

DESIGN:
C-OLIVEIRA DESIGN
3680 WILSHIRE BLVD, STE P04-1341
LOS ANGELES, CA 90010
213-357-2151
OFICCE@COLIVEIRADESIGN.COM
www.coliveiradesign.com

PARCEL NO. 2069100058
CALABASAS, CA 91302

SLOPE REPAIR
RETAINING WALL

DATE: 10/01/2021

SCALE:

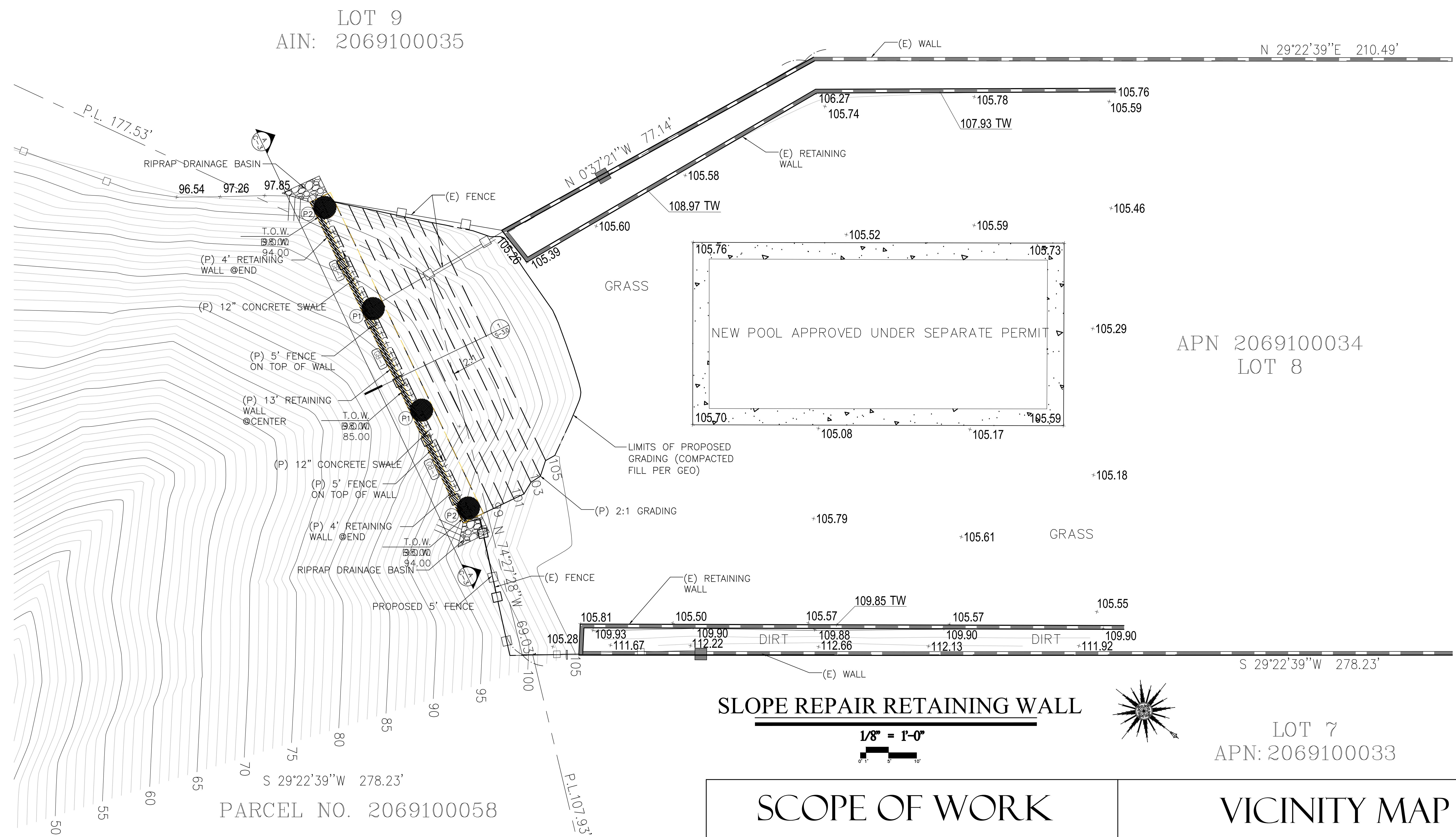
REVISION:

