINE OF SIGHT EXHIBIT - MULHOLLAND HWY
- SHEET C11 - LINE OF SIGHT EXHIBIT - DRY CANYON COLD CREEK



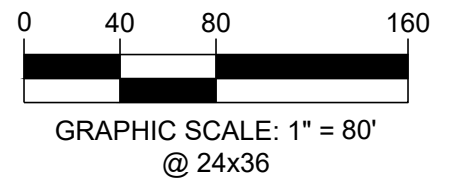
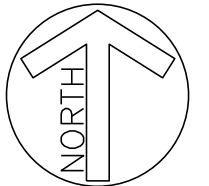
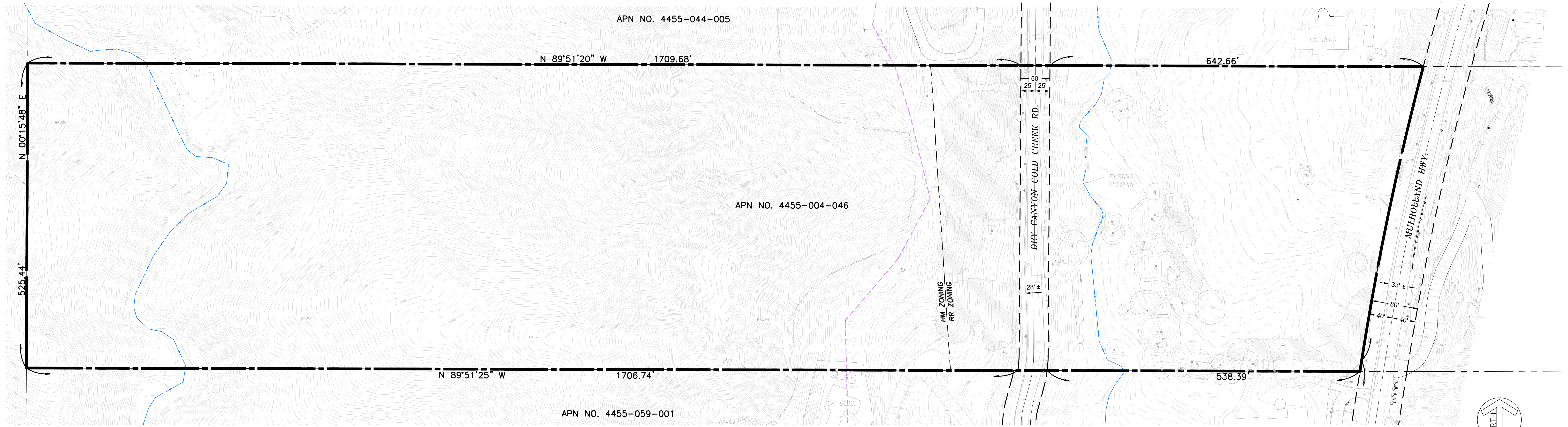
SITE MAP AND LEGAL ACCESS EXHIBIT
SCALE: 1" = 100'



FOR CONCEPTUAL APPROVAL ONLY

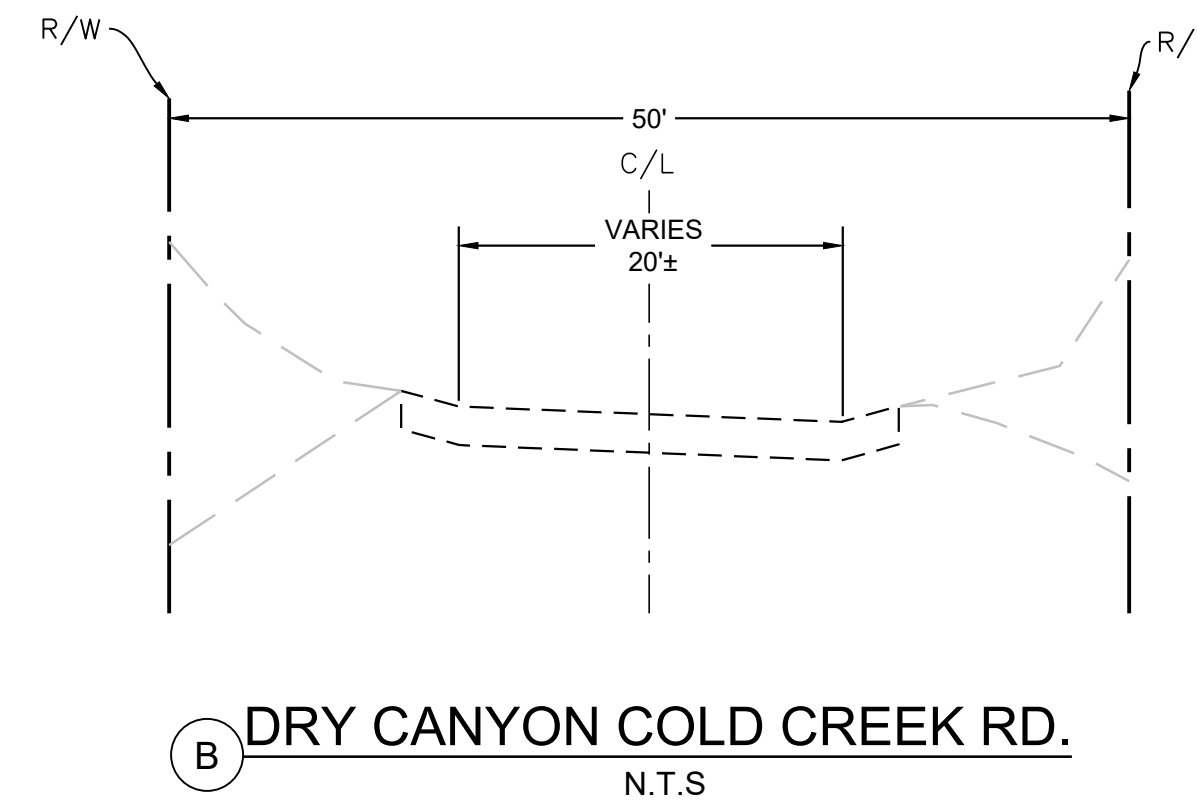
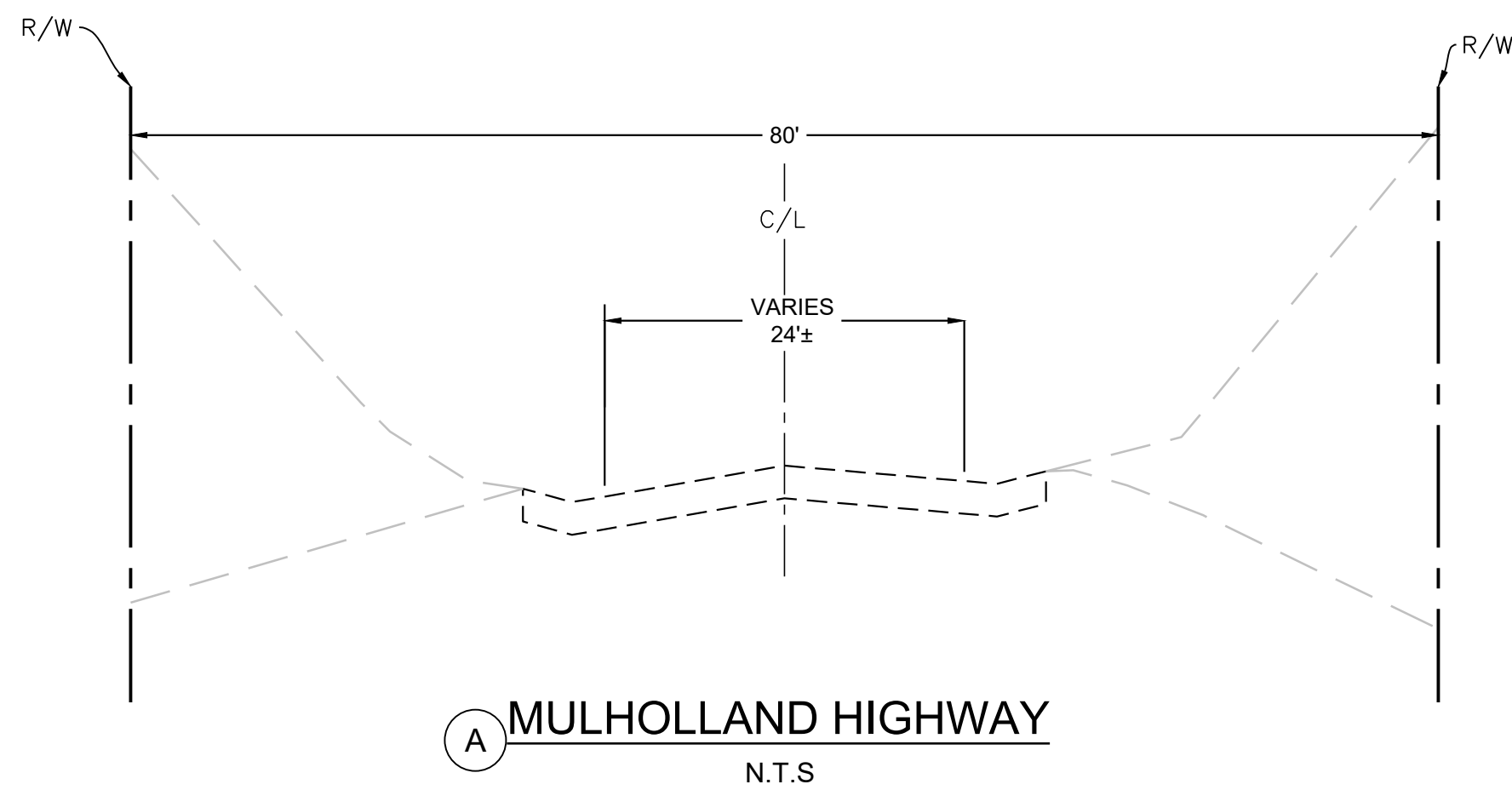
<p>CITY of CALABASAS PUBLIC WORKS DEPARTMENT 100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338 WWW.CITYOFCALABASAS.COM</p>	<p>PREPARED BY:</p> <p>civil engineering • land surveying • land planning 23801 Calabasas Road, Suite 1034 Calabasas, CA 91302 Phone: (818) 591-1050 www.diamondwest.net</p>	<p>PREPARED FOR:</p> <p>LMMK, LLC 5093 PARKWAY CALABASAS CALABASAS, CA 91302</p>	<p>SHEET TITLE:</p> <p>TITLE SHEET</p>
<p>PROJECT ADDRESS:</p> <p>24415 MULHOLLAND HWY CALABASAS CA, 91302 (APN) 4455-004-046</p>		<p>DESIGNED BY: SB CHECKED BY: DW DRAWN BY: SB</p> <p>SCALE: 1" = 100'</p> <p>SHEET NO. AS NOTED</p> <p>DATE: 2-13-2023</p>	

