

LIVEIRA DESIGN

0 WILSHIRE BLVD, STE P04-13

3 ANGELES, CA 90010

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ARCEL NO.2069100058 CALABASAS, CA 91302

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GENERAL NOTES

- 1. ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", AND CITY OF LOS ANGELES LOCAL ORDINANCES AS APPLICABLE.
- ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL ENGINEERING INVESTIGATION BY BLOCKROCK
- 3. EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM A SURVEY DATED JUNE 8, 2022 BY M&G CIVIL
- ENGINEERING & LAND SURVEYING 4. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANT DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST
- BE APPROVED BY ARAM ARK CONCEPTS. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINE SHOWN AND ANY OTHER LINES NOT OF
- 10. IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE
- 11. THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- 12. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- 13. ALL DEBRIS AND FOREIGN MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- 14. ALL FILL SOILS OR SOILS DISTURBED OR OVER-EXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- 15. THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER. 16. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 17. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM THE TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- 18. THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED, ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
- 19. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR. CONSTRUCTION STAKING SURVEYOR SHALL BE RESPONSIBLE FOR COORDINATION OF THESE PLANS WITH SOURCE DRAWINGS PREPARED BY ARCHITECT, LANDSCAPE ARCHITECT, STRUCTURAL ENGINEER, MEP CONSULTANT AND ANY OTHER DISCIPLES PRIOR TO START OF STAKING AND CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. 20. THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO
- MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING. 21. CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
- 22. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- 23. ALL CURB DIMENSIONS AND RADII ARE TO PAVEMENTS FACE OF CURB.
- 24. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM. 25. WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING CONSTRUCTION OPERATION. 26. CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF LOS ANGELES FOR ALL WORK
- WITHIN THE PUBLIC RIGHT-OF-WAY. 27. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- 28. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT WAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.

GRADING NOTES

- A. ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED. (7012.1) B. STANDARD 12 INCH HIGH BERM IN REQUIRED AT TOP OF ALL GRADED SLOPES. (7013.3)
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY DEEPER WITHIN 40 FEET BELOW FINISH GRADE AND 93% OF MAX. DRY DENSITY DEEPER THAN 40 FT BELOW FINISHED GRADE. UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.
- E. TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF
- PROPOSED PROCEDURES [>200CY] (7007.1) NO GRADING PERMIT CAN BE ISSUED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS WHEN SITE IS LOCATED WITHIN AREA DESIGNATED AS GRADING ORDINANCE HILLSIDE.
- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.

EROSION CONTROL NOTES

DIVERT WATER FROM DISTURBED AREAS.

- PREVENTION OF EROSION SHALL INCLUDE BEST MANAGEMENT PRACTICES SHOWN BELOW OF BASIC PRINCIPLES OF EROSION CONTROL ON CONSTRUCTION SITE. (ADAPTED FROM BRADY AND WEIL, 1999):
- DIVIDE THE PROJECT INTO SMALLER PHASES CLEARING SMALLER AREAS OF
- VEGETATION. SCHEDULE EXCAVATION DURING LOW-RAINFALL PERIODS, WHEN POSSIBLE.
- FIT DEVELOPMENT TO THE TERRAIN. 1.4. EXCAVATE IMMEDIATELY BEFORE CONSTRUCTION INSTEAD OF LEAVING SOILS EXPOSED FOR MONTHS OR YEARS.
- COVER DISTURBED SOILS AS SOON AS POSSIBLE WITH VEGETATION OR OTHER MATERIALS (MULCH) TO REDUCE EROSION POTENTIAL.
- CONTROL CONCENTRATED FLOW AND RUNOFF TO REDUCE THE VOLUME AND VELOCITY OF WATER FROM WORK SITES TO PREVENT FORMATION OF RILLS AND
- 1.8. MINIMIZE LENGTH AND STEEPNESS OF SLOPES (E.G. USE BENCH TERRACES). PREVENT SEDIMENT MOVEMENT OFF-SITE.
- 1.10. INSPECT AND MAINTAIN ANY STRUCTURAL CONTROL MEASURES. 1.11. WHERE WIND EROSION IS A CONCERN, PLAN AND INSTALL WINDBREAKS.
- 1.12. AVOID SOIL COMPACTION BY RESTRICTING THE USE OF TRUCKS AND HEAVY
- EQUIPMENT TO LIMITED AREAS.
- 1.13. SOILS COMPACTED BY GRADING NEED TO BE BROKEN UP OR TILLED PRIOR TO VEGETATING OR PLACING SOD.
- 2. IT IS INEVITABLE THAT SOIL WILL BE EXPOSED DURING CONSTRUCTION. HOWEVER, IT IS ESSENTIAL THAT THE EXPOSED LAND IS MINIMIZED, AND COVER IS ESTABLISHED AS QUICKLY AS POSSIBLE. CONSERVATION PRACTICES THAT PROVIDE IMMEDIATE PERMANENT COVER (SOD) OR PROVIDE INTERMITTENT COVER (MULCHES AND PERMANENT SEEDING) DRASTICALLY REDUCE SOIL LOSSES AND RUNOFF. OTHER SUPPORTING PRACTICES SUCH AS DIVERSIONS OR TERRACES CHANGE SLOPE LENGTHS, THUS REDUCING RUNOFF AND EROSION. THESE SUPPORTING PRACTICES PROVIDE TEMPORARY PROTECTION FOR VEGETATION OR SOD UNTIL THEY BECOME ESTABLISHED AND PROVIDE PERMANENT PROTECTION FOR THE SITE.

COMPACTION NOTES

STANDARD NOTES REGARDING FILL COMPACTION AND DENSITY TESTING REQUIREMENTS.

- ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
- a.90 PERCENT OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE. b.93 PERCENT OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER
- RELATIVE COMPACTION (NOT LESS THAN 90 PERCENT OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER.
- J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST, UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.

THE RELATIVE COMPACTION SHALL BE DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557-91 WHERE

APPLICABLE: WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. (SECTION

- 3. SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES: a.ONE TEST FOR EACH TWO-FOOT VERTICAL LIFT.
- b. ONE TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED.
- c. ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
- d.ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR-FOOT VERTICAL OR PORTION THEREOF. 4. SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE
- DESIGN REQUIREMENTS, AS DETERMINED BY THE SOIL ENGINEER INCLUDING SOIL TYPES, SHEAR STRENGTHS PARAMETER
- AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINE: a.PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL OF SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THE THREE (3) HORIZONTAL TO ONE VERTICAL. b. SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE, THE SLOPE MUST BE

REEVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE

c. FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS. 5. FILL SHALL NOT BE PLACE UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAIN (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE SOIL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE QUANTITY AND DISTRIBUTED IN MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND SOILS ENGINEER

APPROVES THE USE OF SUCH MATERIAL 6. ROCK OR SIMILAR MATERIAL GREATER THAN 12 INCHES IN DIAMETER SHALL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOIL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS BUILD" GRADING PLAN.

7. CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OF SLOPE SURFACE STEEPER THAN 2:1. (SECTION J107.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE) 8. CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING SUBDRAIN INSTALLATION. (SECTION J107.2 OF THE COUNTY OF LOS ANGELES BUILDING CODE). 9. ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AN ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN

FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THE ANGLE OF SLOPE, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. (SECTIONJ107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)

CONSTRUCTION NOTES:

ON AN "AS BUILD" GRADING PLAN.