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PROJECT #: 20-121

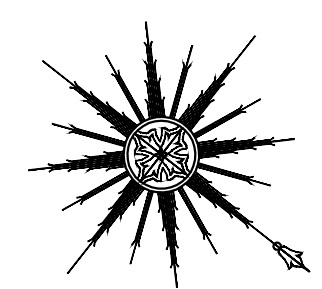
DRAWN BY: KG

SHEET
A1.0



SLOPE REPAIR RETAINING WALL

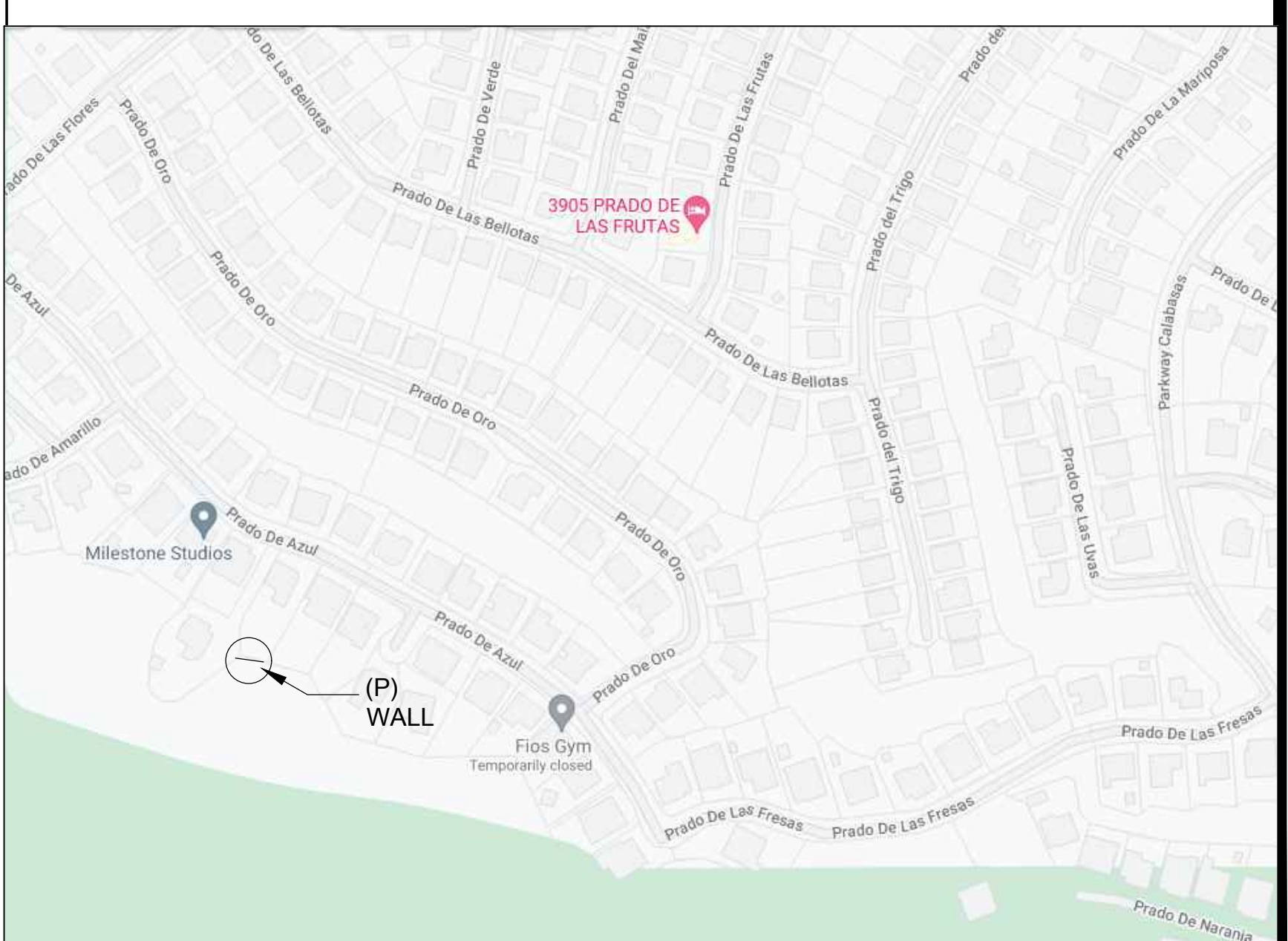
1/8" = 1'-0"
0' 5' 10'