P:\31-1814-LMCK-Cold Canyon Cold Creek\230-Entirement Planning\Civil\Survey\Map21-014-200-1716-01.dwg 02/13/23 14:10pm-JOYNTMAN



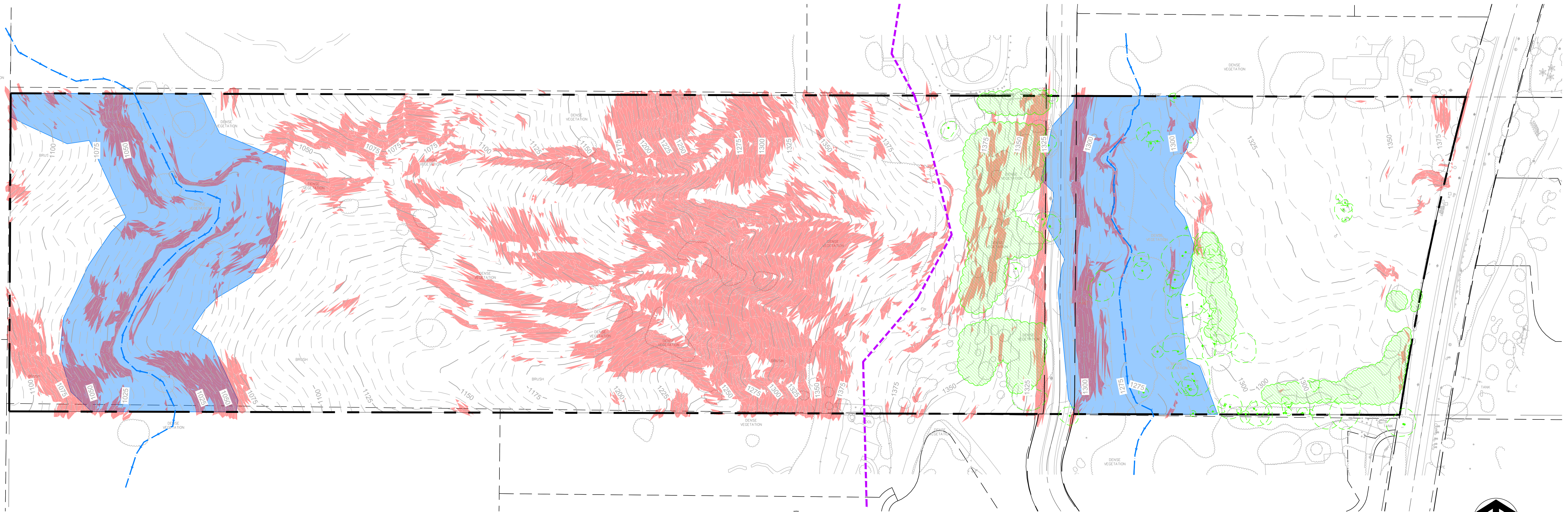
LEGEND:

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- CANOPY
- TREE NUMBER
- EXISTING OAK TREE
- PROTECTION ZONE
- CANOPY
- TREE NUMBER
- DEMO OAK TREE
- PROTECTION ZONE
- CANOPY
- TREE NUMBER
- ENCROACH OAK TREE
- PROTECTION ZONE
- EXISTING POWER POLE
- Existing Right-of-Way
- Property Line
- Existing Parcels
- Existing Easements
- Existing Street Centerlines
- Significant Ridgeline
- Blue-line Stream Flowline
- Water (Existing)



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<p>CITY of CALABASAS PUBLIC WORKS DEPARTMENT 100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338 WWW.CITYOFCALABASAS.COM</p>	<p>PREPARED BY:</p> <p>civil engineering • land surveying • land planning 23801 Calabasas Road, Suite 1034 Calabasas, CA 91302 Phone: (818) 591-1050 www.diamondwest.net</p>	<p>PREPARED FOR:</p> <p>LMMK, LLC 5093 PARKWAY CALABASAS CALABASAS, CA 91302</p>	<p>SHEET TITLE:</p> <p>EXISTING CONDITIONS PLAN</p>	<p>PROJECT ADDRESS:</p> <p>24415 MULHOLLAND HWY CALABASAS CA, 91302 (APN) 4455-004-046</p>	<p>DESIGNED BY: SB</p> <p>CHECKED BY: DW</p> <p>DRAWN BY: SB</p> <p>SCALE:</p> <p>1" = 80'</p> <p>SHEET NO:</p> <p>C-2</p> <p>DATE:</p> <p>2-13-2023</p>
	<p>WWW.CITYOFCALABASAS.COM</p>				



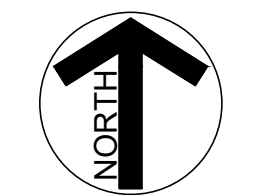
LEGEND:

- Subject Parcel Boundary
- Existing Right-of-Way
- - - Existing Lot Lines
- - - Existing Easements
- - - Existing Street Centerlines
- - - Significant Ridgeline, Updated per Contours from Aerial Survey
- Blue-Line Stream, Flowline Shown per Aerial Survey
- Blue-Line Stream - 100-ft Buffer (from Flowline)
- Existing Slopes Exceeding 50%

EXISTING OAK TREE,
PER OAK TREE STUDY

CANOPY

EXISTING SCRUB
OAK HABITAT





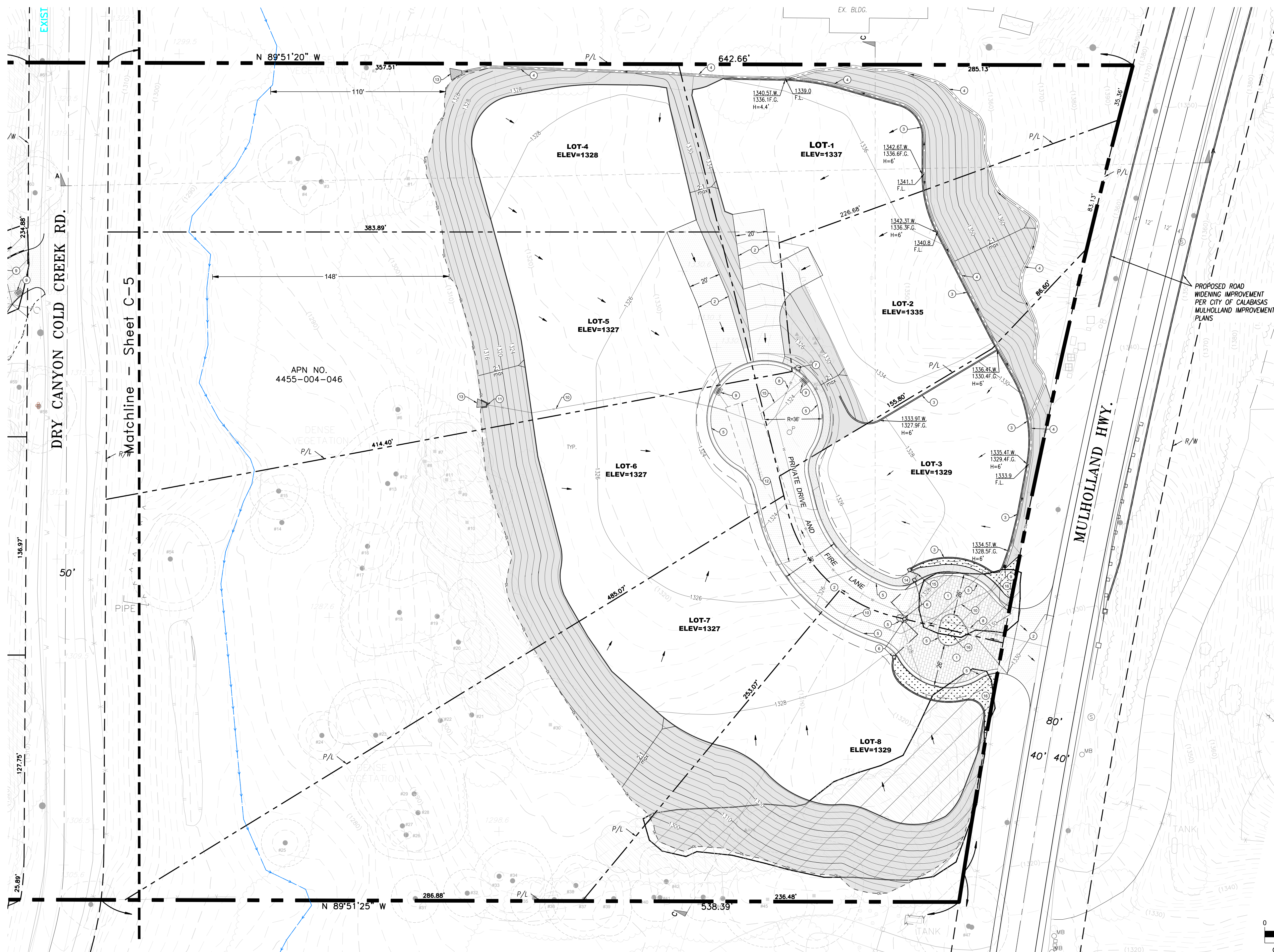
0 40 80 160
GRAPHIC SCALE: 1" = 80'
@ 24x36