- 1. OSHA PERMIT REQUIRED FOR VERTICAL CUTS OVER 5'
- GEOTECHNICAL INSPECTION REQUIRED FOR GRADING AND VERTICAL CUTS. 3. CONTACT BLOCKROCK FOR GEOTECHNICAL INSPECTIONS (818) 264-9630
- 4. CONTACT ARAM ARK CONCEPTS FOR STRUCTURAL OBSERVATIONS (818) 621-8084
- 5. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL
- AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.

SPECIAL INSPECTION PROGRAM TYPE OF WORK REQUIRED TO HAVE SPECIAL (DEPUTY) INSPECTION NO. INSPECTION APPLICATION OF PNEUMATIC CONCRETE CONTINUOUS (SHOTCRETE OR GUNITE) BASE COMPACTION FOR GRADE SLABS CONTINUOUS AND FOUNDATION POURING CONCRETE W/ CONTINUOUS f'c>2500 PSI

STORM WATER POLLUTION PLAN NOTES (A)

- 1. ERORED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES
- 2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WINDS OR WATER. 3. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR
- LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS, ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER, SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- 4. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT OF WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FORM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS THE INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO PUBLIC RIGHT OF WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY
- AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS INHIBIT EROSION BY WIND AND WATER.

FOUNDATION NOTES:

- 1. REPORTS: SOIL ENGINEERING REPORT FOR PROPOSED SLOPE REPAIR
- BY BLACKROCK GEOTECHNICAL ENGINEERING DATED: JULY 19, 2022
- 2. <u>GEOTECNICAL ENGINEER:</u> CHRISTOPHER R. SHUBECK C.E
- 3. <u>GEOLOGIST:</u> N/A
- 4. <u>SOIL TYPE:</u> BEDROCK
- 5. <u>FOUNDATION TYPE:</u> FRICTION PILES
- 6. GRADING & COMPACTION: SEE GEOTECHNICAL REPORT PAGE 6.

STEEL REINFORCEMENT NOTES

- ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615 GRADE 60.
- 2. REINFORCING BARS SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVER:
- D. CONCRETE SLAB .
- E. REINFORCING REQUIRING WELDING SHALL CONFORM TO ASTM A 706M. 3. PROVIDE SPACER BARS, CHAIRS, SPREADERS, ETC. AS REQUIRED TO HOLD THE STEEL SECURELY IN POSITION
- 4. REINFORCEMENT MARKED CONTINUOUS MAY BE SPLICED BY LAPPING 40 TIMES BAR DIAMETER (FOR #6 AND UNLESS NOTED OTHERWISE ON PLANS. SMALLER BARS) AND 50 TIMES BAR DIAMETER (FOR #7 TO
- #18 STAGGER SPLICES IN ADJACENT BARS 4'-0" MINIMUM. 5. DOWELS SHALL MATCH TIE BEAM, GRADE BEAM, WALL, AND SLAB REINFORCING IN SIZE AND NUMBER REQUIRED, UNLESS NOTED OTHERWISE.
- 6. SPECIAL DUCTILITY REQUIREMENTS: FOR STRUCTURAL ELEMENTS SUBJECTED TO YIELDING UNDER THE SEISMIC LOAD IN ADDITION TO ALL REQUIREMENTS OF APPLICABLE ASTM STANDARDS. REINFORCING STEEL FOR STRUCTURAL USE SHALL HAVE ACTUAL TENSILE YIELD STRENGTH NO MORE THAN 18,000 PSI IN EXCESS OF THAT SPECIFIED AND ACTUAL ULTIMATE TENSILE STRENGTH NO LESS THAN 1.25 TIMES ACTUAL
- TENSILE YIELD STRENGTH. WELDING OF REINFORCING STEEL SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STRUCTURAL WELDING CODE OF THE AMERICAN WELDING SOCIETY AWS D1.4 AND LABC 2017 EDITION. A. SHALL BE BY THE ELECTRIC ARC PROCESS.
- B. SHALL UTILIZE LOW HYDROGEN ELECTRODES C. SHALL BE DONE UNDER THE CONTINUOUS INSPECTION OF A CERTIFIED DEPUTY INSPECTOR. D. SHALL ONLY BE DONE ON STEEL CONFORMING TO ASTM A 706M.
- 8. REBENDING OF BARS WILL BE PERMITTED.

CONCRETE NOTES

- ALL CONCRETE WORK SHALL BE OF STONE TYPE "HARDROCK" (U.N.O.) MADE WITH AGGREGATES CONFORMING TO ASTM C33 AND PRODUCING A UNIT WEIGHT OF 150 PCF. U.N.O.
- 2. ALL CONCRETE SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS, BASED
- UPON AN APPROVED LABORATORY DESIGNED MIX: a. SLABS ON GRADE, STANDARD FOOTINGS & STAIRS ON GRADE
- 2500 PSI b. DEEP PILE COLUMNS & CAISSONS - 3000 PSI c. STRUCTURAL SLABS, GRADE BEAMS & BASEMENT/POOL WALLS 4000 PSI
- d. ABOVE GRADE COLUMNS, BEAMS, WALLS & MOMENT FRAMES 4000 PSI 3. CONTINUOUS INSPECTION BY A REGISTERED DEPUTY BUILDING INSPECTOR IS REQUIRED FOR ALL
- CONCRETE STRENGTHS GREATER THAN 2500 PSI.
- 4. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150.
- 5. DRYPACK GROUT SHALL BE A 1:21/2 CEMENT-SAND MIX. 6. LOCATION OF ALL CONSTRUCTION JOINTS MUST BE APPROVED BY THE ARCHITECT IF NOT SHOWN ON THE DRAWINGS
- 7. NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED, SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR SLEEVE LOCATIONS. 8. ALL MISCELLANEOUS IRON APPURTENANCES, ANCHOR BOLTS, INSERTS, ETC. SHALL BE SECURELY WIRED
- OR OTHERWISE ANCHORED IN PLACE PRIOR TO POURING 9. EXPOSED CONCRETE TO HAVE 3/4" CHAMFER AT CORNERS/EDGES.
- 10. ONLY ONE GRADE OF CONCRETE TO BE ON THE SITE AT ANY ONE TIME. 11. POWDER DRIVEN FASTENERS SHALL NOT BE DRIVEN INTO CONCRETE UNTIL IT HAS REACHED ITS 28 DAYS
- DESIGN STRENGTH. 12. THE MINIMUM CONCRETE COVER FOR REINFORCING STEEL WITHIN CAST-IN-PLACE CONCRETE
- (NOT-PRESTRESSED NOR POST TENSIONED) SHALL BE AS FOLLOWS:
- a. CAST AGAINST EARTH.. b. EXPOSED TO EARTH OR WEATHER: BARS #6 AND LARGER
- BARS #5 AND SMALLER c. CONCRETE NÖT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: SLABS, WALLS, JOISTS:
 - BARS #11 AND SMALLER COLUMNS, BEAMS: PRIMARY REINFORCEMENT TIES, STIRRUPS, SPIRALS
- 13. ALL GROUT FOR COLUMN BASE-PLATE, BEARING PLATES AT SILL OR BEAM POCKETS OR OTHER LOCATIONS SHALL BE A HIGH STRENGTH (f'c - 5,000 PSI AT 28 DAYS MINIMUM), NON-SHRINK, GROUT REVIEWED AND ACCEPTED BY THE STRUCTURAL ENGINEER AND THE GOV. AGENCY PRIOR TO USE. MIXING AND PLACEMENT SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. DRYPACK SHALL NOT BE USED AS A STRUCTURAL MATERIAL UNLESS SPECIFICALLY INDICATED AND APPROVED BY THE
- 14. EXISTING CONCRETE AGAINST WHICH NEW CONCRETE IS TO BE PLACED SHALL BE ROUGHENED AS NECESSARY, SANDBLASTED, CLEANED AND MOISTENED PRIOR TO PLACING NEW MATERIAL. THE SURFACE OF ALL HORIZONTAL CONSTRUCTION JOINTS SHALL BE CLEANED AND ROUGHENED BY REMOVING THE ENTIRE

SURFACE AND EXPOSING CLEAN AGGREGATE SOLIDLY EMBEDDED IN MORTAR MATRIX.