SCOPE OF WORK

PROPOSED RETAINING WALL FOR SLOPE STABILIZATION

VICINITY MAP



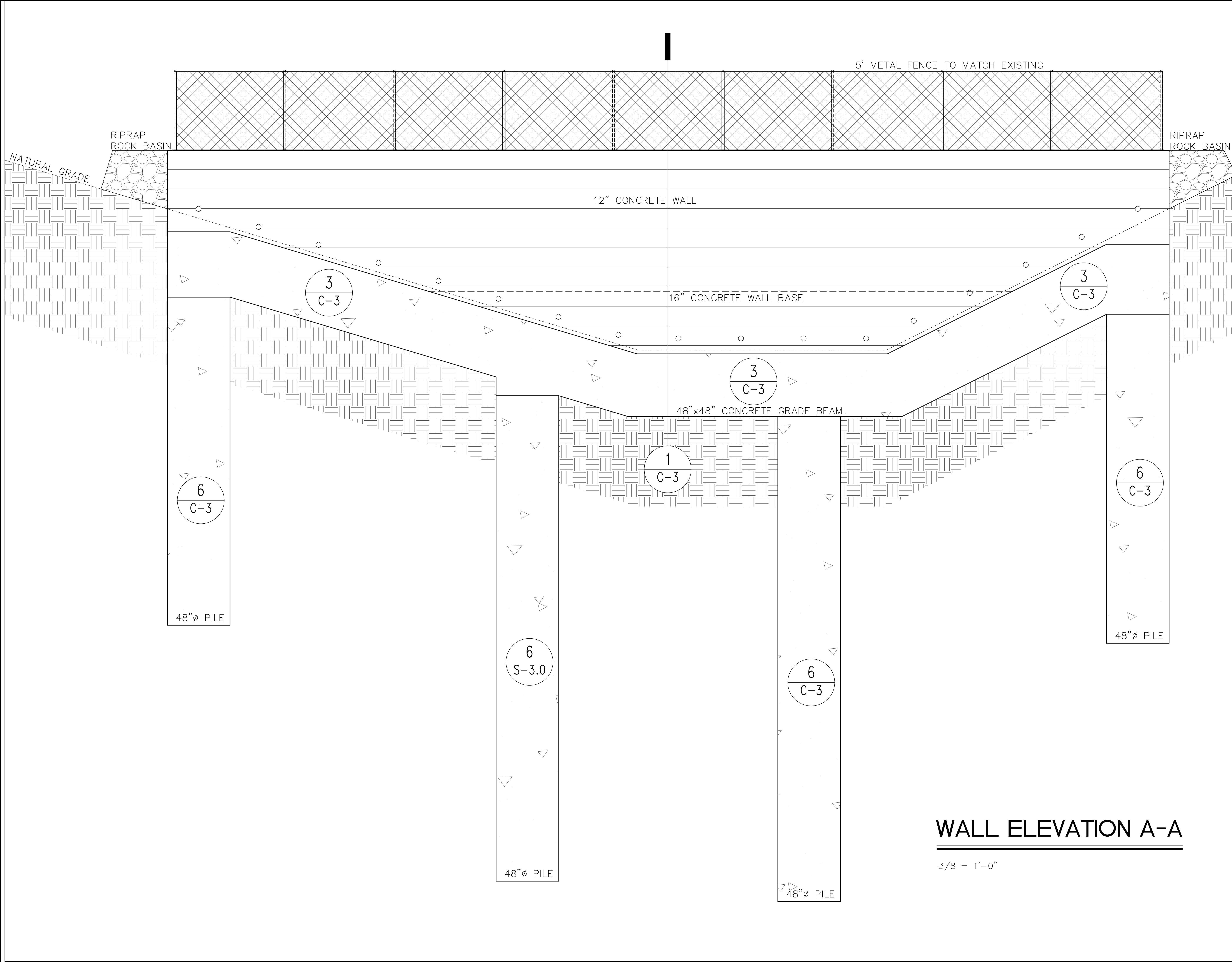
LOT 9
AIN: 2069100035

P.L. 203.33'
LOT 10
AIN: 2069100036

APN 2069100034
LOT 8

PARCEL NO. 2069100058

LOT 7
APN: 2069100033



WALL ELEVATION A-A

3/8" = 1'-0"

REV.	DESCRIPTION	DATE	BY
106			
104			
102			
100			
98			
96			
94			
92			
90			
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84			
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72			
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62			
60			
58			
56			
54			
52			
50			
48			

ENGINEER FIRM NAME AND ADDRESS:
AramArk
 concepts
 145 S. Glenoaks Blvd. #328
 Burbank, CA 91502
 818.621.8084

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PROJECT NAME & ADDRESS:
 SLOPE REPAIR
 25510 PRADO DE AZUL
 CALABASAS, CA 91302

APPROVED BY:
 A. A.
 SCALE:
 3/8" = 1'-0"
 DATE:
 11-10-2022
 PAPER SIZE:
 24"x36"
 SHEET NO.
 C4



CITY of CALABASAS

CONCEPTUAL GRADING AND DRAINAGE PLAN

APN #2069-100-058

STANDARD GRADING NOTES

Preconstruction Meeting

Prior to the start of work, the contractor shall conduct a preconstruction meeting with the City. The contractor shall be responsible for setting the meeting time, date and location and notifying City staff at least one week in advance of the meeting. Please contact the City of Calabasas Public Works Department at (818) 878-4225.

Stormwater/NPDES Notes

- During the term of this permit, the Contractor, their employees, and subcontractors shall implement appropriate best management practices (BMPs) to prevent pollution to local waterways. Sediments, construction debris, paint, trash, concrete truck wash water and other chemical waste from construction sites left on the ground and streets unprotected, or washed in storm drains, causes pollution in local waterways via the storm drain system, and is against City ordinance and State law. The BMPs implemented shall be consistent with City Ordinance No. 97-117, the approved storm water pollution prevention plan/urban runoff mitigation plan, and the erosion control plan for the project, which shall be on site at all times. Failure to implement appropriate BMPs shall result in project delays through City-issued stop work notices and/or fines levied against the contractor. For information, please contact the City's Storm Water Program Manager at (818) 878-4225 Extension 307.
- Storm damage prevention measures or prevention devices required by the City shall be installed by October 1 or as grading progresses and maintained until April 15 of the succeeding year or unless early removal is agreed to by the Storm Water Manager.

Required Permits

- A copy of the grading permit and the approved grading plans must be in the possession of a responsible person and available at the site at all times. Any modifications of or changes in approved grading plans must be approved by the City prior to the start of work.
- A permit to operate in Fire Zone 4 must be obtained from the Fire Department prior to commencing work. Call (818) 880-0341 for information.
- A State Notice of Intent (NOI), corresponding WID number, and Storm Water Pollution Prevention Plan (SWPPP) shall be in the possession of a responsible person and available at the site at all times during construction operations for sites one acre or greater.
- Secure permission from the Army Corps of Engineers to perform work in the stream or river. Attach Form 404 from the Corps of Engineers.
- Obtain a California State Fish and Game Permit to perform work in the stream or river. Attach a copy of the Fish and Game Permit (Form 1603).
- The retaining wall details shown on the plans shall be constructed by separate building permit.
- All construction and grading within any storm drain easements shall be done per storm drain plan under separate permit from the City and Los Angeles County.

General Notes

- The permittee or his agent shall notify the Public Works Department at least one working day in advance of required inspections at the following stages of work:
 - INITIAL:** When the site has been cleared or vegetation and unapproved fill and it has been sacrificed, benched or otherwise prepared for fill. No fill shall have been placed prior to this inspection.
 - ROUGH:** When approximate final elevations have been established; drainage terraces, swales and berms installed at the top of the slopes; and the statements required by the consultants have been submitted.
 - FINAL:** When grading has been completed; all drainage devices installed; slope established; irrigation systems installed; and the as-built plans, required statements and reports have been submitted.
- All storm drain work is to be done under continuous inspection by the field engineer. Weekly status reports shall be submitted by the field engineer to the Public Works Department.
- Final grading must be approved before occupancy of buildings will be allowed.
- Separate plans for temporary drainage and erosion control measures to be used during the rainy season must be submitted prior to October 1. The erosion control devices shown on said plan must be installed by no later than October 1, and maintained in operable condition until April 15 of the following year.
- A preventive program to protect the slopes from potential damage from burrowing rodents is required. Owner to inspect slopes periodically for evidence of burrowing rodents and at first evidence of their existence shall employ exterminator for their removal.
- Roof drainage must be diverted from graded slopes.
- Grading in future street right-of-way must be inspected by the City.

