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PROJECT:

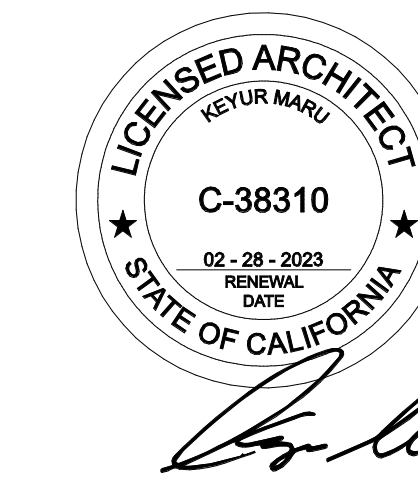
DADON RESIDENCE

23939 PARK GRANADA,
CALABASAS, CA 91302

REVISION:

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SHEET SIZE	24" x 36"

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Sheet:

EXTERIOR 3D VIEWS

A003



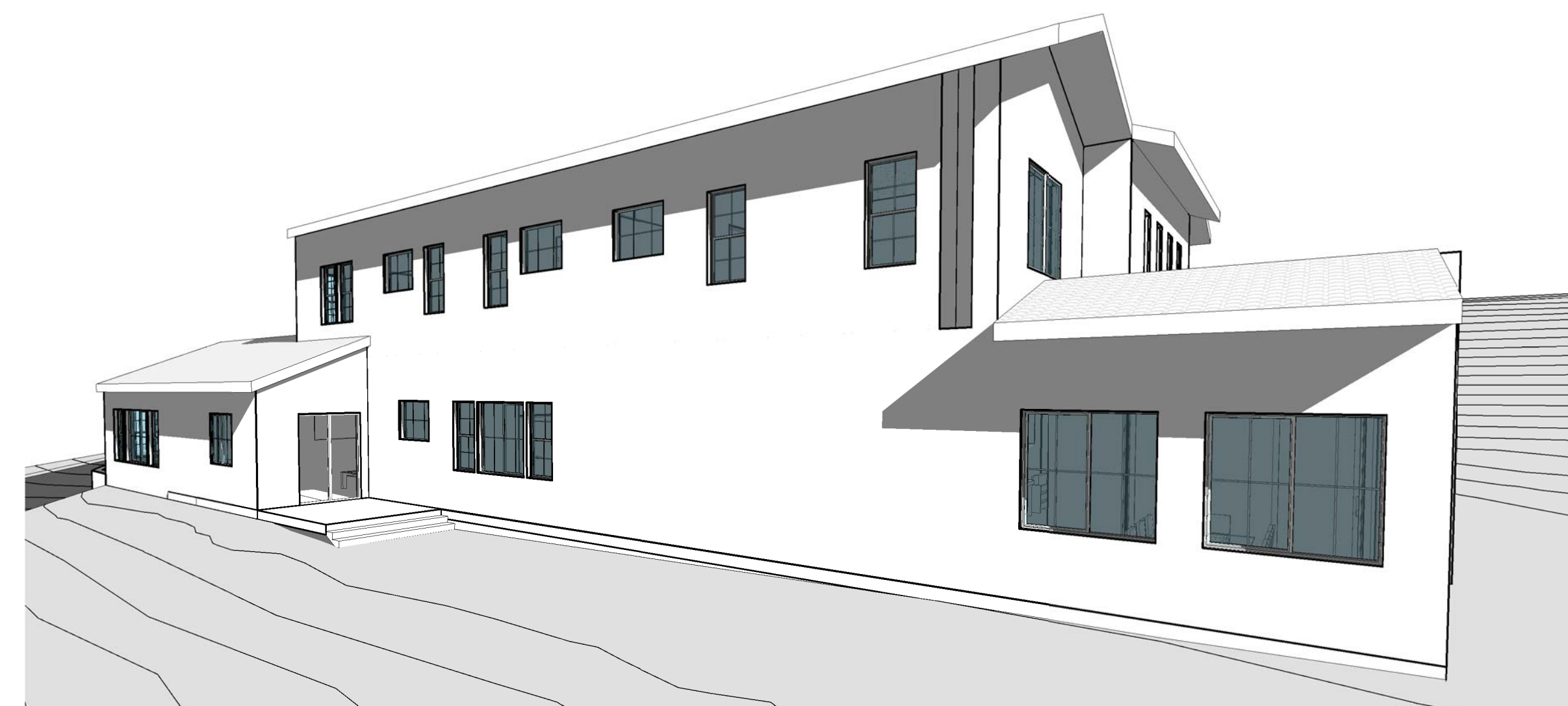
3D View 1 SCALE: 1



3D View 4 SCALE: 4



3D View 2 SCALE: 2



3D View 5 SCALE: 5



3D View 3 SCALE: 3



3D View 6 SCALE: 6

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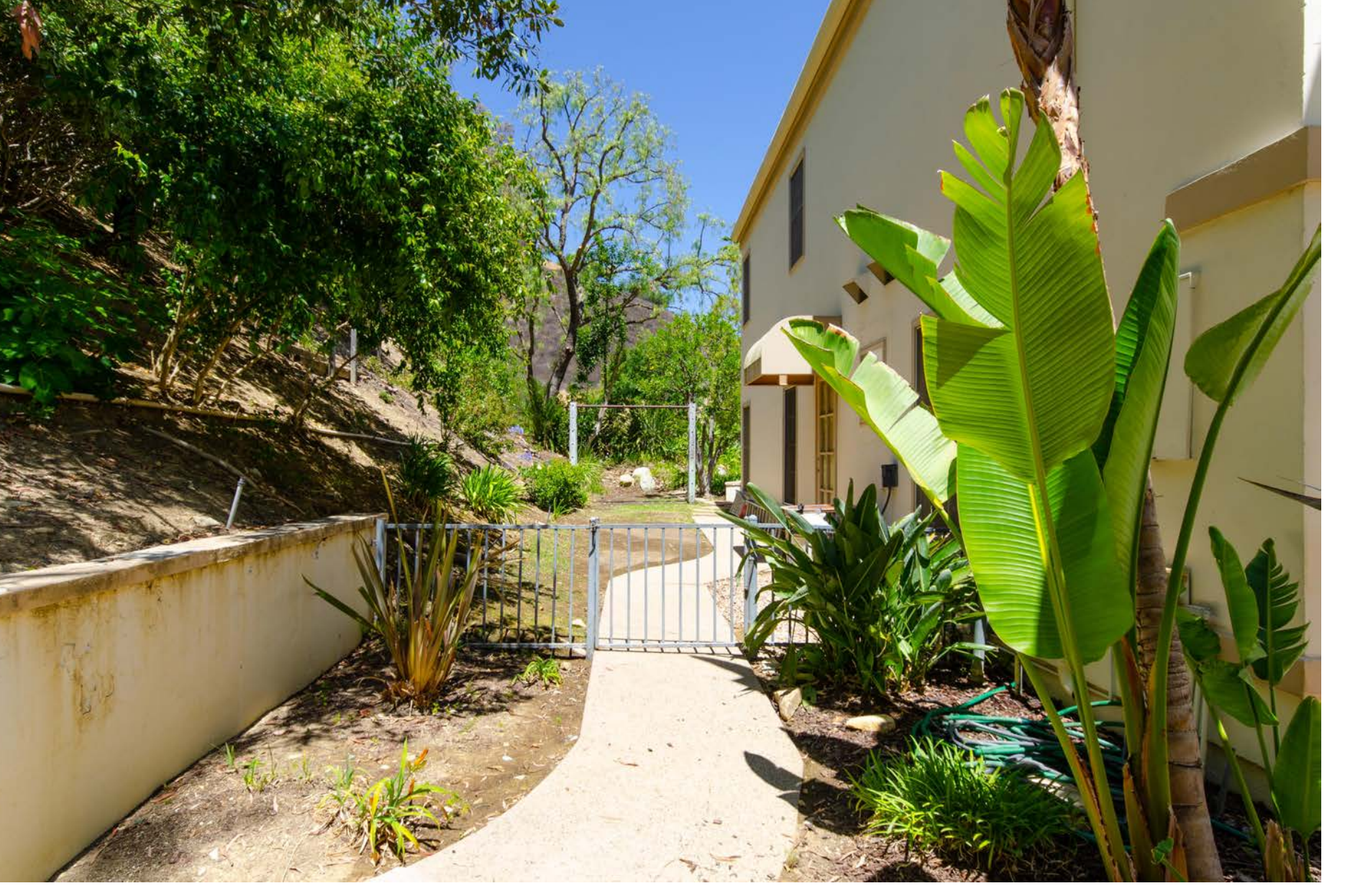
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Sheet:
EXISTING IMAGES