- 15. THESE DESIGN DRAWINGS GENERALLY SHOW THE FORM OF THE COMPLETED STRUCTURE WITHOUT SPECIFIC INDICATIONS OF COLD JOINT LOCATIONS. CONSTRUCTION JOINTS IN STRUCTURAL CONCRETE SHALL BE PERMITTED ONLY AS SPECIFICALLY SHOWN IN THESE DRAWINGS OR APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.
- 16. PRIOR TO START OF CONCRETE WORK THE CONTRACTOR SHALL SUBMIT FOR APPROVAL A PLAN FOR THE CONCRETE WORK INDICATING ALL PROPOSED COLD JOINT LOCATIONS AND DETAILS. THIS PLAN SHALL BE APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO START OF CONCRETE WORK. ADDITIONAL
- REINFORCEMENT MAY BE REQUIRED DEPENDING ON JOINT LOCATIONS AND DETAILS. I7. UNAPPROVED CONSTRUCTION JOINTS SHALL BE SUFFICIENT CAUSE FOR REJECTION OF THE WORK.

MASONRY NOTES

SOLID (U.N.O.)

CONTENT OR 6% OF THE CEMENT CONTENT.

- . <u>BLOCKS:</u> CONCRETE BLOCK SHALL BE OF SIZE SHOWN ON STRUCTURAL DRAWINGS AND SHALL CONFORM TO ASTM C-90 GRADE N MEDIUM WEIGHT UNITS, UNLESS NOTED OTHERWISE. I'm = 1500 psi MINIMUM
- MORTAR: SHALL BE COMPOSED OF NOT LESS THAN 1/4 PART NOR MORE THAN 1/2 PART LIME PUTTY OR HYDRATED LIME, 1 PART PORTLAND CEMENT, AND 4 PARTS SAND BASED ON DRY, LOOSED VOLUMES. THE TOTAL CLAY CONTENTS, INCLUDING THAT IN THE SAND, SHALL NOT EXCEED 2% OF SAND
- GROUT: NOT LESS THAN 7 SACKS OF CEMENT PER CUBIC YARD, FLUID CONSISTENCY, FOR POURING WITHOUT SEGREGATION OF CONSTITUENT PARTS.
- 4. MIX: 1 PART PORTLAND CEMENT TO NOT MORE THAN 3 PARTS PER GRAVEL, $rac{\pi}{8}$ INCH MAXIMUM SIZE COARSE AGGREGATE, GROUT FILL USING COARSER AGGREGATE MAY BE USED IF MIX IS PROPERLY DESIGNED AND APPROVED BY ENGINEER. MAXIMUM SIZE OF AGGREGATE = 1/5 TIMES LEAST LATERAL DIMENSION OF CELL TO BE FILLED. MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. ONLY APPROVED ADMIXTURES MAY BE ADDED.
- MIXING: PLACE THE SAND, CEMENT AND WATER IN MIXER IN THAT ORDER FOR EACH BATCH OF MORTAR OR GROUT AND MIX FOR A PERIOD OF AT LEAST 2 MINUTES. ADD THE LIME AND CONTINUE MIXING FOR AS LONG AS NEEDED TO SECURE A UNIFORM MASS, BUT IN NO CASE LESS THAN 10 MINUTES. USE MIXERS TO SECURE A UNIFORM CAPACITY. BATCHES REQUIRING FRACTIONAL SACKS WILL NOT BE PERMITTED UNLESS CEMENT IS WEIGHT FOR EACH SUCH BATCH. RE-TEMPER MORTAR ONLY BY ADDING WATER INTO A BATCH MADE WITH MORTAR AND THEN CAREFULLY WORKING THE WATER INTO THE MORTAR RE-TEMPERING THE MORTAR BY DASHING WATER OVER THE MORTAR SHALL NOT BE PERMITTED. ANY MORTAR OR GROUT WHICH IS UNUSED WITHIN ONE HOUR AFTER THE INITIAL MIXING SHALL BE REMOVED FROM THE WORK. MORTAR SHALL BE MIXED AND MAINTAINED ON BOARDS TO SLUMP OF $2\frac{3}{4}$ " $+/-\frac{1}{4}$
- 6. <u>CONSTRUCTION JOINTS:</u> WHEN GROUTING IS STOPPED FOR A PERIOD OF ONE HOUR OR LONGER, FORM HORIZONTAL CONSTRUCTION JOINTS BY STOPPING THE GROUT POUR 11/2" INCHES MINIMUM BELOW THE
- TOP UPPERMOST UNIT. ALIGNMENT OF VERTICAL CELLS: ALL MASONRY SHALL BE BUILT TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF CELLS TO BE FILLED. THE VERTICAL ALIGNMENT SHALL BE SUFFICIENT TO

MAINTAIN A CLEAR UNOBSTRUCTED VERTICAL FLUE MEASURING NOT LESS THAN 3 INCHES BY 3 INCHES.

8. <u>LABOR:</u> LAY AND PLACE MORTAR IN HORIZONTAL JOINTS. COMPLETELY COVER THE FACE SHELLS OF THE

- UNITS WITH MORTAR. SOLIDLY FILL ALL HEAD JOINTS. LAY ALL MASONRY WITH COMMON BOND. HOLD RAKING TO A MINIMUM. 9. <u>GROUT PLACEMENT:</u> MAXIMUM GROUT LIFT SHALL BE 4'-0" (U.N.O.) NON CONTINUOUS POURS SHALL BE STOPPED 1/3" BELOW THE TOP OF A COURSE TO FORM A KEY AT POUR JOINTS. GROUT ALL CELLS
- 10. NO PIPES OR DUCTS SHALL BE PLACED IN MASONRY WALLS UNLESS SPECIFICALLY NOTED OR DETAILED. 11. DOWELS IN MASONRY WALLS SHALL BE THE SAME SIZE AND SPACING AS VERTICAL WALL REINFORCING
- 12. ALL VERTICAL REINFORCING IN MASONRY WALLS NOT RETAINING EARTH SHALL BE LOCATED IN CENTER OF THE WALLS UNLESS NOTED OTHERWISE BY DETAILS.
- 13. STRENGTH: ULTIMATE TEST PRISM COMPRESSIVE STRENGTH, f'm, SHALL BE 1500 PSI MINIMUM (U.N.O.) CONSTRUCTION SHALL COMPLY WITH PART 3 OF TMS 602-13/ACI530.1-13/ASCE6-13.
 - REINFORCEMENT SHALL BE SUPPORTED TO PREVENT DISPLACEMENTS BEYOND THE TOLERANCES PRIOR TO GROUTING. b. CLEANOUTS SHALL BE PROVIDED FOR ALL GROUT POURS OVER 5'-4". c. GROUT LIFT HEIGHT SHALL NOT EXCEED 12'-8" WHEN THE MASONRY HAS CURED FOR