Required Submittal

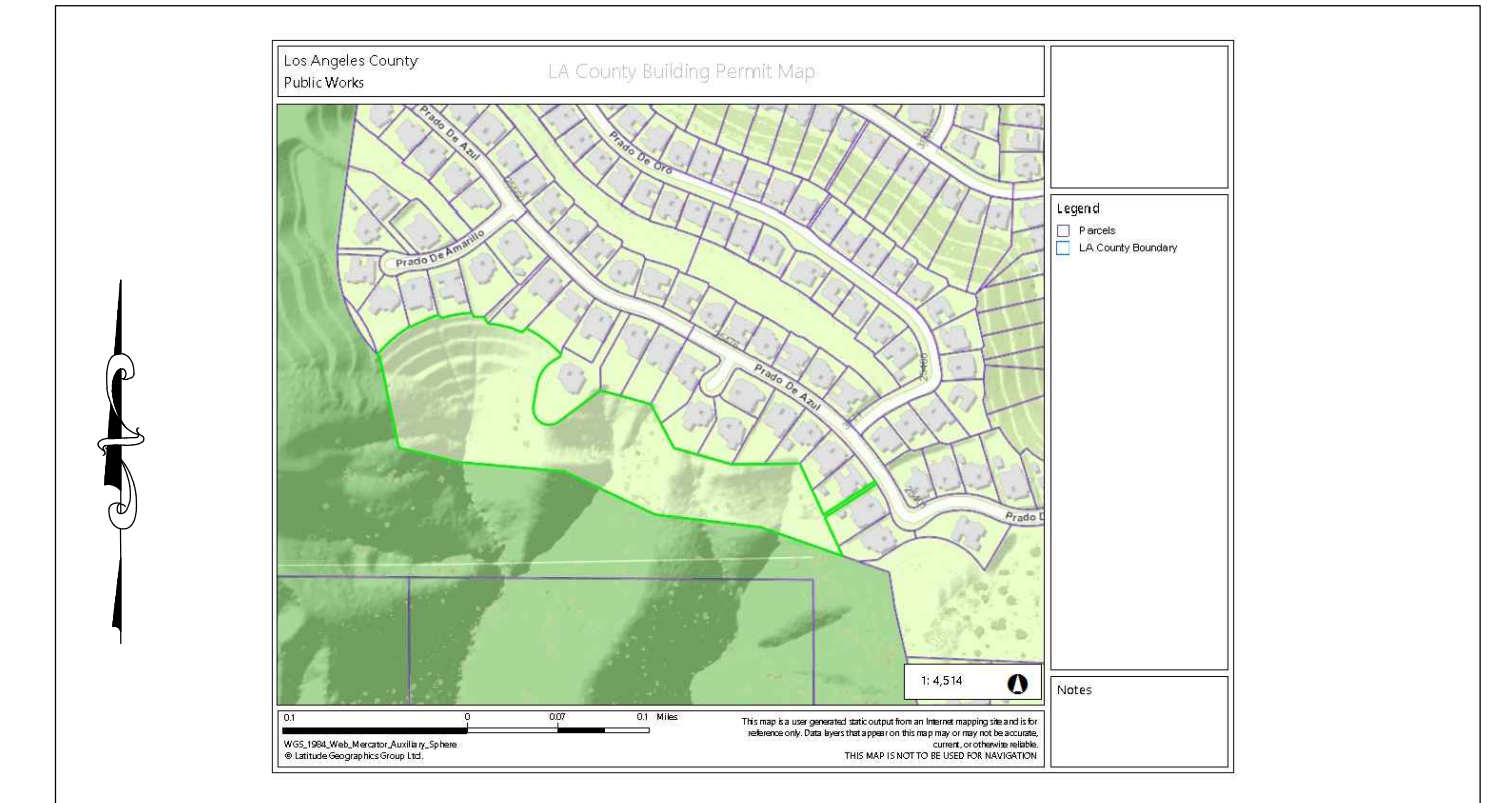
- The location of all subdrain outlets shall be surveyed for line and elevation and shown on an as-built grading plan, which shall be submitted to the City.
- The grading contractor shall submit the statement required at the completion of rough grading.
- Grading operations must be conducted under periodic geologic inspection with monthly inspection reports to be submitted to the Public Works Department.

Construction Notes

- The field engineer must set drainage stakes for all drainage devices.
- All grading sites must have drainage swales, berms, and other drainage devices approved at the rough grading stage.
- Fills shall be compacted throughout their full extent to a minimum of 90 percent of maximum dry density per Section 15.11.020(C)(7) as determined by A.S.T.M. Soil Compaction Test D1557, where applicable; where not applicable, a test acceptable to the City Engineer shall be used. Field Density shall be determined by a method acceptable to the City Engineer.
- Sufficient tests of the fill soils shall be made to determine the density thereof. The minimum number of tests shall be as follows:
 - One test for each two-foot vertical lift.
 - One test for each 1,000 cubic yards of material placed.
 - One test at the location of the final fill slope for each building site (lot) in each four-foot vertical lift or portion thereof.
 - One test in the vicinity of each building pad for each four-foot vertical lift or portion thereof.