FOR CONCEPTUAL APPROVAL ONLY

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02/13/24 1:34pm JOM/AMM

 <p>CITY of CALABASAS PUBLIC WORKS DEPARTMENT 100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338 WWW.CITYOFCALABASAS.COM</p>	<p>PREPARED BY:</p>  <p>civil engineering • land surveying • land planning 23801 Calabasas Road, Suite 1034 Calabasas, CA 91302 Phone: (818) 591-1050 www.diamondwest.net</p>	<p>PREPARED FOR:</p> <p>LMKK, LLC 5093 PARKWAY CALABASAS CALABASAS, CA 91302</p>	<p>SHEET TITLE:</p> <p>SITE CONSTRAINTS EXHIBIT</p>	<p>PROJECT ADDRESS:</p> <p>24415 MULHOLLAND HWY CALABASAS, CA 91302 APN: 4455-004-046</p>	<p>DESIGNED BY: JEC CHECKED BY: DW DRAWN BY: JEC SCALE: 1" = 80' SHEET NO. C-3 DATE: 2-13-2024</p>
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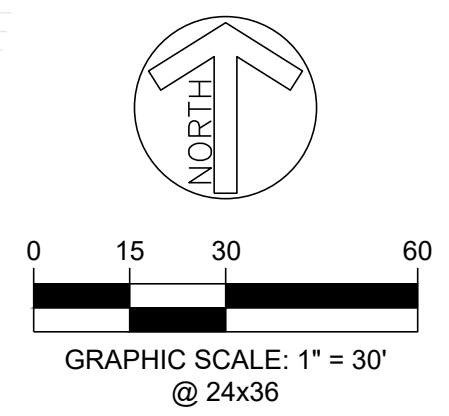
LEGEND:

- 98.00 SPOT ELEVATION
- F.S. DESCRIPTION OF ELEVATION
- (98.00) EXISTING SPOT ELEVATION
- F.G. DESCRIPTION OF ELEVATION
- 1.0% PROPOSED GRADIENT AND DIRECTION OF FLOW
- (1.0%) EXISTING GRADIENT AND DIRECTION OF FLOW
- 1 SITE PLAN NOTE
- 1350 PROPOSED CONTOUR
- (1350) EXISTING CONTOUR
- 1300.0 EXISTING SPOT ELEVATION
- Existing Right-of-Way
- Property Line
- Existing Parcels
- Existing Easements
- Existing Street Centerlines
- Existing Retaining Wall
- Proposed Retaining Wall
- Proposed Fence
- Proposed Curb
- Grade Break
- GB
- SD
- SD
- W
- Water (Existing)
- Water (Proposed)
- PROPOSED DRAIN
- CANOPY
- TREE NUMBER
- EXISTING OAK TREE
- PROTECTION ZONE
- TREE NUMBER
- DEMO OAK TREE
- PROTECTION ZONE
- CANOPY
- TREE NUMBER
- ENCROACH OAK TREE
- PROTECTION ZONE
- EXISTING SCRUB OAK HABITAT
- SCRUB OAK REMOVAL
- A.C. PAVEMENT
- CONCRETE
- PAVERS
- LANDSCAPING

- SITE PLAN NOTES:**
- PROPOSED DECORATIVE PAVERS.
 - PROPOSED ASPHALT PAVEMENT.
 - PROPOSED RETAINING WALL.
 - PROPOSED CONC. SWALE.
 - PROPOSED ROLL CURB.
 - PROPOSED GATE, PER LANDSCAPE PLAN.
 - PROPOSED FIRE HYDRANT.
 - PROPOSED WATER LINE.
 - PROPOSED STORM DRAIN INLET.
 - PROPOSED STORM DRAIN LINE.
 - PROPOSED HEADWALL.
 - PROPOSED UNDERGROUND STORM WATER DETENTION/LID FACILITY.
 - PROPOSED RIP-RAP.
 - PROPOSED SIDEWALK.
 - PROPOSED MAN GATE.
 - PROPOSED LANDSCAPING, PER LANDSCAPE PLAN.

ABBREVIATIONS:

- abnd - abandoned
- a.p.n. - assessor plan number
- C/L - center line
- c.o. - clean out
- conc. - concrete
- cor - corner
- dia - diameter
- d/w - driveway
- esmt - easement
- Ex./ex./E - existing
- fd - found
- FF - finish floor
- fg - finish ground
- f.g. - underground
- f.h. - fire hydrant
- f.l. - flow line
- f.s. - finish surface
- ft. - feet
- H - height
- hp - high point
- inv - invert
- N.T.S. - not to scale
- (P) - proposed
- p.a. - planter area
- pp - power pole
- prop. - proposed
- t.c. - top of curb
- tg - top of grate
- t.p. - telephone pole
- tmh - telephone man hole
- t.w. - top of wall
- (typ) - typical
- U.G. - underground
- unkn - unknown
- vcp - vitrified clay pipe
- vit - vault
- wm - water meter
- wtr - water
- ww - water valve



Oak Trees Scheduled For Removal	
Count	Oak Tree #
1	48
2	49
3	50
4	51
5	52
6	53

CITY of CALABASAS
PUBLIC WORKS DEPARTMENT
100 Civic Center Way
CALABASAS, CA 91302
818.224.1600
FAX 818.225.7338
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PREPARED BY:
DW DIAMOND WEST
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PREPARED FOR:
LMMK, LLC
5093 PARKWAY CALABASAS
CALABASAS, CA 91302

SHEET TITLE:
CONCEPTUAL GRADING AND DRAINAGE PLAN (1)

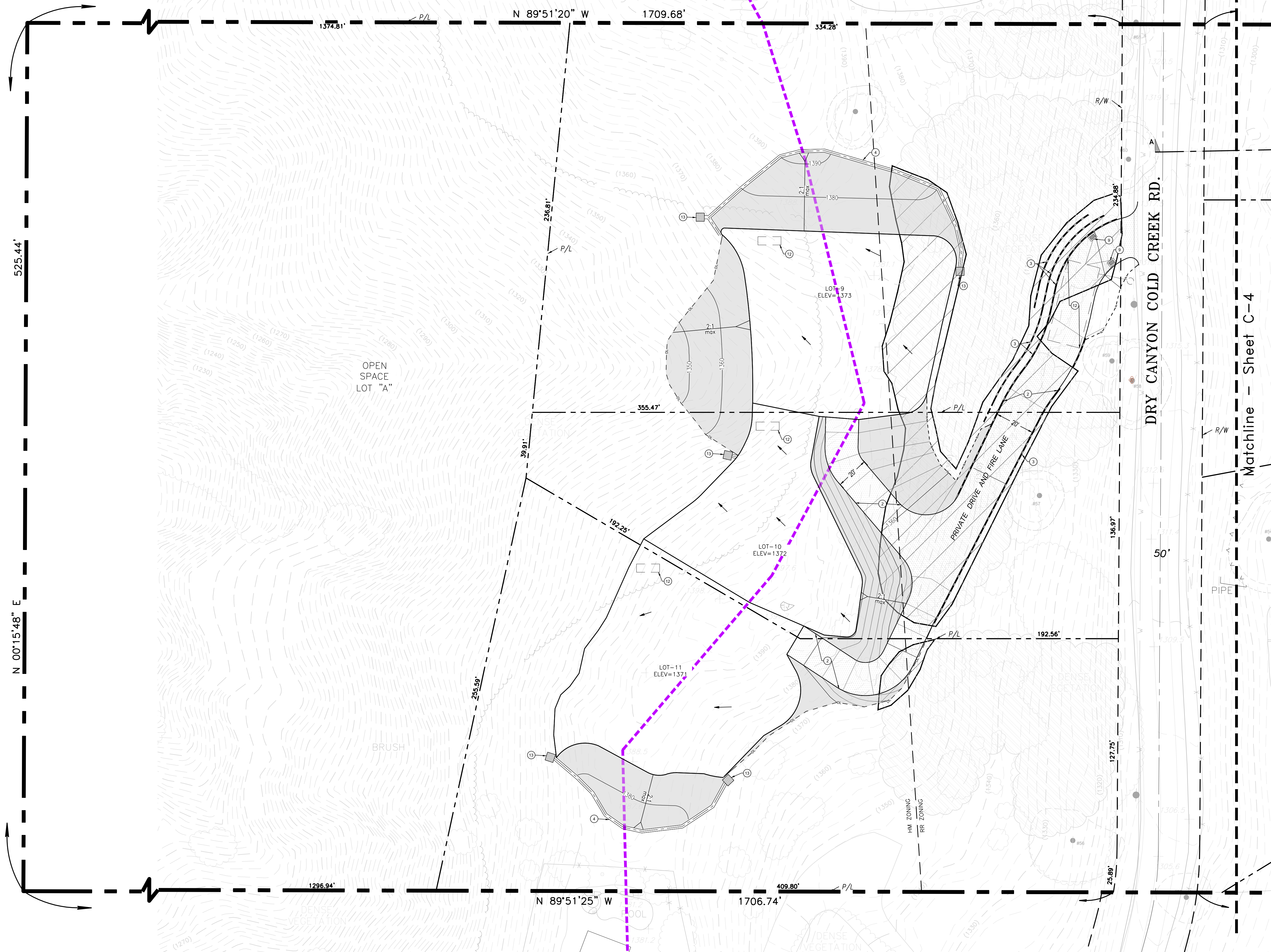
PROJECT ADDRESS:
24415 MULHOLLAND HWY
CALABASAS CA, 91302
(APN) 4455-004-046

DESIGNED BY: SB
CHECKED BY: DW
DRAWN BY: SV
SCALE: 1" = 30'
SHEET NO. C-4
DATE: 2-13-2023

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SECTION

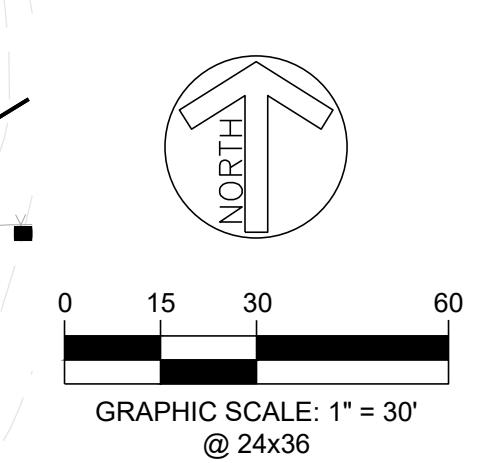


LEGEND:

98.00 F.S.	SPOT ELEVATION DESCRIPTION OF ELEVATION		PROPOSED DRAIN
(98.00) F.G.	EXISTING SPOT ELEVATION DESCRIPTION OF ELEVATION		CANOPY
1.0%	PROPOSED GRADIENT AND DIRECTION OF FLOW		TREE NUMBER
(1.0%)	EXISTING GRADIENT AND DIRECTION OF FLOW		EXISTING OAK TREE
①	SITE PLAN NOTE		PROTECTION ZONE
1150	PROPOSED CONTOUR		CANOPY
(1150)	EXISTING CONTOUR		TREE NUMBER
986.4 X	EXISTING SPOT ELEVATION		DEMO OAK TREE
	A.C. PAVEMENT		PROTECTION ZONE
	CONCRETE		CANOPY
	LANDSCAPING		TREE NUMBER
	Existing Right-of-Way		ENCROACH OAK TREE
	Property Line		PROTECTION ZONE
	Existing Parcels		EXISTING SCRUB OAK HABITAT
	Existing Easements		SCRUB OAK REMOVAL
	Existing Street Centerlines		
	Existing Retaining Wall		
	Proposed Retaining Wall		
	Proposed Fence		
	Proposed Curb		
	Grade Break		
	Storm Drain (Existing)		
	Storm Drain (Proposed)		
	Water (Existing)		
	Water (Proposed)		

- SITE PLAN NOTES:**
- ② PROPOSED ASPHALT PAVEMENT.
 - ③ PROPOSED RETAINING WALL.
 - ④ PROPOSED CONC. SWALE.
 - ⑤ PROPOSED WATER LINE.
 - ⑬ PROPOSED UNDERGROUND STORM WATER DETENTION/LID FACILITY.
 - ⑭ PROPOSED RIP-RAP.

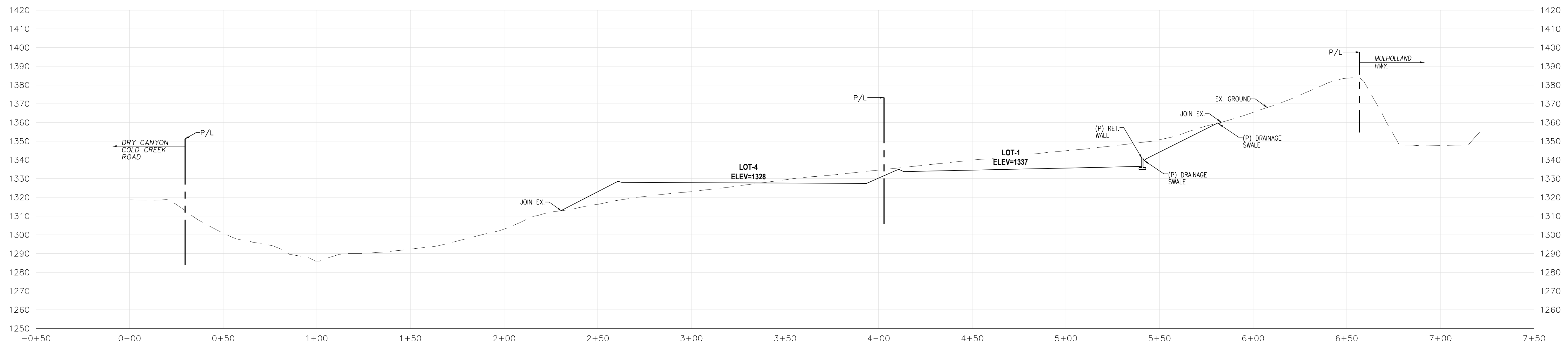
- ABBREVIATIONS:**
- | | |
|-------------------------------|---------------------------|
| abnd - abandoned | hp - high point |
| a.p.n. - assessor plan number | inv - invert |
| C/L - center line | N.T.S. - not to scale |
| c.o. - clean out | (P) - proposed |
| conc. - concrete | p.a. - planter area |
| cor - corner | pp - power pole |
| dia - diameter | prop. - proposed |
| d/w - driveway | t.c. - top of curb |
| esmt - easement | tg - top of grate |
| Ex./ex./E - existing | t.p. - telephone pole |
| fd - found | tmh - telephone man hole |
| FF - finish floor | t.w. - top of wall |
| fg - finish ground | (typ) - typical |
| f.h. - fire hydrant | U.G. - underground |
| f.l. - flow line | unkn - unknown |
| f.s. - finish surface | vcp - vitrified clay pipe |
| ft. - feet | vit - vault |
| H - height | wm - water meter |
| | wr - water |
| | wv - water valve |



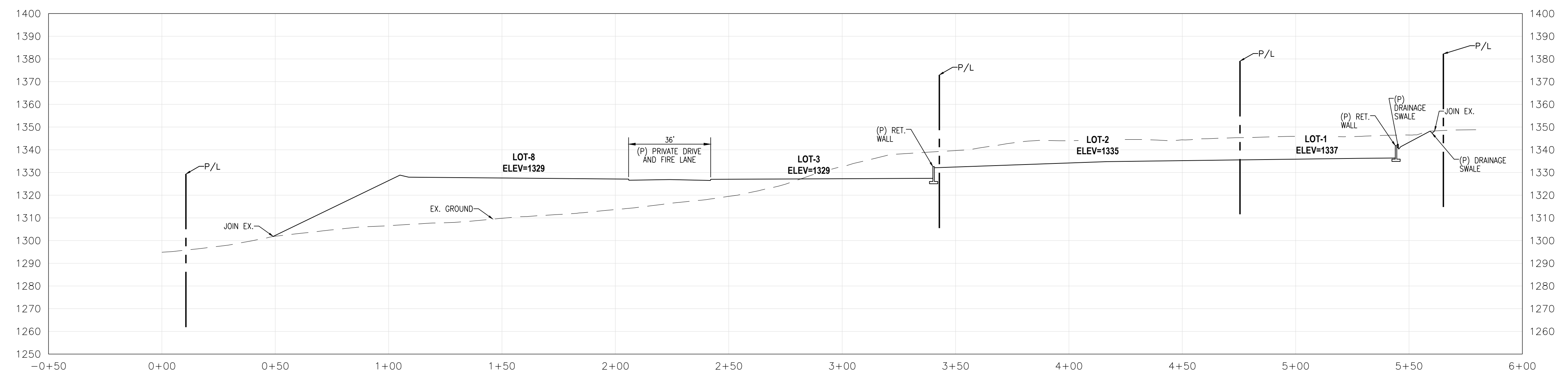
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P:\21_1914_LMMK_City of Calabasas Cold Creek\210305-Endowment Planning\210305-04-Conceptual Grading Plan.dwg

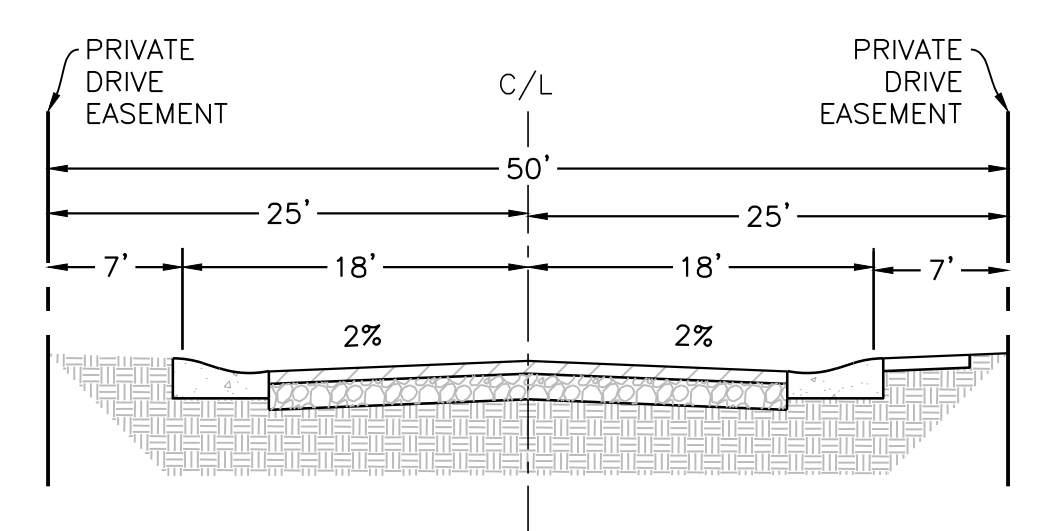
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	<p>24415 MULHOLLAND HWY CALABASAS CA, 91302 (APN) 4455-004-046</p>				



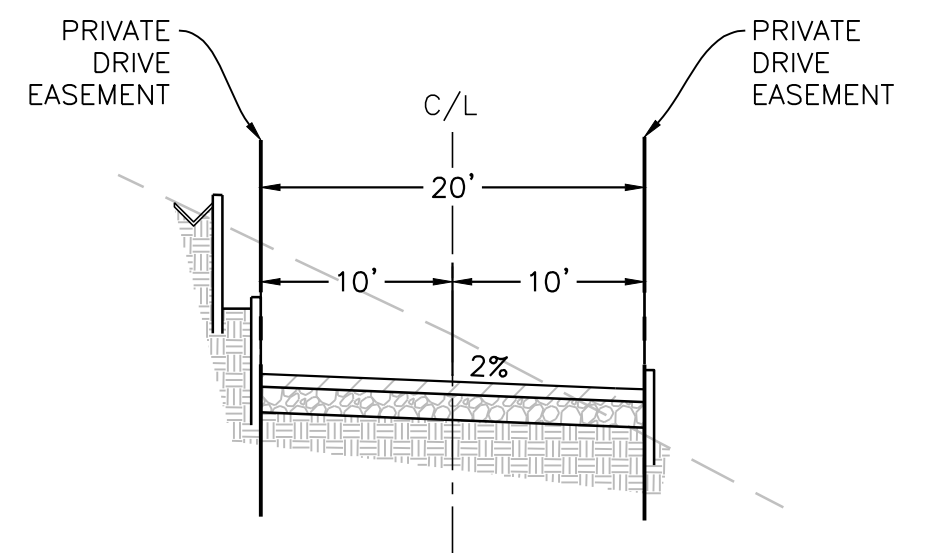
SECTION A-A
SCALE: 1" = 30'