4-HRS., THE SLUMP IS MAINTAINED BETWEEN 10 AND 11IN., AND NO INTERMEDIATE

- REINFORCED BOND BEAMS ARE PLACED BETWEEN THE TOP AND BOTTOM OF THE POUR HEIGHT. OTHERWISE GROUT LIFT SHALL NOT EXCEED 5'-4". d. ALL CELLS AND SPACES CONTAINING REINFORCEMENT SHALL BE FILLED WITH GROUT 14. QUALITY ASSURANCE MEASURES SHALL COMPLY WITH SEC. 2105 OF 2017 LABC AND TABLE 3.1.1, 3.1.2
- AND 3.1.3 OF TMS 402-13/ACI 530-13/ASCE 5-13. 15. PIPES AND CONDUITS EMBEDDED IN MASONRY SHALL NOT REDUCE THE REQUIRED STRENGTH. 16. JOINT REINFORCEMENT USED IN MASONRY EXPOSED TO EARTH OR WEATHER SHALL BE STAINLESS STEEL

OR PROTECTED FROM CORROSION BY MILL GALVANIZED, HOT-DIP GALVANIZED, OR EPOXY COATING.

CALIFORNIA RESIDENTIAL CODE (C.R.C.) 2019 LOS ANGELES COUNTY BUILDING CODE (L.A.C.B.C.) 2020

REFERENCE CODES:

Los Angeles Regional Uniform Code Program

Committee I-3: Structural Observation

STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER

PROJECT ADDRESS: Address - Los Angeles, CA 91206 PERMIT #:

Description of Work: Addition

Engineer: Aram Arakelyan Architect: Owner:

> STRUCTURAL OBSERVATION (only checked items are required)

Firm or Individual to be responsible for the Structural Observation: Name: Aram Arakelvan P.E. Phone: (818) 621-8084 Calif. Registration: C82796 FRAME DIAPHRAGM FOUNDATION WALL Footing, Stem Walls, Piers ☐ Concrete Steel Moment Frame □ Concrete

☐ Steel Deck ☐ Mat Foundation ☐ Masonry Steel Braced Frame ■ Wood Roof / Floor ☐ Caisson, Piles, Grade Beams ■ Wood Shear Walls □ Concrete Moment Frame Sheathing ¬ Retaining Foundation ☐ Others: Others: ☐ Others: Hillside Special Anchors ☐ Others:

DECLARATION BY OWNER

SOR = EOR

Signature

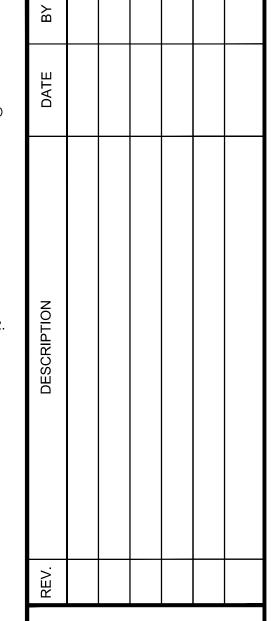
I, the Owner of the project, declare that the above listed firm or individual is hired by me to be the Structural Observer

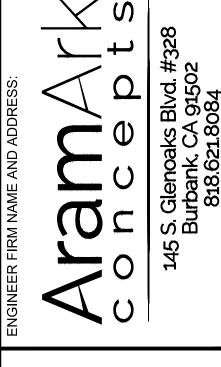
Signature Date

DECLARATION BY ARCHITECT OR ENGINEER OF RECORD (required if the Structural Observer is different from the Architect or Engineer of Record)

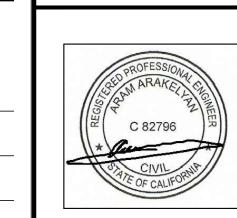
I, the Architect or Engineer of record for the project, declare that above listed firm or individual is designated by me responsible for the Structural Observation.

> C82796 License No. Date





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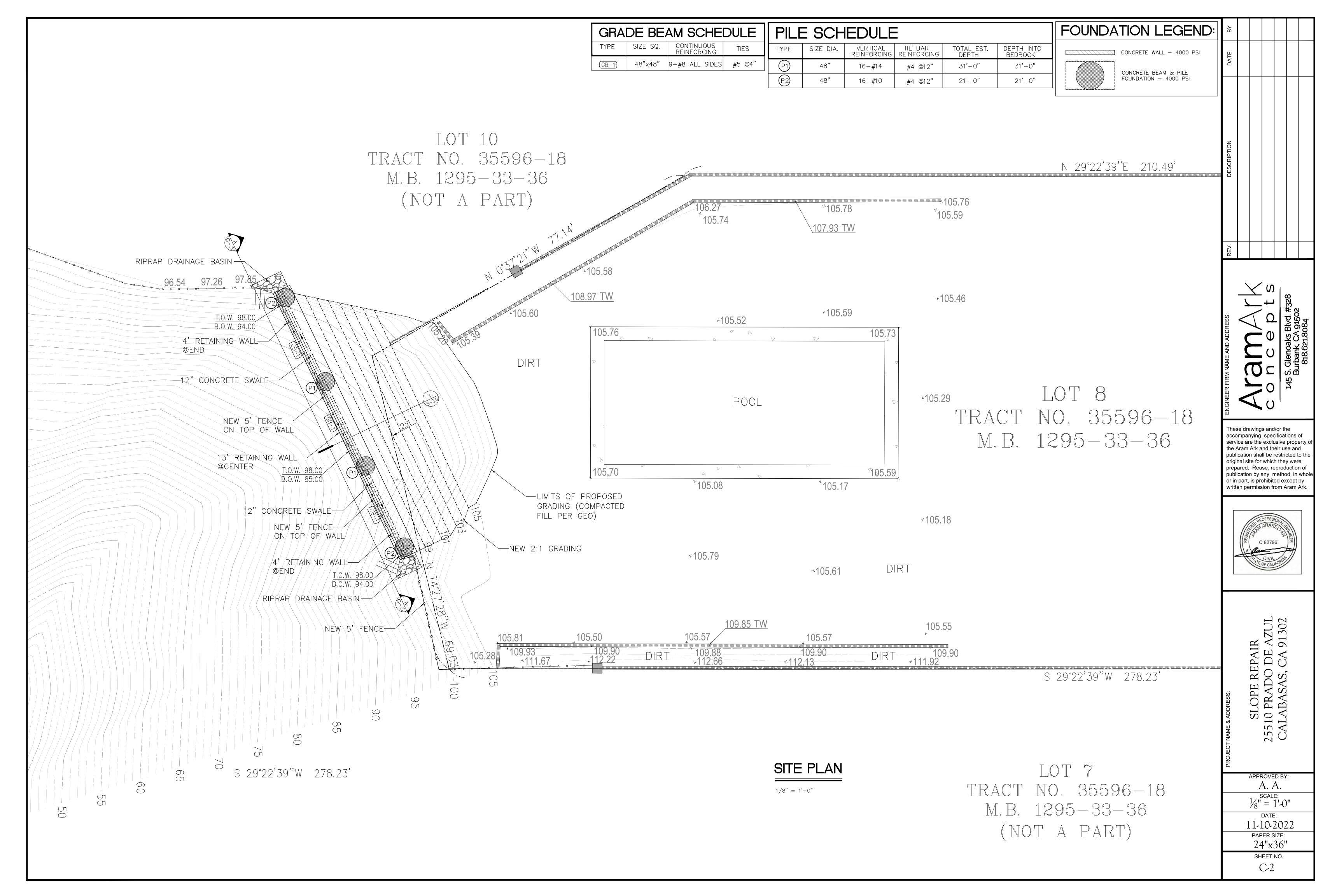