Sufficient tests of fill soils shall be made to verify compliance of the soil properties with the testing requirements including soil types and shear strengths. The results of such testing shall be included in the reports required by Section 17.52.090.

- No fill shall be placed until stripping of vegetation, removal of unsuitable soils, and installation of sub-drains (if any) have been inspected and approved by the geotechnical engineer per 15.11.020(C)(2).
- Continuous inspection by the geotechnical engineer or responsible representative shall be provided during all sub-drain installations. A detailed map and survey will be supplied to the City for location of all sub-drains per Section 15.11.020(C)(2).
- Fill slopes in excess of 2:1 steepness ratio is not permitted without prior variance approval and / or approval from the City Engineer. If slopes steeper than 2:1 are approved, they are to be constructed by the placement of soil at sufficient distance beyond the proposed finish slope to allow compaction equipment to be operated at the outer limits of the final slope surface. The excess fill is to be removed prior to completion of rough grading. (Other construction procedures may be used when it is demonstrated to the satisfaction of the City Engineer that the angle for slope, construction method and other factors will have equivalent effect.)
- Continuous inspection by the geotechnical engineer or responsible representative shall be provided during the preparation of the natural ground and the placement and compaction of the fill.
- The fill shall be placed to the satisfaction of the geotechnical engineer or responsible representative. The geotechnical engineer or responsible representative shall verify that the placement of said fill is being performed in accordance with the plan(s) and applicable code requirements per Section 15.11.080.
- Note location of any uncompacted / unsuitable fills on plan. Fills are uncompacted and unsuitable for the support of structure. (This note also appears prominently on the plan near the uncompacted fill area.)



VICINITY MAP

TENTATIVE NOTES

LEGAL DESCRIPTION

APN # 2069-100-058

EASEMENTS AND OTHER RECORDED DOCUMENTS

NONE

BENCH MARK & VERTICAL DATUM

SEWER MANHOLE ON PRADO DE AZUL
ELEV. = 100.00 FT

Site Address:

None

Sheet Index:

1 of 2 - General Notes & Cover Sheet
2 of 2 - Grading and Drainage Plan

Architect:

C-OLIVERA DESIGN
3680 WILSHIRE BLVD
SUITE P04-1341
LOS ANGELES, CA 90010

Soils:

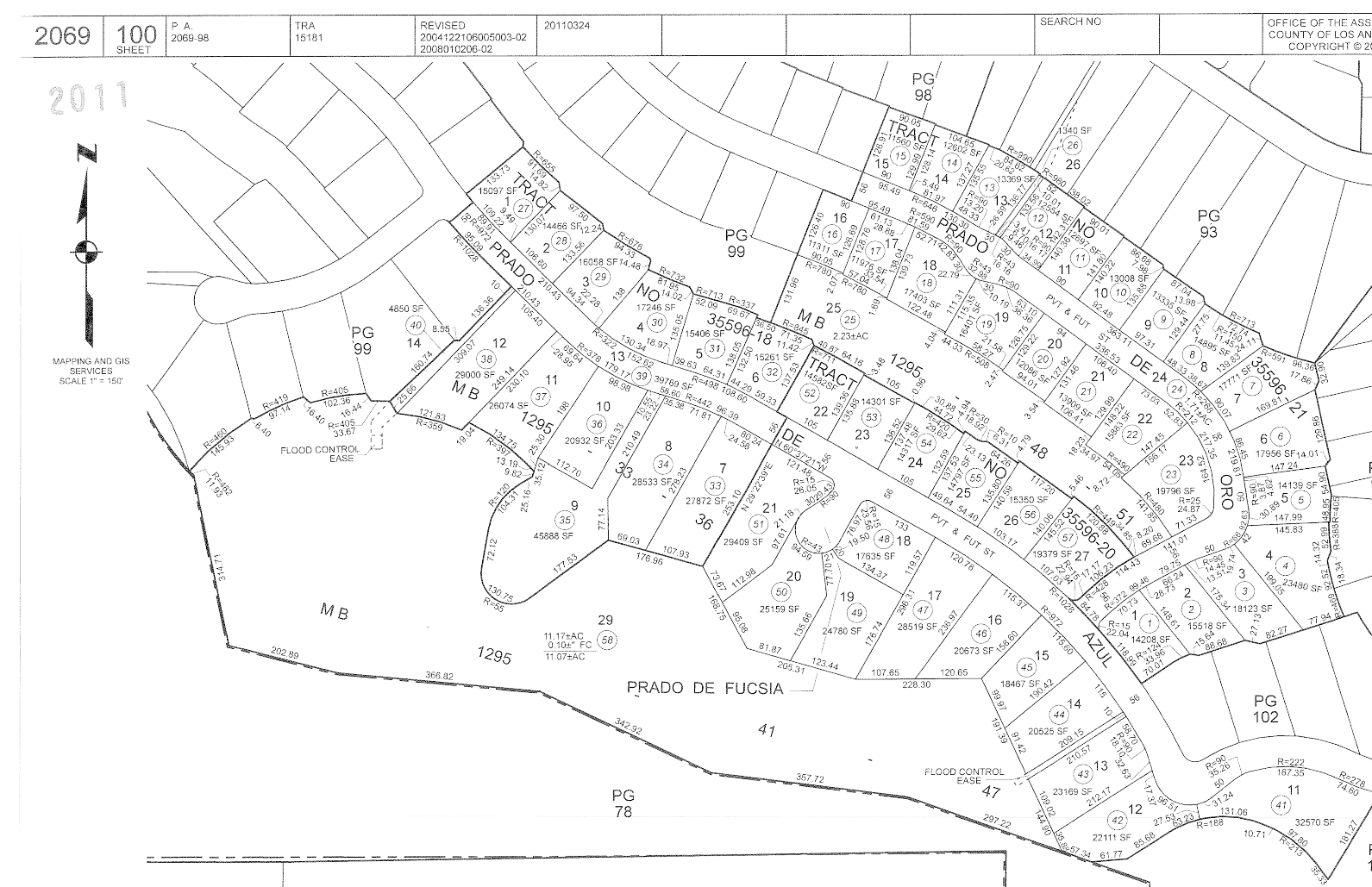
Blackrock Consulting Corp.
23705 Vanowen St. #101
West Hills, CA 91307