SECTION B-B
SCALE: 1" = 30'



1 PROPOSED PRIVATE DRIVE AND FIRE LANE - WITH PARKING ON BOTH SIDES (50' WIDE) N.T.S.



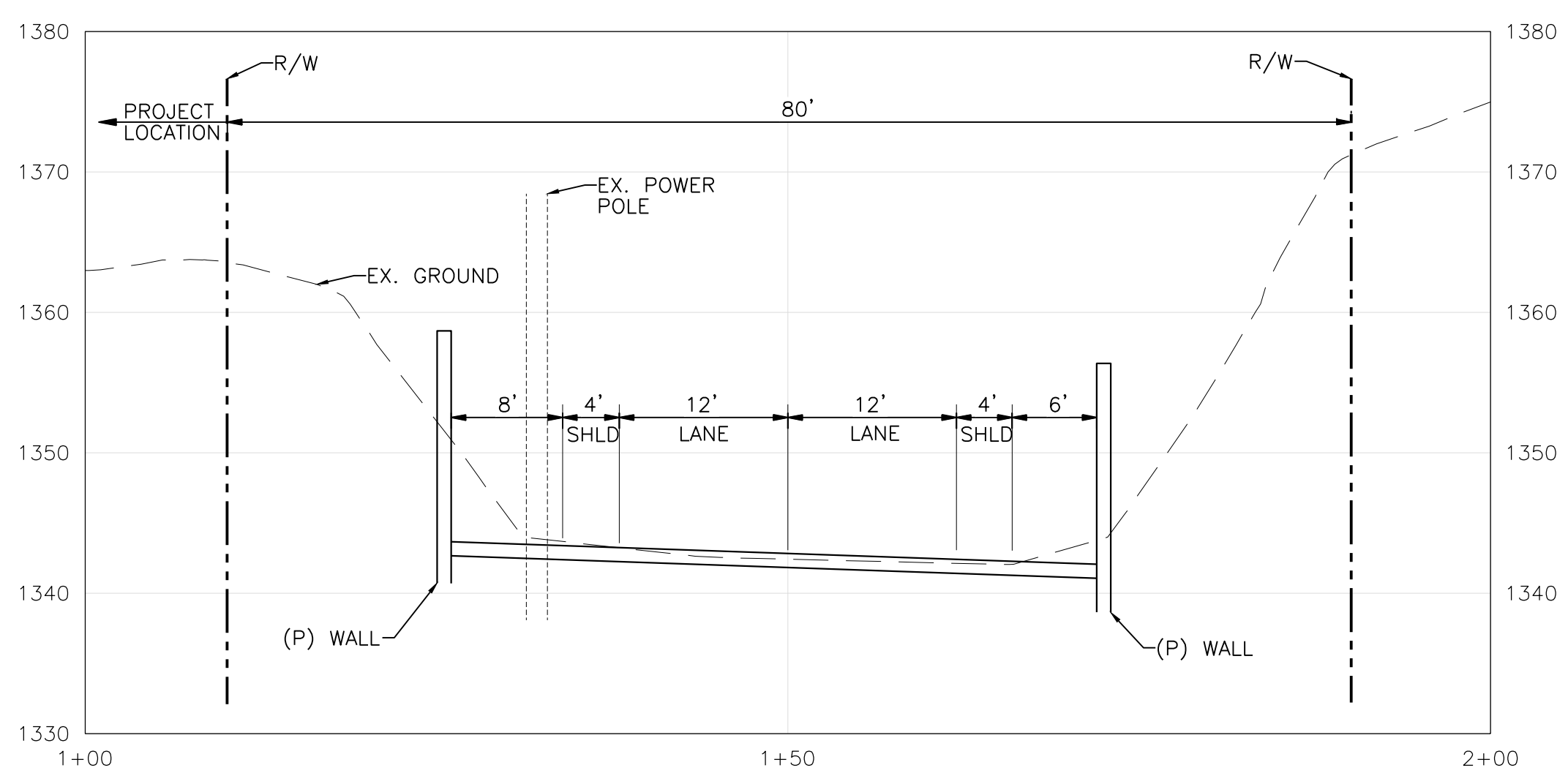
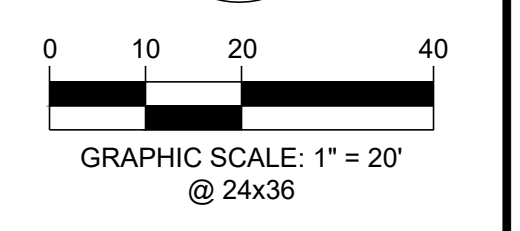
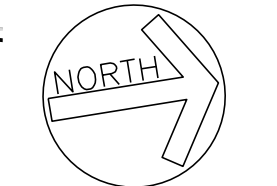
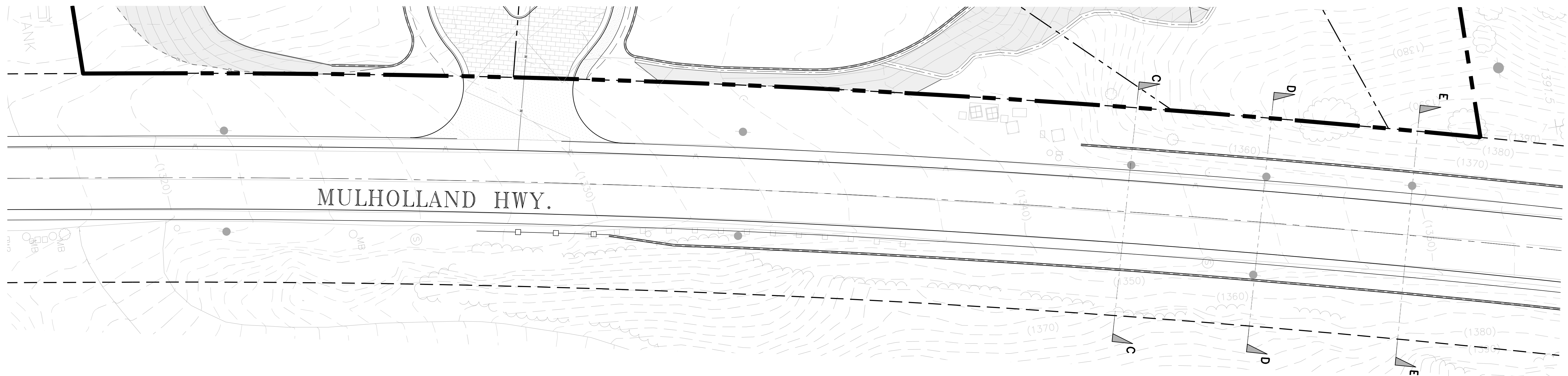
2 PRIVATE DRIVE AND FIRE LANE WITH NO PARKING (20') N.T.S.



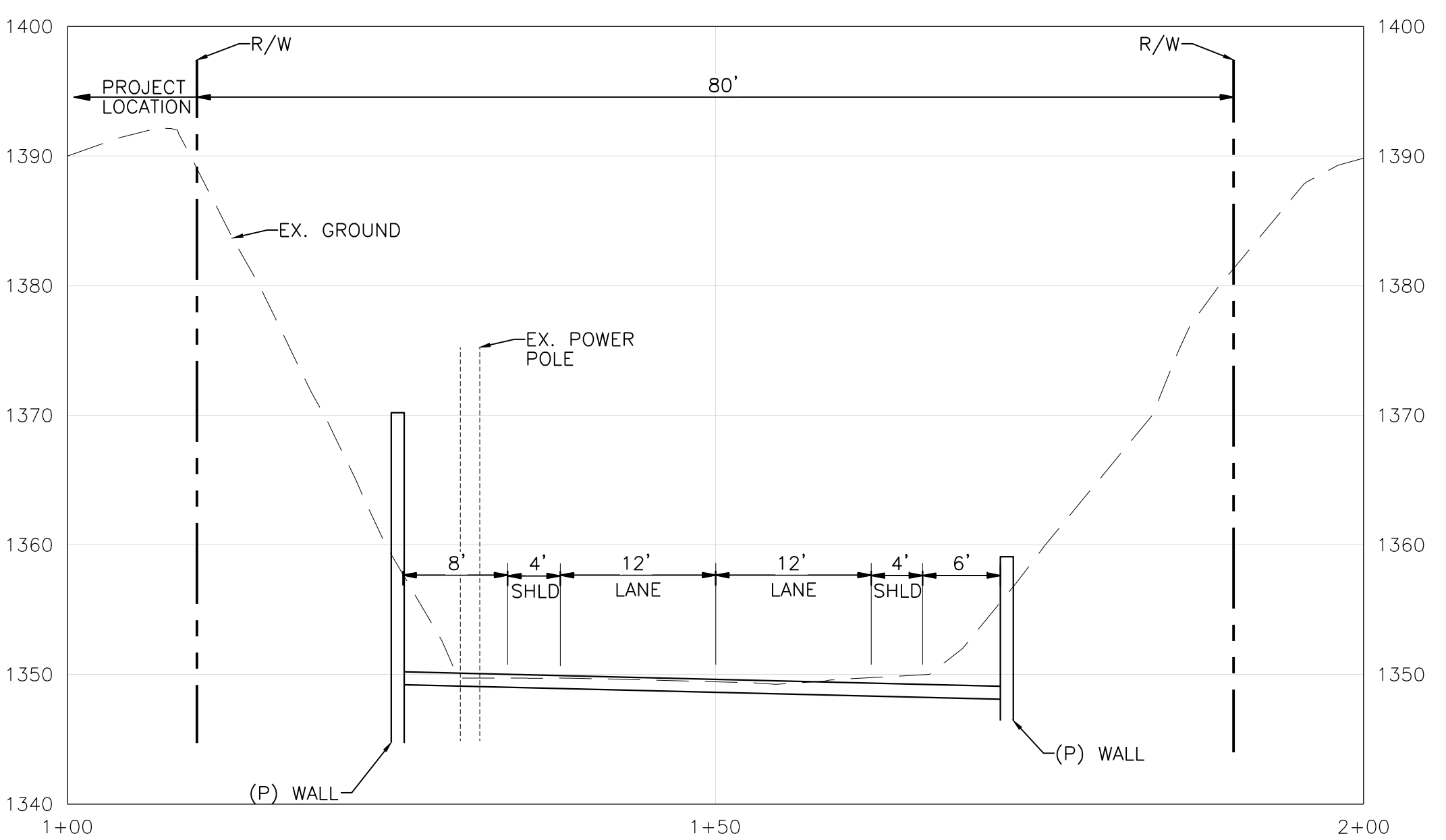
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	<p>DATE: 2-13-2023</p>				