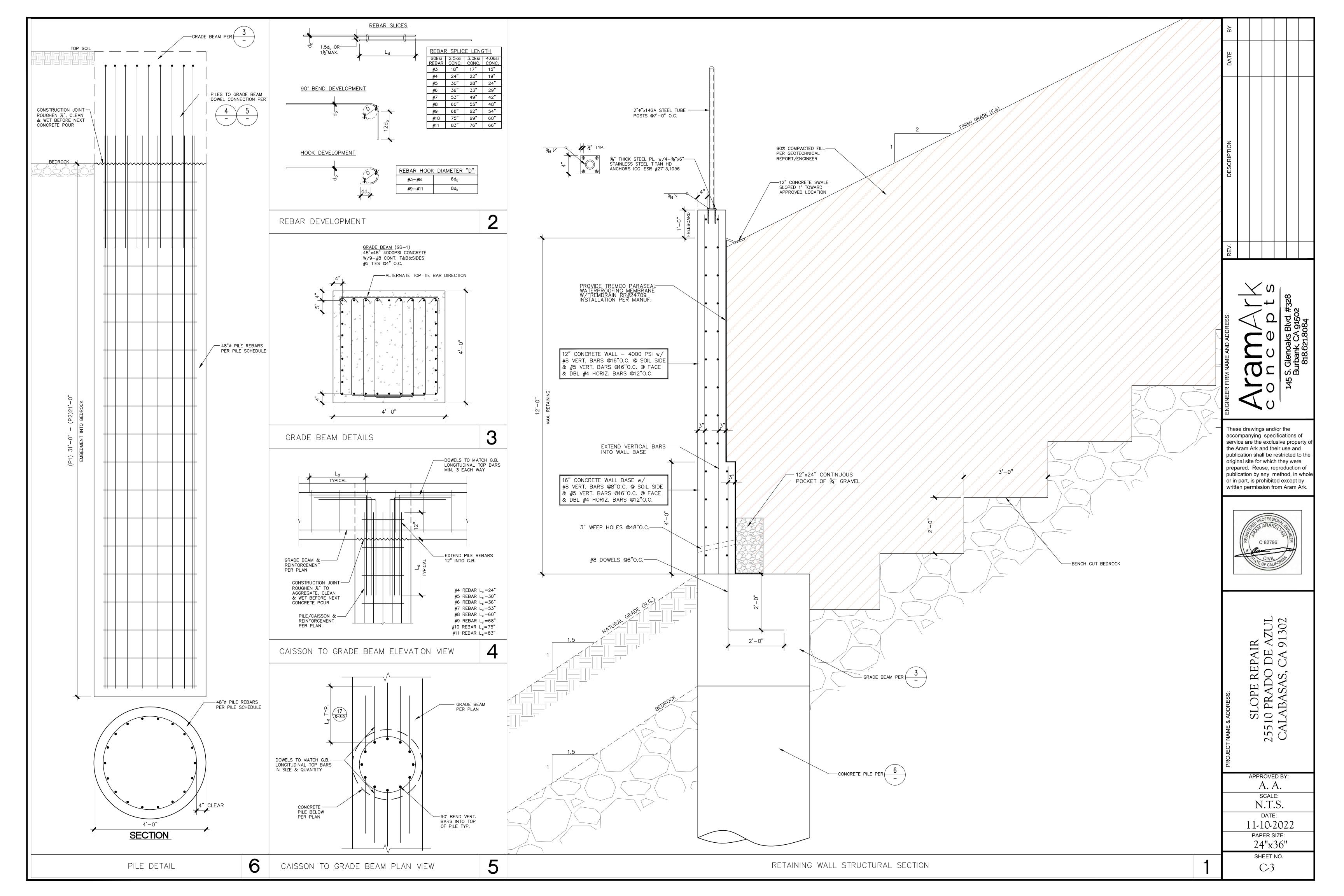
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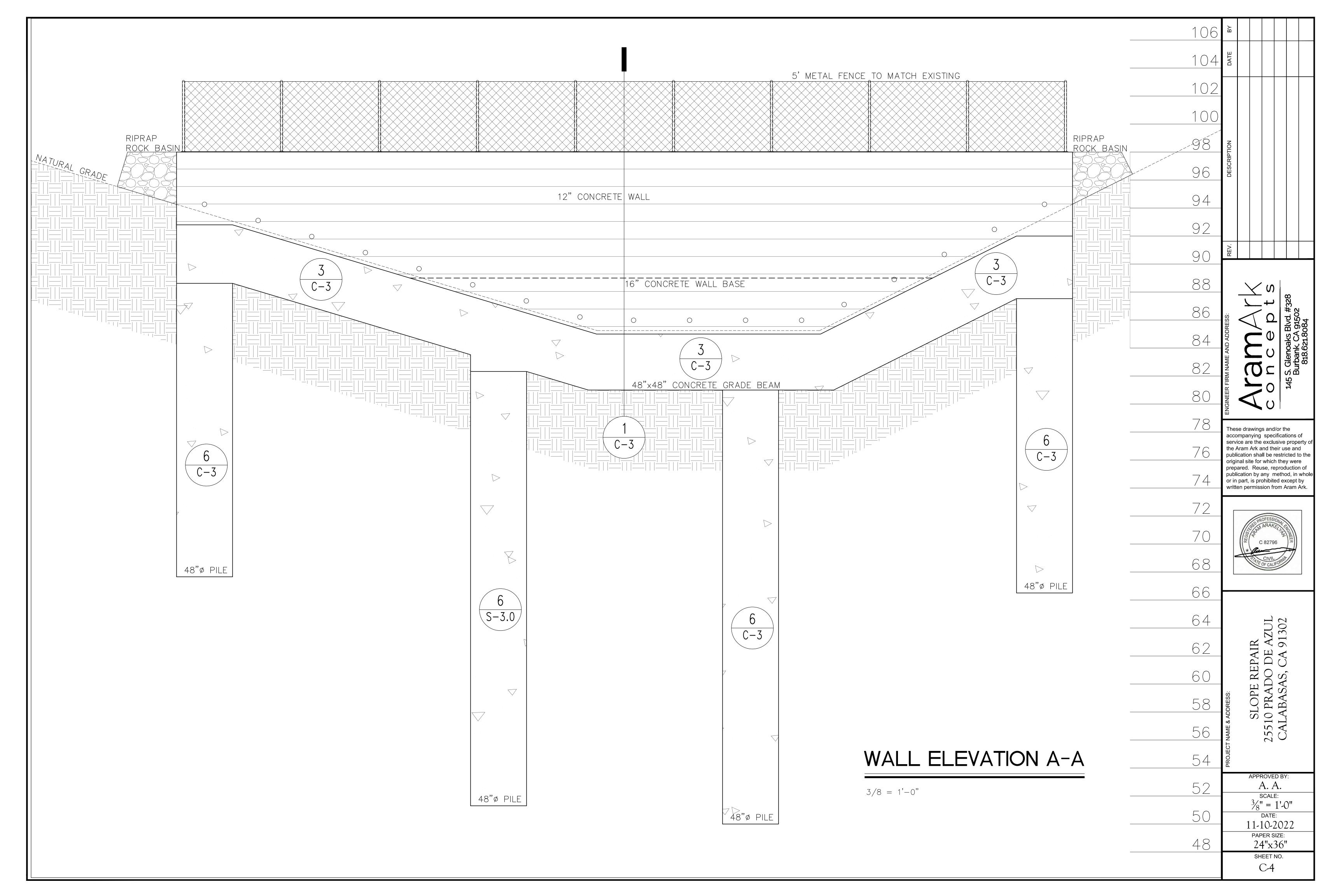
APPROVED BY: A. A. SCALE: NONE DATE: 11-10-2022 PAPER SIZE 24"x36" SHEET NO.