Owner:

The Oaks Homeowners
Association

SITE AREA:

11.07 AC



FOR CONCEPTUAL APPROVAL ONLY

EARTHWORK QUANTITIES

CUT= 86.0 CU. YDS. OVEREXCAVATION = 0.0
 FILL= 310.0 CU. YDS. REMEDIAL GRADING = 0.0
 IMPORT= 224.0 CU. YDS. BUTTRESS STABILITY FILLS, SHEAR KEYS, ETC.



CITY of CALABASAS
PUBLIC WORKS DEPARTMENT
100 Civic Center Way
CALABASAS, CA 91302
818.224.1600
FAX 818.225.7338
WWW.CITYOFCALABASAS.COM

PREPARED BY:

ARAM ARK CONCEPTS
145 S. GLENOAKS BL. #328
BURBANK, CA 91502

PREPARED FOR:

THE OAKS HOA
25646 PRADO DE LAS FLORES
CALABASAS, CA 91302

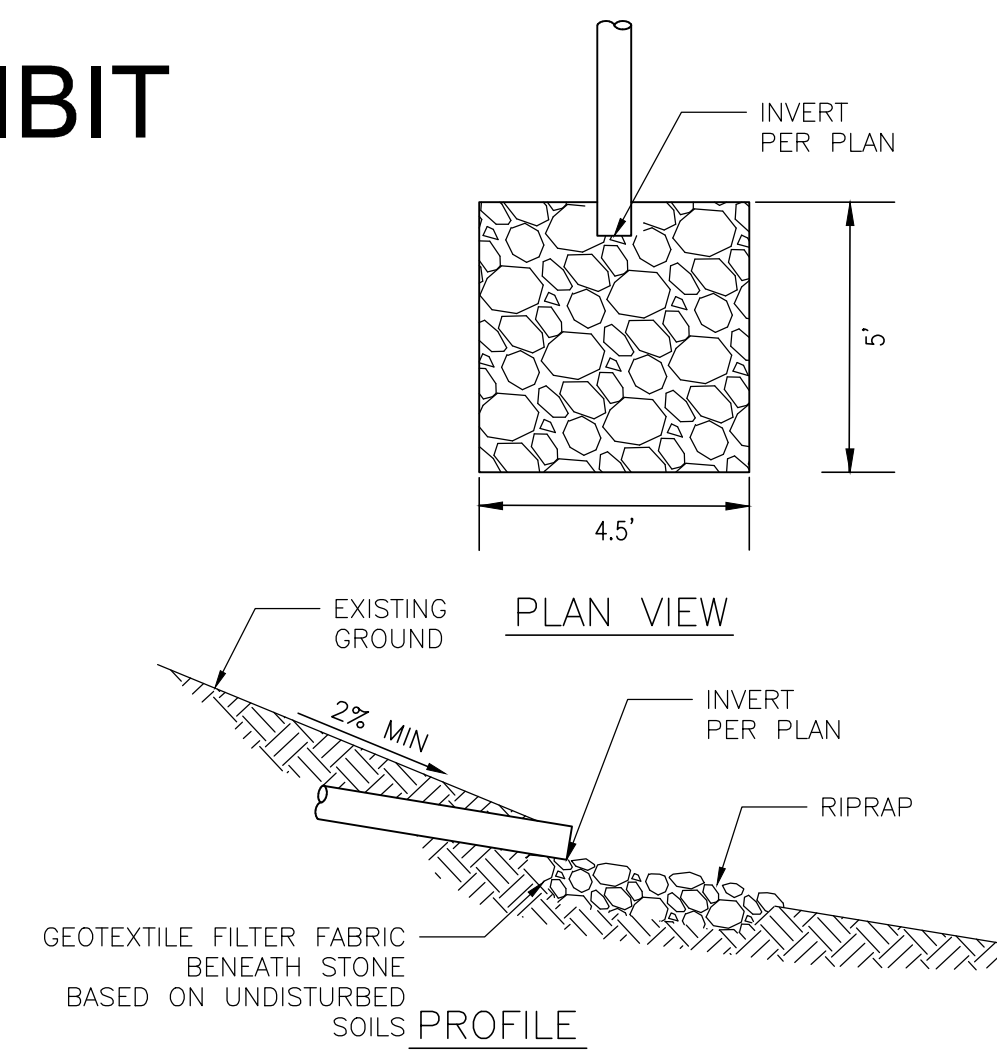
CONCEPTUAL GRADING
AND DRAINAGE PLAN

APN# 2069-100-058

DESIGNED BY: M.C.
 CHECKED BY: A.A.
 DRAWN BY: A.A.
 SCALE: NONE
 SHEET NO. 1 of 2

GRADING AND HYDROLOGY EXHIBIT

RETAINING WALL GRADING AREAS	SECTION AREA	WIDTH/LENGTH	VOLUME (CU.YD.)
PILE EXCAVATION	12.6 SQ.FT	104.00 FT	48.53 CUT
GRADE BEAM EXCAVATION	16.0 SQ.FT	63.25 FT	37.48 CUT
BACKFILL AVERAGE SECTION	170.8 SQ.FT	49.00 FT	310.00 FILL
TOTAL GROSS CUT & FILL			396.01 CU.YD. COMBINED
TOTAL NET CUT & FILL (IMPORT)			223.99 CU.YD. FILL