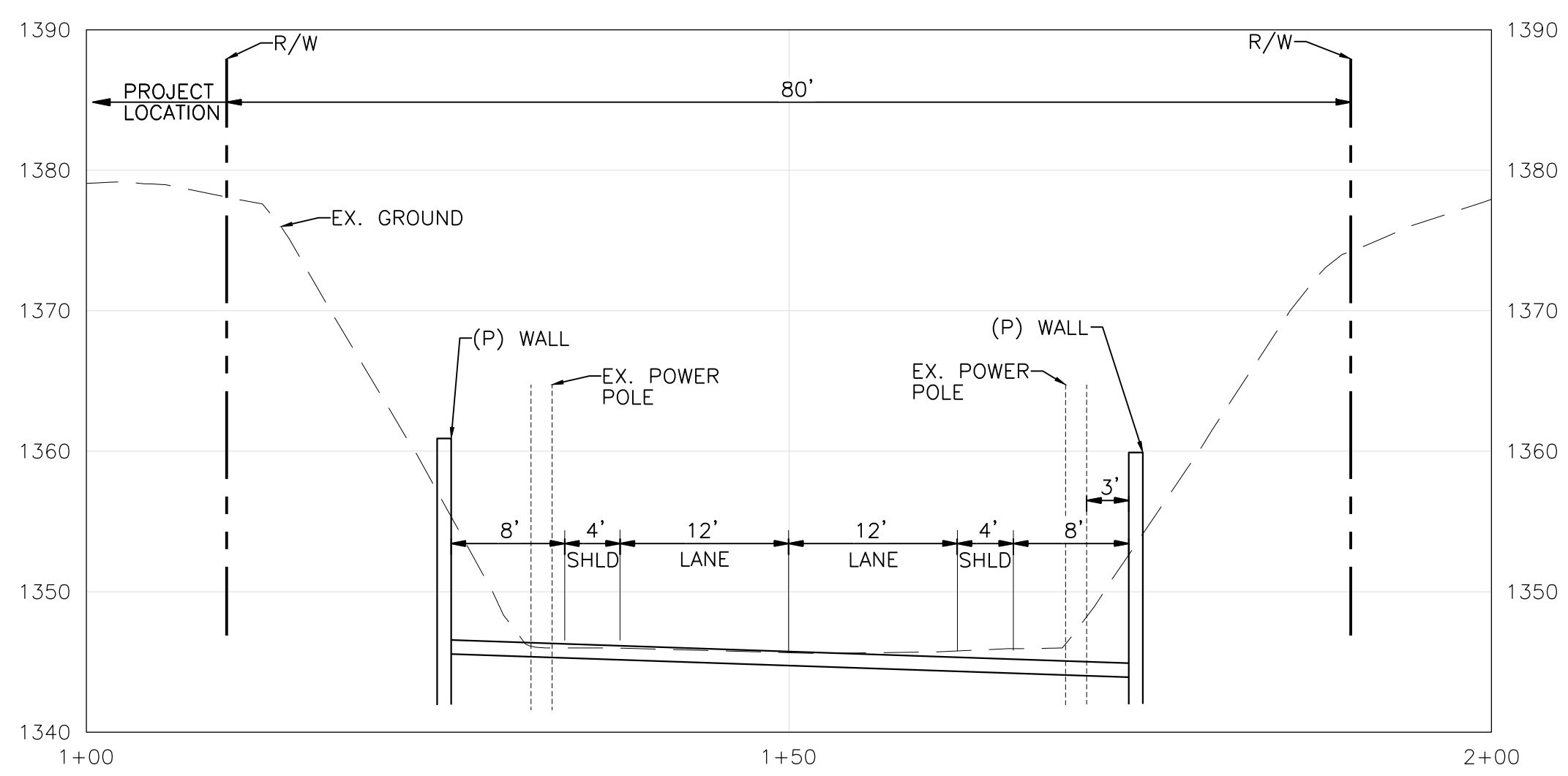
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SECTION C-C
SCALE: 1" = 10'



SECTION E-E
SCALE: 1" = 10'



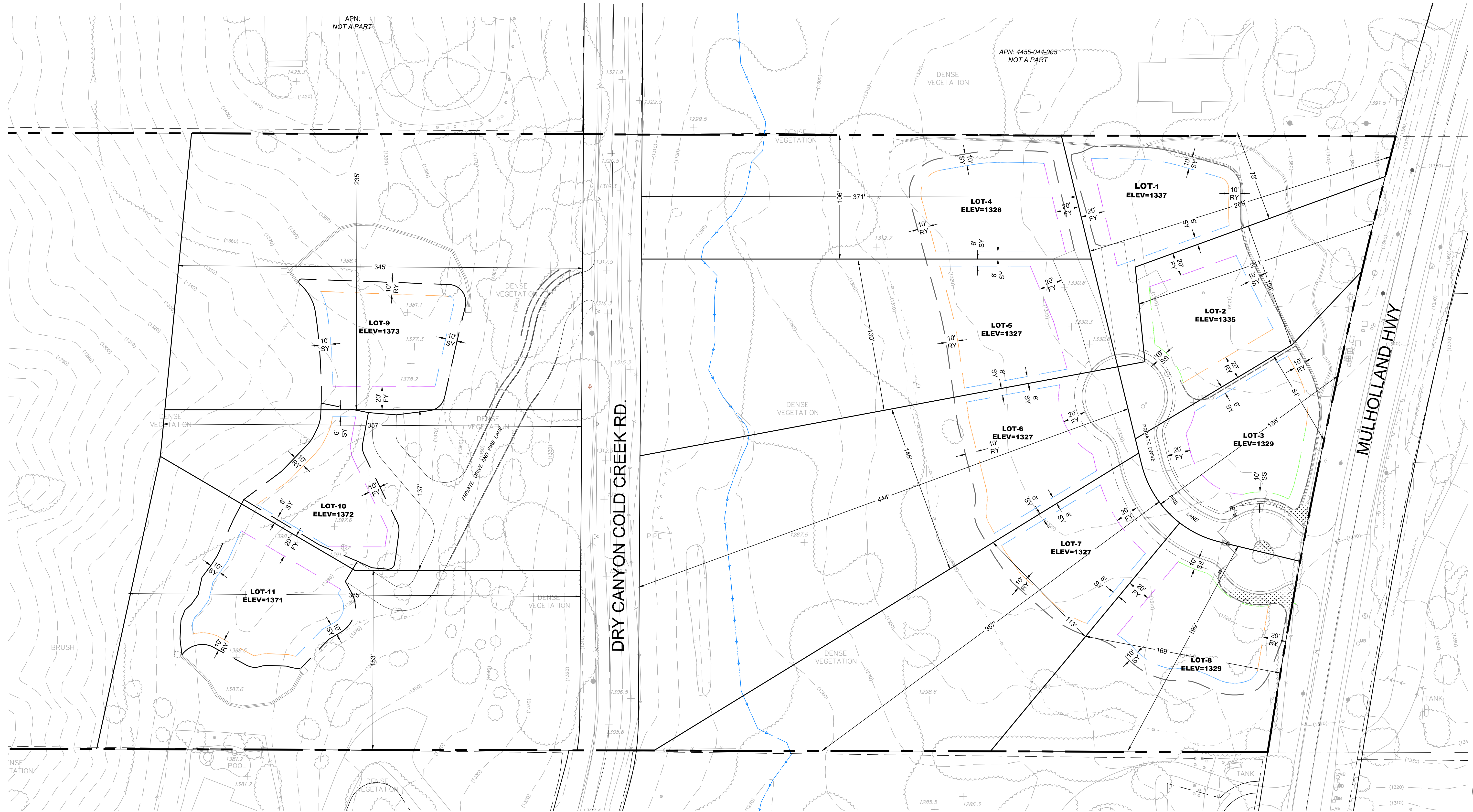
SECTION D-D
SCALE: 1" = 10'

FOR CONCEPTUAL APPROVAL ONLY



P:\21_1914_LMMK_Cal_City_Center_Cold_Canal\2103\02\03\02\Conceptual_Street_Improvement_Plan.dwg
02/13/23 12:24pm - QWAW/AMW

<p>CITY of CALABASAS PUBLIC WORKS DEPARTMENT 100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338 WWW.CITYOFCALABASAS.COM</p>	<p>PREPARED BY:</p> <p>civil engineering • land surveying • land planning 23801 Calabasas Road, Suite 1034 Calabasas, CA 91302 Phone: (818) 591-1050 www.diamondwest.net</p>	<p>PREPARED FOR:</p> <p>LMMK, LLC 5093 PARKWAY CALABASAS CALABASAS, CA 91302</p>	<p>SHEET TITLE:</p> <p>CONCEPTUAL STREET IMPROVEMENT PLAN</p>	<p>PROJECT ADDRESS:</p> <p>24415 MULHOLLAND HWY CALABASAS CA, 91302 (APN) 4455-004-046</p>	<p>DESIGNED BY: SB CHECKED BY: DW DRAWN BY: SB</p> <p>SCALE: AS NOTED</p> <p>SHEET NO: C-7</p> <p>DATE: 2-13-2023</p>
	<p>FOR CONCEPTUAL APPROVAL ONLY</p>				