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C-1







CONCEPTUAL GRADING AND DRAINAGE PLAN APN #2069-100-058

STANDARD GRADING NOTES

Preconstruction Meeting

Prior to the start of work, the contractor shall conduct a preconstruction meeting with the City. The contractor shall be responsible for setting the meeting time, date and location and notifying City staff at least one week in advance of the meeting. Please contact the City of Calabasas Public Works Department at (818) 878-4225.

Stormwater/NPDES Notes

- 1. During the term of this permit, the Contractor, their employees, and subcontractors shall implement appropriate best management practices (BMPs) to prevent pollution to local waterways. Sediments, construction debris, paint, trash, concrete truck wash water and other chemical waste from construction sites left on the ground and streets unprotected, or washed in storm drains, causes pollution in local waterways via the storm drain system, and is against City ordinance and State law. The BMPs implemented shall be consistent with City Ordinance No. 97-117, the approved storm water pollution prevention plan/urban runoff mitigation plan, and the erosion control plan for the project, which shall be on site at all times. Failure to implement appropriate BMPs shall result in project delays through City—issued stop work notices and/or fines levied against the contractor. For information, please contact the City's Storm Water Program Manager at (818) 878-4225 Extension 307.
- 2. Storm damage prevention measures or prevention devices required by the City shall be installed by October 1 or as grading progresses and maintained until April 15 of the succeeding year or unless early removal is agreed to by the Storm Water Manager.

- 1. A copy of the grading permit and the approved grading plans must be in the possession of a responsible person and available at the site at all times. Any modifications of or changes in approved grading plans must be approved by the City prior to the start of work.
- 2. A permit to operate in Fire Zone 4 must be obtained from the Fire Department prior to commencing work. Call (818) 880-0341 for information.
- 3. A State Notice of Intent (NOI), corresponding WDID number, and Storm Water Pollution Prevention Plan (SWPPP) shall be in the possession of a responsible person and available at the site at all times during construction operations for sites one acre or
- 4. Secure permission from the Army Corps of Engineers to perform work in the stream or river. Attach Form 404 from the Corps of Engineers.
- 5. Obtain a California State Fish and Game Permit to perform work in the stream or river. Attach a copy of the Fish and Game Permit (Form 1603).
- 6. The retaining wall details shown on the plans shall be constructed by separate building permit.
- 7. All construction and grading within any storm drain easements shall be done per storm drain plan under separate permit from the City and Los Angeles County.

General Notes

- The permittee or his agent shall notify the Public Works Department at least one working day in advance of required inspections at the following stages of work:
 - A. <u>INITIAL</u>: When the site has been cleared or vegetation and unapproved fill and it has been sacrificed, benched or otherwise prepared for fill. No fill shall have been placed prior to this
 - B. <u>ROUGH</u>: When approximate final elevations have been established; drainage terraces, swales and berms installed at the top of the slopes; and the statements required by the consultants have been
 - C. FINAL: When grading has been completed; all drainage devices installed; slope established; irrigation systems installed; and the as—built plans, required statements and reports have been
- All storm drain work is to be done under continuous inspection by the field engineer. Weekly status reports shall be submitted by the field engineer to the Public Works Department.
- 3. Final grading must be approved before occupancy of buildings will be allowed.
- 4. Separate plans for temporary drainage and erosion control measures to be used during the rainy season must be submitted prior to October 1. The erosion control devices shown on said plan must be installed by no later than October 1, and maintained in operable condition until April 15 of the following year.
- 5. A preventive program to protect the slopes from potential damage from burrowing rodents is required. Owner to inspect slopes periodically for evidence of burrowing rodents and at first evidence of their existence shall employ exterminator for their removal.
- 6. Roof drainage must be diverted from graded slopes.
- 7. 7. Grading in future street right—of—way must be inspected by the City.

Required Submittal

- 1. The location of all subdrain outlets shall be surveyed for line and elevation and shown on an as—built grading plan, which shall be submitted to the City.
- 2. The grading contractor shall submit the statement required at the completion of rough grading
- 3. Grading operations must be conducted under periodic geologic inspection with monthly inspection reports to be submitted to the Public Works Department.