5' X 4.5' RIPRAP APRON DETAIL (1) NOT TO SCALE

LEGEND

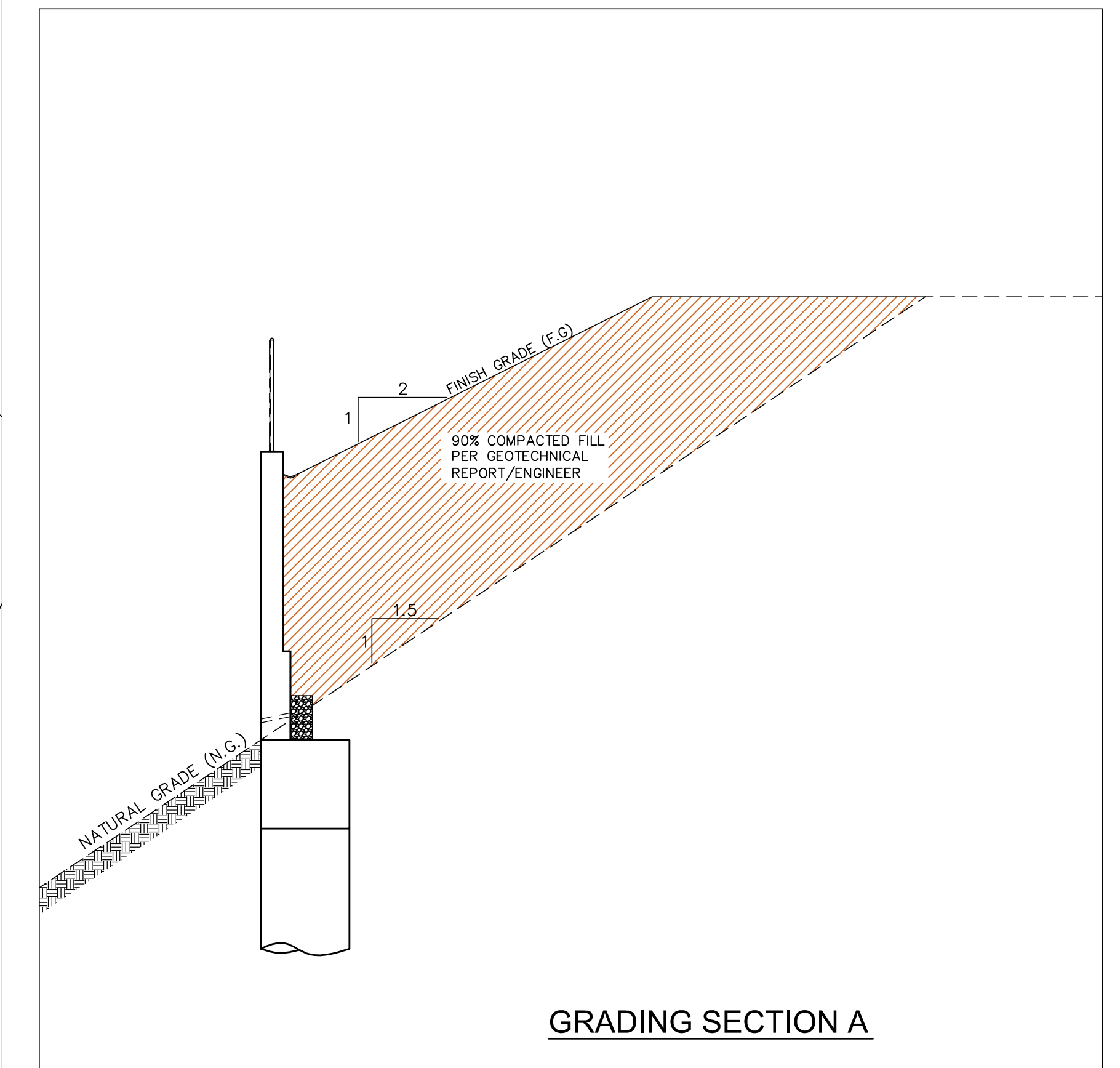
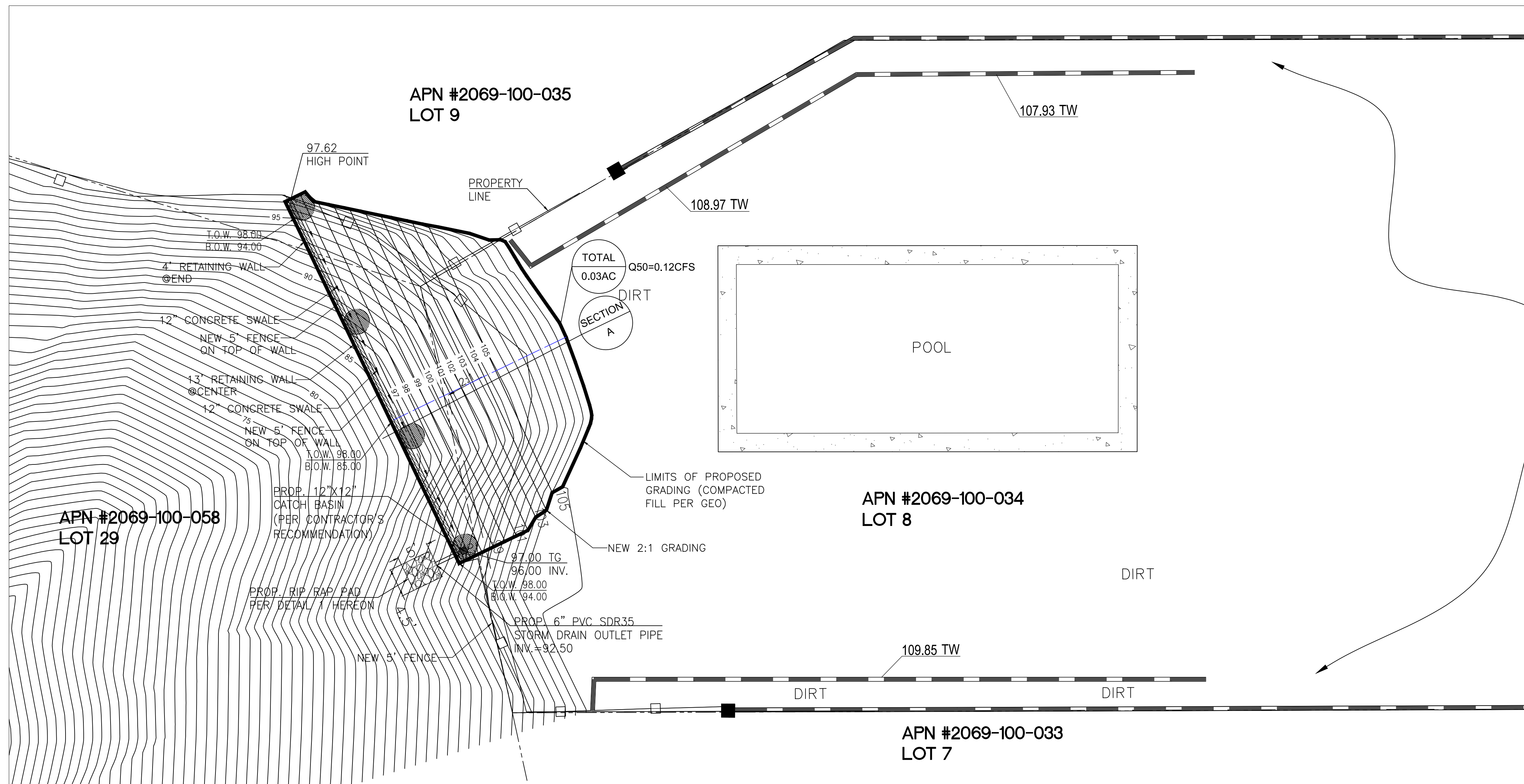
- DRAINAGE AREA BOUNDARY
- TRIBUTARY FLOWLINE
- - - PROPERTY LINE