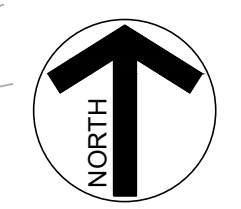


TENTATIVE MAP LOT SUMMARY			
LOT	AREA (SF)	AREA (AC)	PURPOSE
1	23,740	0.54	SINGLE-FAMILY RESIDENCE
2	23,940	0.55	SINGLE-FAMILY RESIDENCE
3	23,857	0.55	SINGLE-FAMILY RESIDENCE
4	39,200	0.90	SINGLE-FAMILY RESIDENCE
5	51,790	1.19	SINGLE-FAMILY RESIDENCE
6	70,843	1.63	SINGLE-FAMILY RESIDENCE
7	44,440	1.02	SINGLE-FAMILY RESIDENCE
8	31,500	0.72	SINGLE-FAMILY RESIDENCE
9	81,148	1.86	SINGLE-FAMILY RESIDENCE
10	41,009	0.94	SINGLE-FAMILY RESIDENCE
11	69,950	1.61	SINGLE-FAMILY RESIDENCE
A	706,236	16.21	OPEN SPACE

- LEGEND:**
- PROJECT BOUNDARY
 - PROPOSED LOT LINES
 - PROPOSED EASEMENT
 - PROPOSED STREET CENTERLINE
 - EXIST. STREET CENTERLINE
 - FRONT YARD SETBACK
 - SIDE YARD SETBACK
 - STREET SIDE YARD SETBACK
 - REAR YARD SETBACK

- ABBREVIATIONS:**
- FY FRONT YARD
 - RY REAR YARD
 - SY SIDE YARD
 - SS STREET SIDE YARD

DEVELOPMENT PLAN
SCALE: 1" = 40'



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Calabasas, CA 91302
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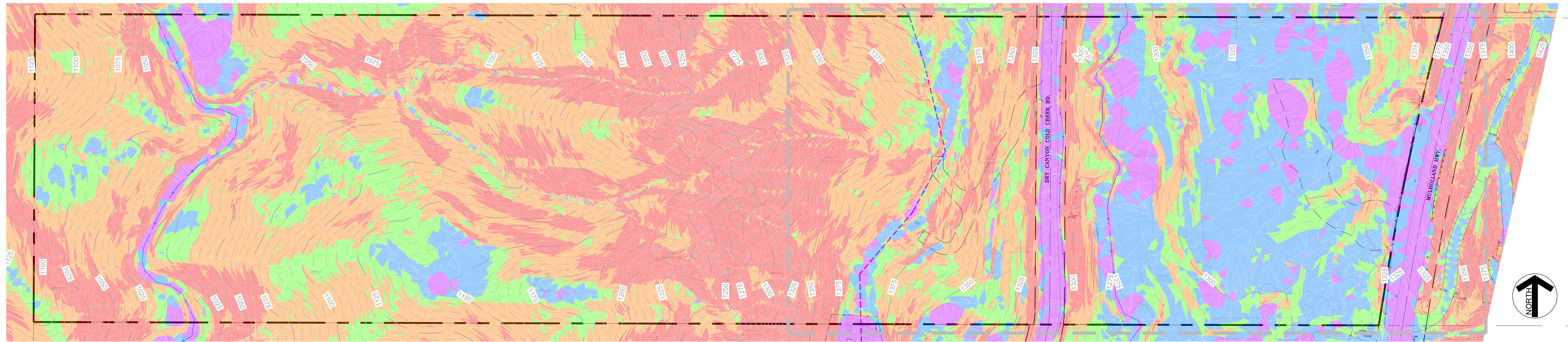
PREPARED FOR:
LMKK, LLC
5093 PARKWAY CALABASAS
CALABASAS, CA 91302

SHEET TITLE:
DEVELOPMENT PLAN EXHIBIT

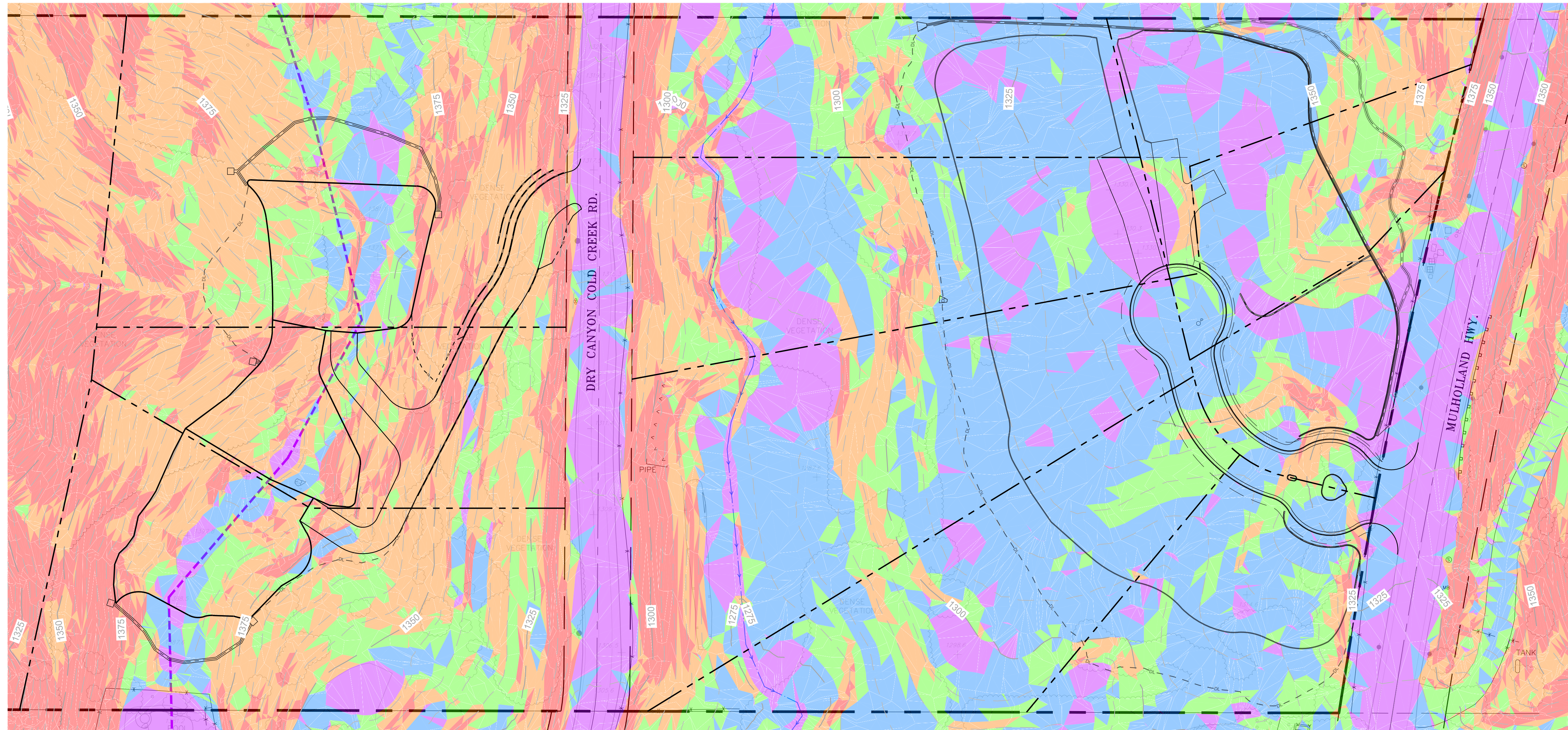
PROJECT ADDRESS:
24415 MULHOLLAND HWY
CALABASAS, CA 91302
APN: 4455-004-046

DESIGNED BY: JEC
CHECKED BY: DW
DRAWN BY: JEC
SCALE: 1" = 40'
SHEET NO: C-8
DATE: 2-13-2023

P:\21-1014 - LMKK of Dry Canyon Cold Creek\001-Exhibit\001-Development Plan\Exhibit LMKK Development Plan Exhibit.dwg
02/13/2023 4:48pm - JCM/MTM



SLOPE MAP - ENTIRE PROPERTY
SCALE: 1" = 80'



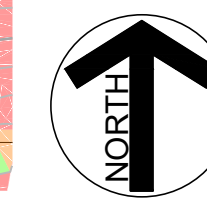
SLOPE MAP - DEVELOPMENT AREA
SCALE: 1" = 50'

LEGEND:

- SUBJECT PARCEL BOUNDARY
- EXISTING EASEMENTS
- EXISTING CENTERLINES



SLOPE MAP LEGEND

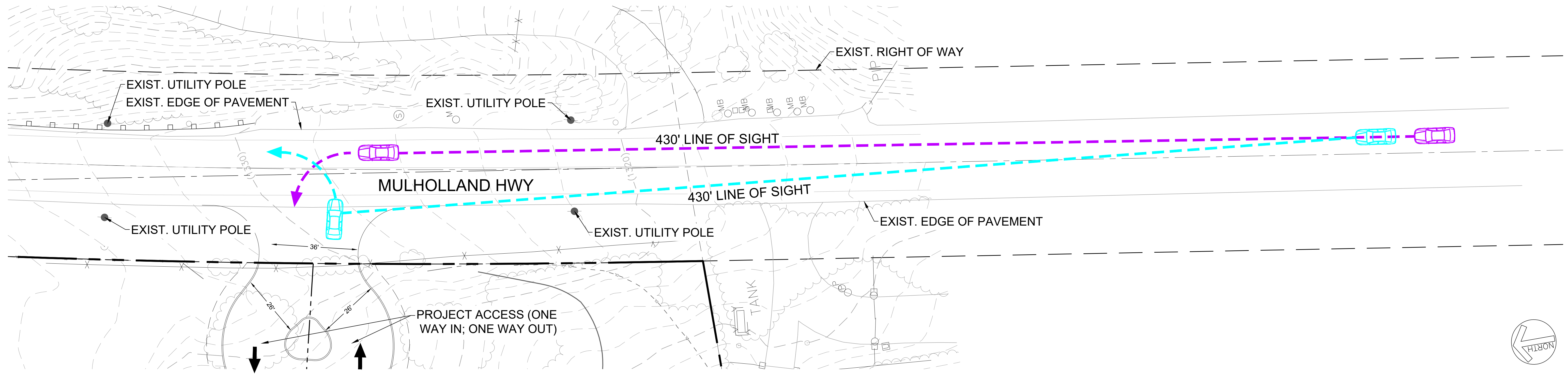
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR
1	0.00%	10.00%	
2	10.00%	20.00%	
3	20.00%	30.00%	
4	30.00%	50.00%	
5	50.00%		