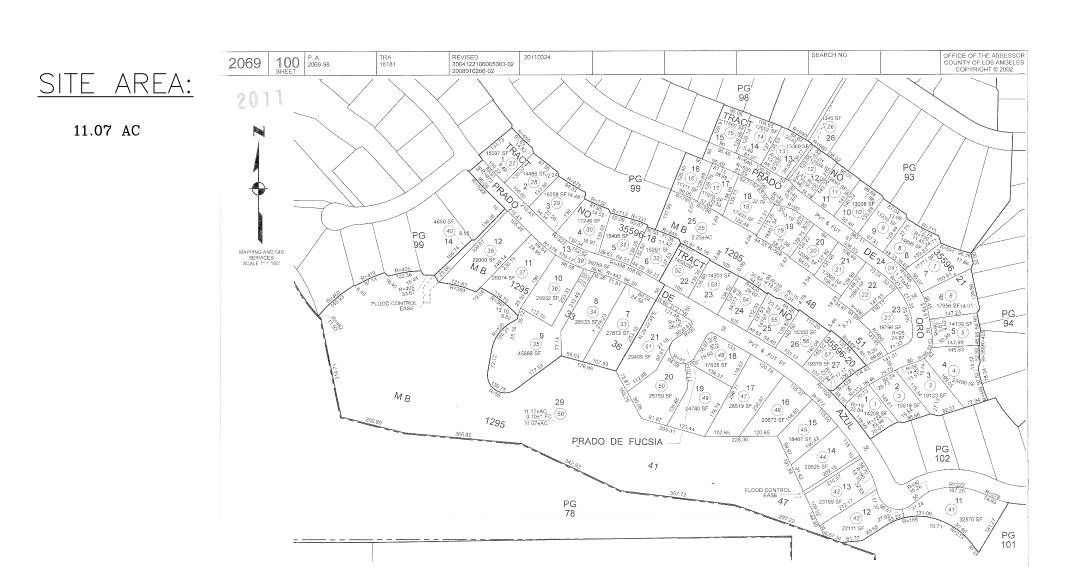
Construction Notes

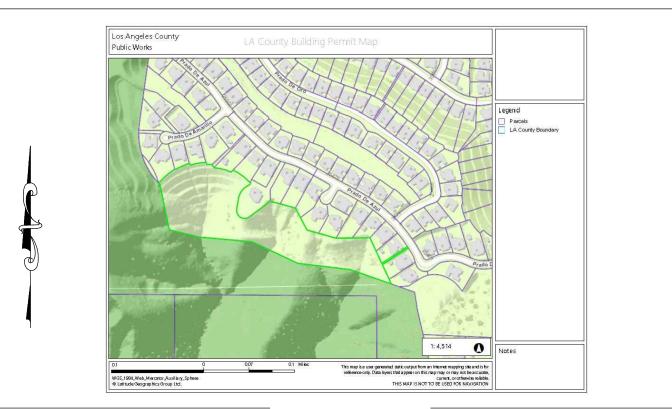
- 1. The field engineer must set drainage stakes for all drainage devices.
- 2. All grading sites must have drainage swales, berms, and other drainage devices approved at the rough grading stage.
- 3. Fills shall be compacted throughout their full extent to a minimum of 90 percent of maximum dry density per Section 15.11.020(C)(7) as determined by A.S.T.M. Soil Compaction Test D1557, where applicable; where not applicable, a test acceptable to the City Engineer shall be used. Field Density shall be determined by a method acceptable to the City Engineer.
- 4. Sufficient tests of the fill soils shall be made to determine the density thereof. The minimum number of tests shall be as
- A. One test for each two-foot vertical lift.
- B. One test for each 1,000 cubic yards of material placed. One test at the location of the final fill slope for each building site (lot) in each four-foot vertical lift or portion thereof.
- D. One test in the vicinity of each building pad for each four-foot vertical lift or portion thereof.
- Sufficient tests of fill soils shall be made to verify compliance of the soil properties with the testing requirements including soil types and shear strengths. The results of such testing shall be included in the reports required by Section 17.52.090.
- 5. No fill shall be placed until stripping of vegetation, removal of unsuitable soils, and installation of sub-drains (if any) have been inspected and approved by the geotechnical engineer per 15.11.020(C)(2).
- 6. Continuous inspection by the geotechnical engineer or responsible representative shall be provided during all sub-drain installations. A detailed map and survey will be supplied to the City for location of all sub-drains per Section 15.11.020(C)(2).
- 7. Fill slopes in excess of 2:1 steepness ratio is not permitted without prior variance approval and / or approval from the City Engineer. If slopes steeper than 2:1 are approved, they are to be constructed by the placement of soil at sufficient distance beyond the proposed finish slope to allow compaction equipment to be operated at the outer limits of the final slope surface. The excess fill is to be removed prior to completion of rough grading. (Other construction procedures may be used when it is demonstrated to the satisfaction of the City Engineer that the angle for slope, construction method and other factors will have equivalent effect.)

8. Continuous inspection by the geotechnical engineer or responsible representative shall be provided during the preparation of the natural ground and the placement and compaction of the fill.

9. The fill shall be placed to the satisfaction of the geotechnical engineer or responsible representative. The geotechnical engineer or responsible representative shall verify that the placement of said fill is being performed in accordance with the plan(s) and applicable code requirements per Section 15.11.080.

10. Note location of any uncompacted / unsuitable fills on plan. Fills are uncompacted and unsuitable for the support of structure. (This note also appears prominently on the plan near the uncompacted fill area.)





VICINITY MAP

2 of 2 - Grading and Drainage Plan

TENTATIVE NOTES

LEGAL DESCRIPTION

APN # 2069-100-058

EASEMENTS AND OTHER RECORDED DOCUMENTS

BENCH MARK & VERTICAL DATUM

SEWER MANHOLE ON PRADO DE AZUL ELEV. = 100.00 FT

Site Address:

Sheet Index: 1 of 2 - General Notes & Cover Sheet

C-OLIVERA DESIGN 3680 WILSHIRE BLVD SUITE P04-1341 LOS ANGELES, CA 90010

Blackrock Consulting Corp. 23705 Vanowen St. #101 West Hills, CA 91307

The Oaks Homeowners Association

FOR CONCEPTUAL APPROVAL ONLY

EARTHWORK QUANTITIES

__ CU. YDS. __ CU. YDS. $IMPORT = \underbrace{224.0}_{CU. YDS}$

 $OVEREXCAVATION = \underline{0.0}$ REMEDIAL GRADING = 0.0BUTTRESS STABILITY FILLS, SHEAR KEYS, ETC.



CITY of CALABASAS **PUBLIC WORKS DEPARTMENT** 100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338

WWW.CITYOFCALABASAS.COM

PREPARED BY:

ARAM ARK CONCEPTS BURBANK, CA 91502

PREPARED FOR:

THE OAKS HOA 145 S. GLENOAKS BL. #328 25646 PRADO DE LAS FLORES CALABASAS, CA 91302

CONCEPTUAL GRADING AND DRAINAGE PLAN

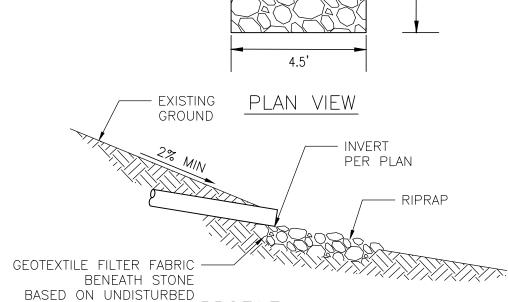
APN# 2069-100-058

CHECKED BY: A.A. DRAWN BY: A.A. SCALE: NONE

> SHEET NO. of

GRADING AND HYDROLOGY EXHIBIT

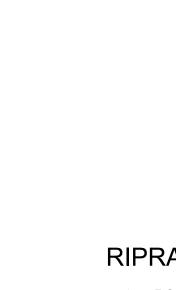
RETAINING WALL GRADING AREAS	SECTION AREA	WIDTH/LENGTH	VOLUME (CU.YD.)	
PILE EXCAVATION	12.6 SQ.FT	104.00 FT	48.53 CUT	
GRADE BEAM EXCAVATION	16.0 SQ.FT	63.25 FT	37.48 CUT	
BACKFILL AVERAGE SECTION	170.8 SQ.FT	49.00 FT	310.00 FILL	
TOTAL GROSS CUT & FILL	396.01 CU.YD COMBINED			
TOTAL NET CUT & FILL (IMPORT) 223.99 CU.YD. FI				



---- INVERT

PER PLAN





RIPRAP NOTES:

<u>LEGEND</u>

1. ROCKS FOR GROUTED RIP-RAP SHALL BE GOOD QUALITY BROKEN CONCRETE AND/OR RIVER RUN ROCK. THE SMALLEST DIMENSIONS SHALL BE 6" OR GREATER AND THE LARGEST DIMENSION SHALL NOT