HYDROLOGY DATA & CALCULATIONS

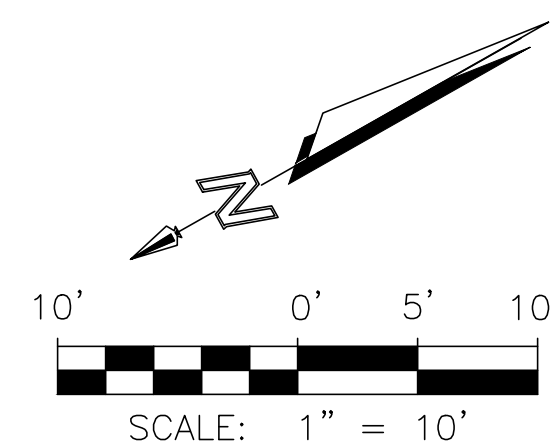
- 50-YR, 24-HR ISOHYETE: 7.67 inches
- SOIL TYPE: 34
- DESIGN STORM: 50-YR, 24-HR

RIPRAP NOTES:

1. ROCKS FOR GROUTED RIP-RAP SHALL BE GOOD QUALITY BROKEN CONCRETE AND/OR RIVER RUN ROCK. THE SMALLEST DIMENSIONS SHALL BE 6" OR GREATER AND THE LARGEST DIMENSION SHALL NOT EXCEED 24".
2. THERE SHALL BE A GROUT BED OF AT LEAST 2" BENEATH THE FIRST LAYER OF ROCK. ALL THE VOIDS BETWEEN THE ROCKS SHALL BE FILLED WITH GROUT. MAXIMUM SPACING BETWEEN ROCKS SHALL BE 2".
3. SURFACE ROCKS SHALL BE IMBEDDED FROM 1/2 TO 3/4 OF THEIR MAXIMUM DIMENSION.
4. CONCRETE MAY BE SUBSTITUTED FOR THE GROUT.



FOR CONCEPTUAL APPROVAL ONLY



<p>CITY of CALABASAS PUBLIC WORKS DEPARTMENT 100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338 WWW.CITYOFCALABASAS.COM</p>	<p>PREPARED BY: ARAM ARK CONCEPTS 145 S. GLENOAKS BL. #328 BURBANK, CA 91502</p>	<p>PREPARED FOR: THE OAKS HOA 25646 PRADO DE LAS FLORES CALABASAS, CA 91302</p>	<p>CONCEPTUAL GRADING AND DRAINAGE PLAN</p>	<p>APN# 2069-100-058</p>	<p>DESIGNED BY: M.C. CHECKED BY: A.A. DRAWN BY: A.A. SCALE: 1" = 10' SHEET NO: 2 of 2</p>
	<p>10' 0' 5' 10'</p> <p>SCALE: 1" = 10'</p>				