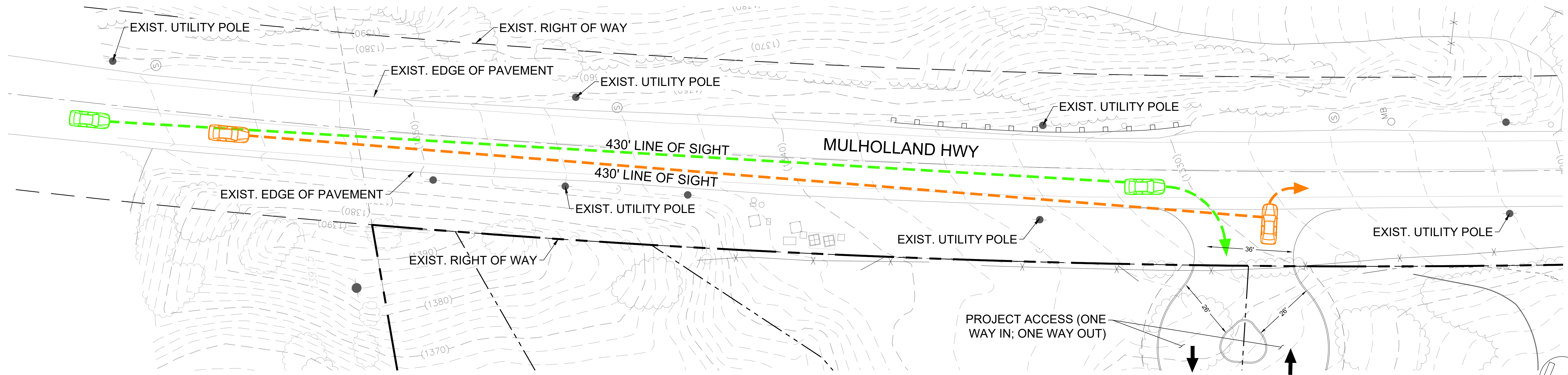
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P:\31-104-LMCK-Cold Canyon Cold Creek\05-Contours\2023\01-31-Slope Exhibit\1-314-Slope Exhibit.dwg

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		<p>PROJECT ADDRESS:</p> <p>24415 MULHOLLAND HWY CALABASAS, CA 91302 APN: 4455-004-046</p>	<p>DESIGNED BY: JEC CHECKED BY: DW DRAWN BY: JEC SCALE: 1" = 80' SHEET NO. C-9 DATE: 2-13-2023</p>



LEFT TURN



RIGHT TURN

- LEGEND:**
- PROJECT BOUNDARY
 - EX. CENTERLINE
 - LEFT TURN IN (NO LEFT TURN POCKET)
 - LEFT TURN OUT
 - RIGHT TURN IN (NO TURN LANE)
 - RIGHT TURN OUT
 - 20' CAR
 - DIRECTION OF TRAFFIC

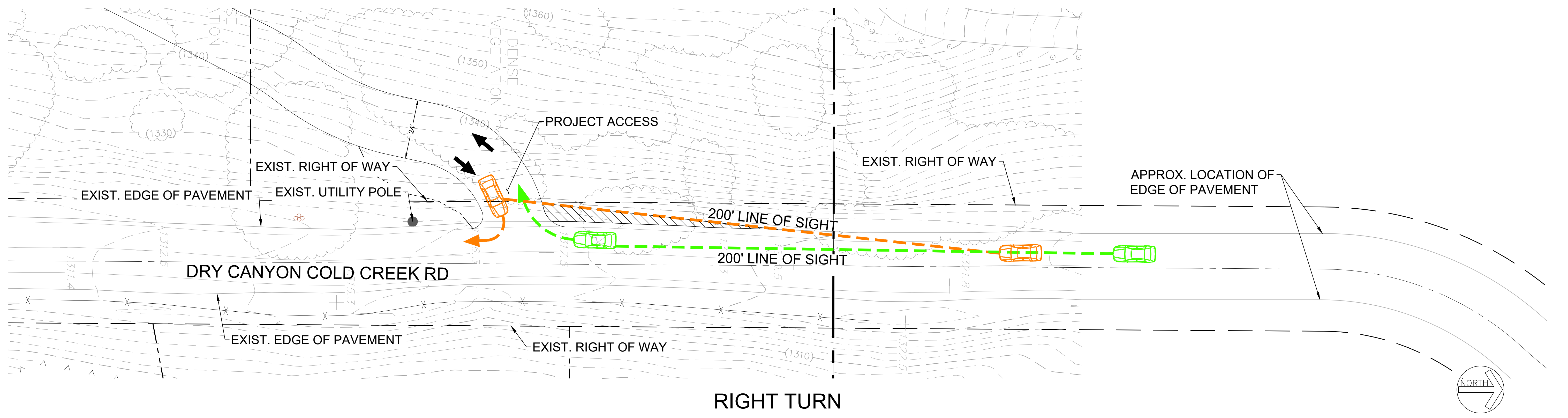
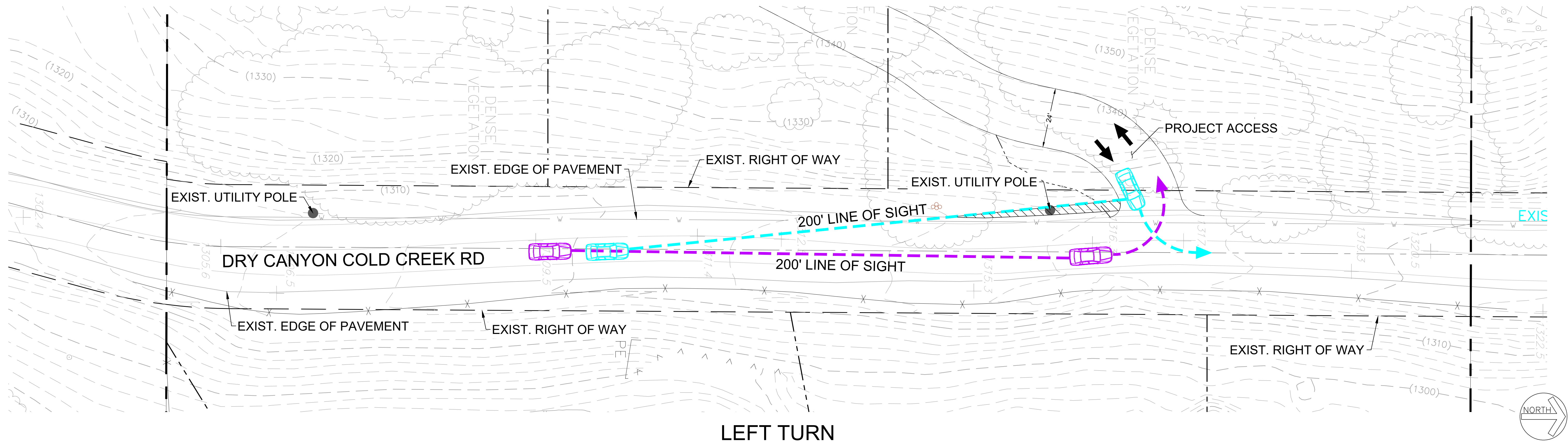
STOPPING SIGHT DISTANCE STANDARDS		
AGENCY	DESIGN SPEED (MPH)	STOPPING SIGHT DISTANCE (FT)
LACDPW ACCESS MANAGEMENT MANUAL	50	430



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					<p>CHECKED BY: DW</p>
<p>SCALE: 1" = 20'</p>					
<p>SHEET NO: C-10</p>					
<p>DATE: 2-13-2023</p>					

P:\21-1014 - LMKK at Dry Canyon Cold Creek\002-Exhibits\2023-01-30 - Right Distance Exhibit\1014 - Right Distance Exhibit.dwg



- LEGEND:**
- PROJECT BOUNDARY
 - EX. CENTERLINE
 - LEFT TURN IN (NO LEFT TURN POCKET)
 - LEFT TURN OUT
 - RIGHT TURN IN (NO TURN LANE)
 - RIGHT TURN OUT
 - 20' CAR
 - DIRECTION OF TRAFFIC
 - SIGHT DISTANCE AREA
NO SLOPE, SHRUBS/PLANTS OR OTHER OBJECTS THAT BLOCK THE DRIVER'S VISION SHALL BE OVER 30 IN. ABOVE THE HEIGHT OF THE STREET IN THE SIGHT DISTANCE AREA, EXCEPT TREE TRUNKS AND UTILITY POLES

STOPPING SIGHT DISTANCE STANDARDS		
AGENCY	DESIGN SPEED (MPH)	STOPPING SIGHT DISTANCE (FT)
LACDPW ACCESS MANAGEMENT MANUAL	30	200



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P:\21-1014 - LMKK of Dry Canyon Cold Creek\02-Exhibits\2023-01-30 - Right Distance Exhibit\1014 - Right Distance Exhibit.dwg
02/13/23 12:38pm DMWHAN