DRAINAGE AREA BOUNDARY

7.67 inches

50-YR, 24-HR

TRIBUTARY FLOWLINE

PROPERTY LINE

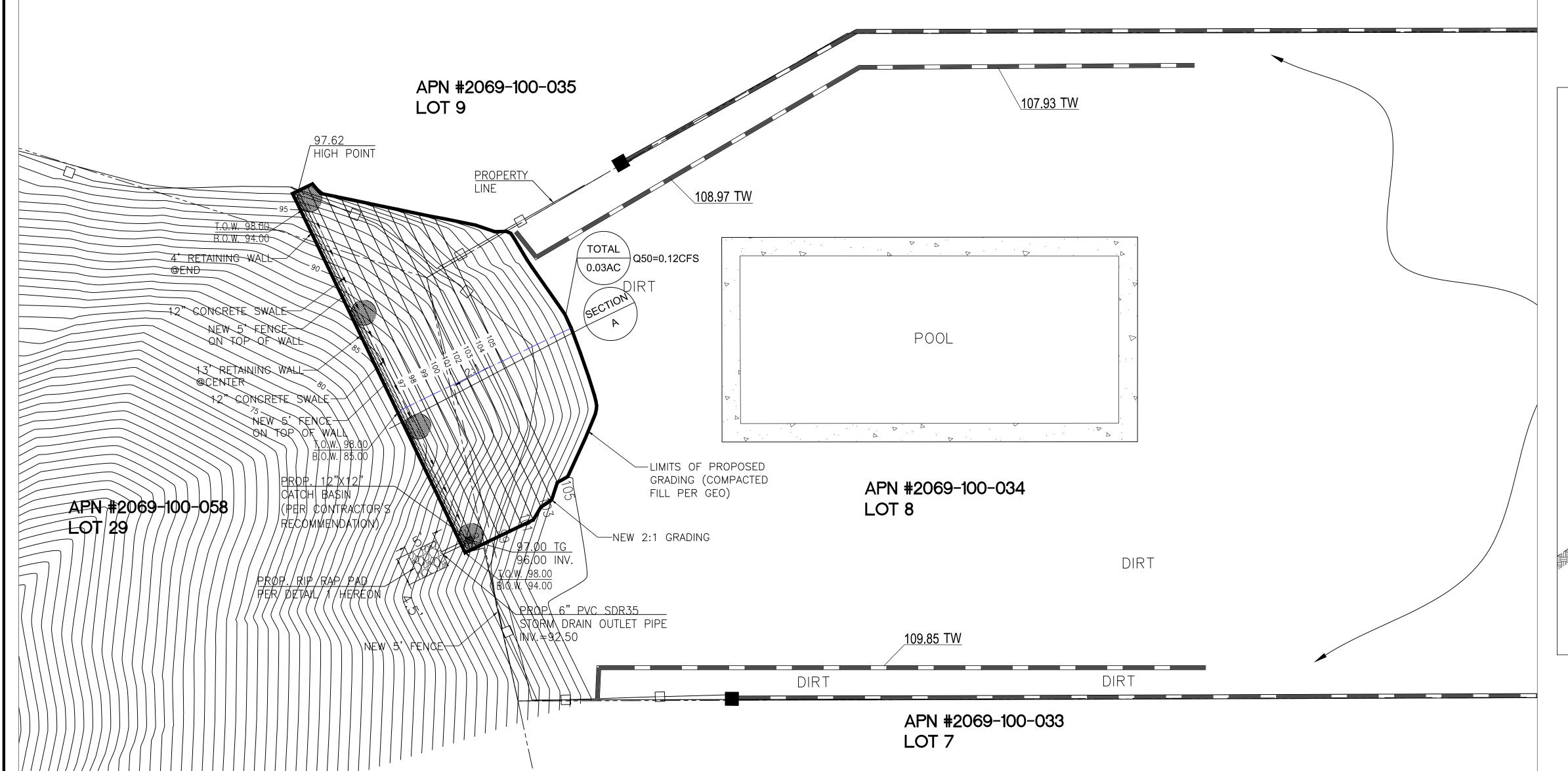
HYDROLOGY DATA & CALCULATIONS

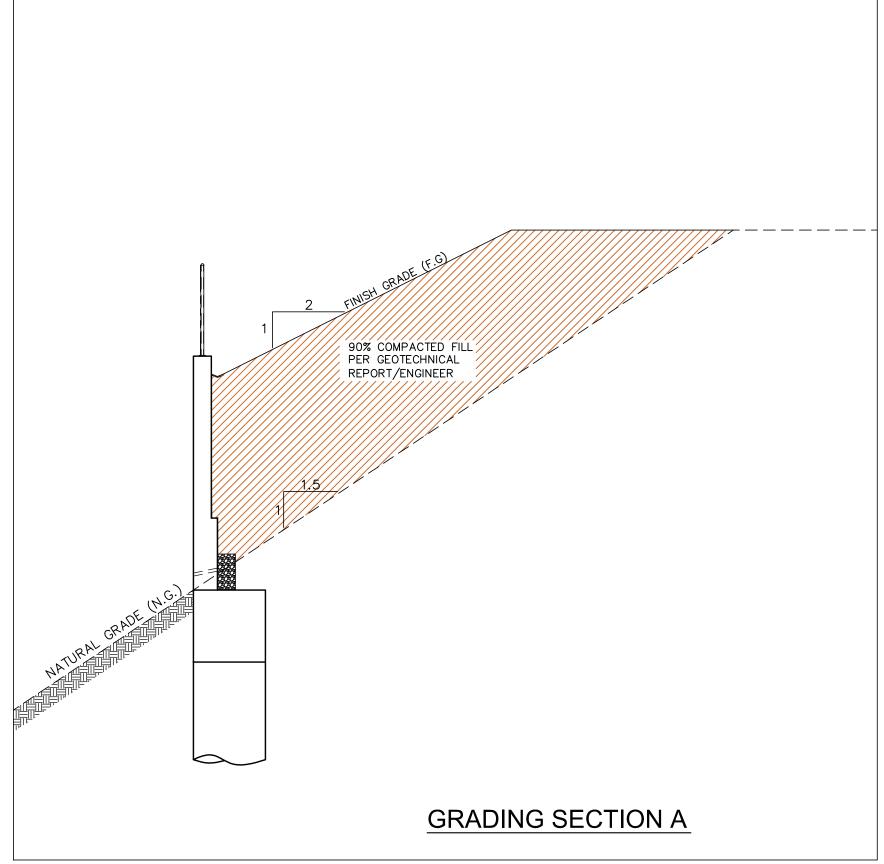
18.49AC / ------ ACREAGE

50-YR, 24-HR ISOHYTE:

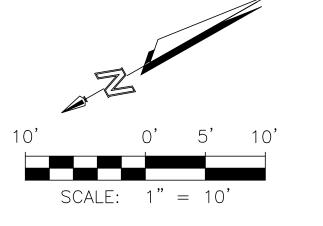
DESIGN STORM:

- 2. THERE SHALL BE A GROUT BED OF AT LEAST 2" BENEATH THE FIRST LAYER OF ROCK. ALL THE VOIDS BETWEEN THE ROCKS SHALL BE FILLED WITH GROUT. MAXIMUM SPACING BETWEEN ROCKS SHALL BE 2".
- 3. SURFACE ROCKS SHALL BE IMBEDDED FROM $\frac{1}{2}$ TO $\frac{2}{3}$ OF THEIR MAXIMUM DIMENSION.
- 4. CONCRETE MAY BE SUBSTITUTED FOR THE GROUT.





FOR CONCEPTUAL APPROVAL ONLY





CITY of CALABASAS
PUBLIC WORKS DEPARTMENT 100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338

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ARAM ARK CONCEPTS

THE OAKS HOA

PREPARED FOR:

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CONCEPTUAL GRADING AND DRAINAGE PLAN

APN# 2069-100-058

1" = 10'

2 of 2