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Sheet:

SITE COMPARISON

A005



Model 3 Home



Proposed Project



Model 3 Home



CONSTRUCTION AGREEMENT

9/27/2022

The following Construction Agreement (Agreement) between Westridge Homeowners Association (Westridge) and the Owners of the home located at 23939 Park Granada (Owners) is for the purpose of establishing a reasonable and mutually agreeable duration for the proposed remodel project at 23939 Park Granada and defining requirements that, during the construction process, will be implemented by the Owners to assure that a safe environment for the Westridge Community is maintained during construction. The location of 23939 Park Granada is unique in that almost every resident must drive past that house to enter or exit the community. The street is extraordinarily steep and curved at this location. The parties want to ensure utmost safety for both residents and construction workers.

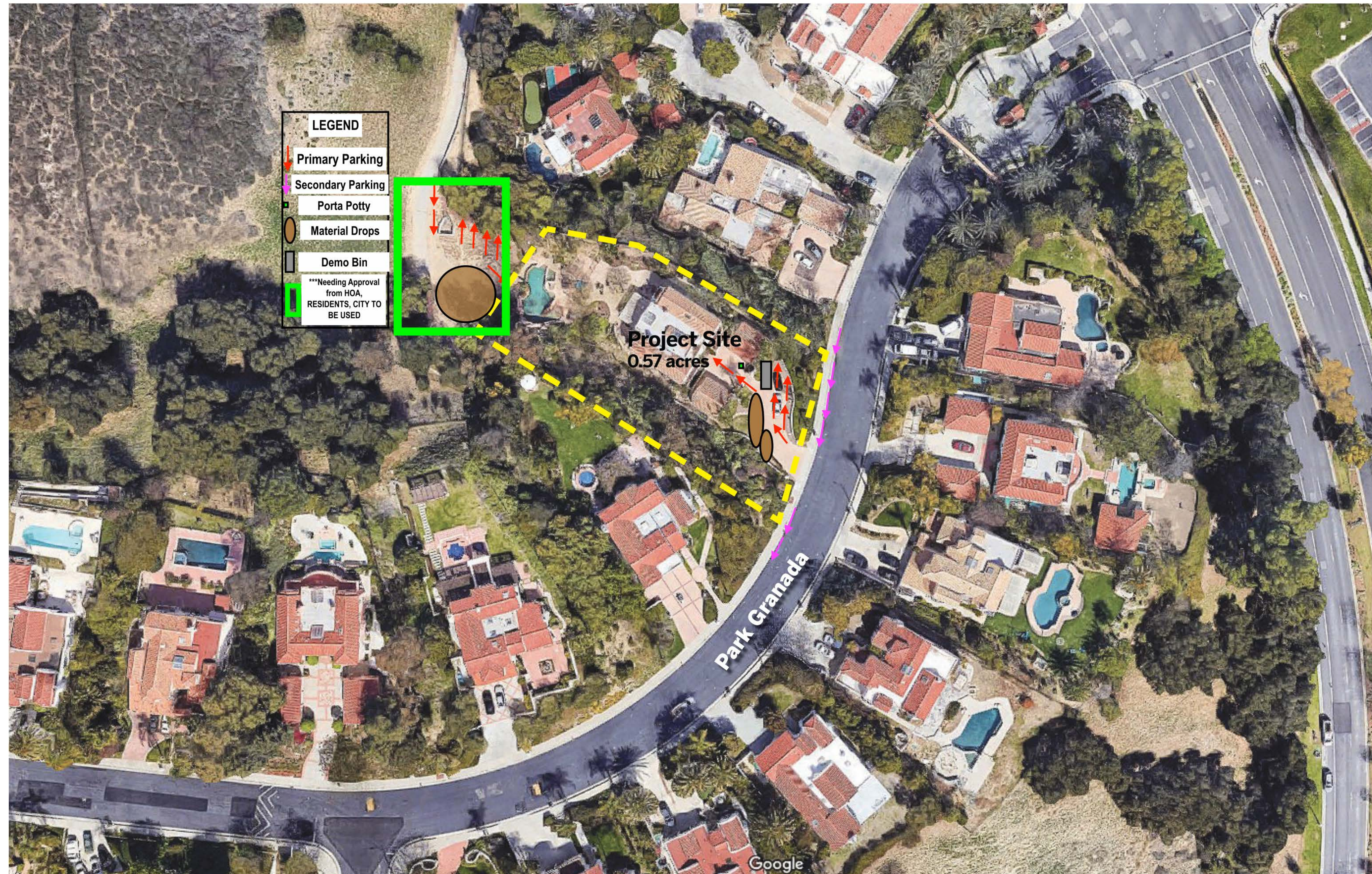
The following, mutually agreed, conditions, will be implemented during the Construction process:

1. Schedule.
 - a. The duration of the project will be no more than 18 months from the date of mobilization on the project unless an extension of this period is necessary due to factors or issues which are beyond the control of Owners or Owners' contractor. In the event Owner believes that the 18-month duration cannot be met, Owner shall submit a request to Westridge which specifies in detail the reasons why the 18-month time period cannot be met, provide supporting documentation for same as well as a revised CPM construction schedule depicting the extended schedule. Westridge shall not unreasonably withhold approval for an extension which is properly documented. (Mobilization is defined as the first date the Contractor has workers on the project site post city permit approval.)
 - b. Owners to provide to Westridge, through their Contractor, a milestone schedule of activities to be met to assure completion of the project within the 18 month or shorter duration.
2. Conditions to be maintained during Construction:
 - a. When the number of vehicles parking on the street, in front of the site, exceeds 6, the Owners will assure that their contractor has their additional workers park at an offsite location to avoid congestion on the steep grade of Park Granada in front of the project. If the rear of the property can be used for vehicle parking, the owners will utilize that area when permitted

- a. as the primary parking area if approved by the city and supported by Westridge.
- b. Dumpsters must always be kept in the driveway and never in the street
- c. No material for the project may be stored on the street or sidewalk or on Common Area.
- d. The Owners must assure that their contractor is prepared to provide traffic control when trucks, larger than 30 ft, are entering or exiting from the site onto Park Granada.
- e. The Owners must assure that their contractor and subcontractors maintain adequate property damage and liability insurance, in case of accidents caused by trucks entering or leaving the site. Westridge must be named as an additional insured under these policies and a copy of the policies provided to Westridge before construction begins.
- f. Porta-toilets for the workers will be placed on the project site out of view of passing motorists.
- g. The Owners shall accompany Westridge on a site visit, when requested, to observe that progress is being maintained in accordance with the plans & schedule provided. Each of these site visits must be approved by the owners and are at the owner's discretion as this request is outside the CCR's.

3. Failure to Comply
Westridge will follow these steps if there is a Failure to Comply on how it will communicate with the owner.

1. Text or email the owner if there is an issue
2. Will call the owners phone if issue still not resolved in a reasonable amount of time.
3. Request the Owner inform them in writing via email what has been done to resolve the issue
4. Will give you a certain number of warnings
5. A fine is imposed if the issue remains unresolved after 72 hours if it is correctable within that period or if the same issue occurs over and over and over without substantial effort on your part to ensure compliance



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Sheet:

CONSTRUCTION LOGISTICS

A008

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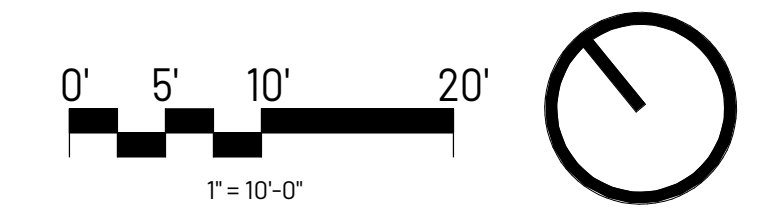
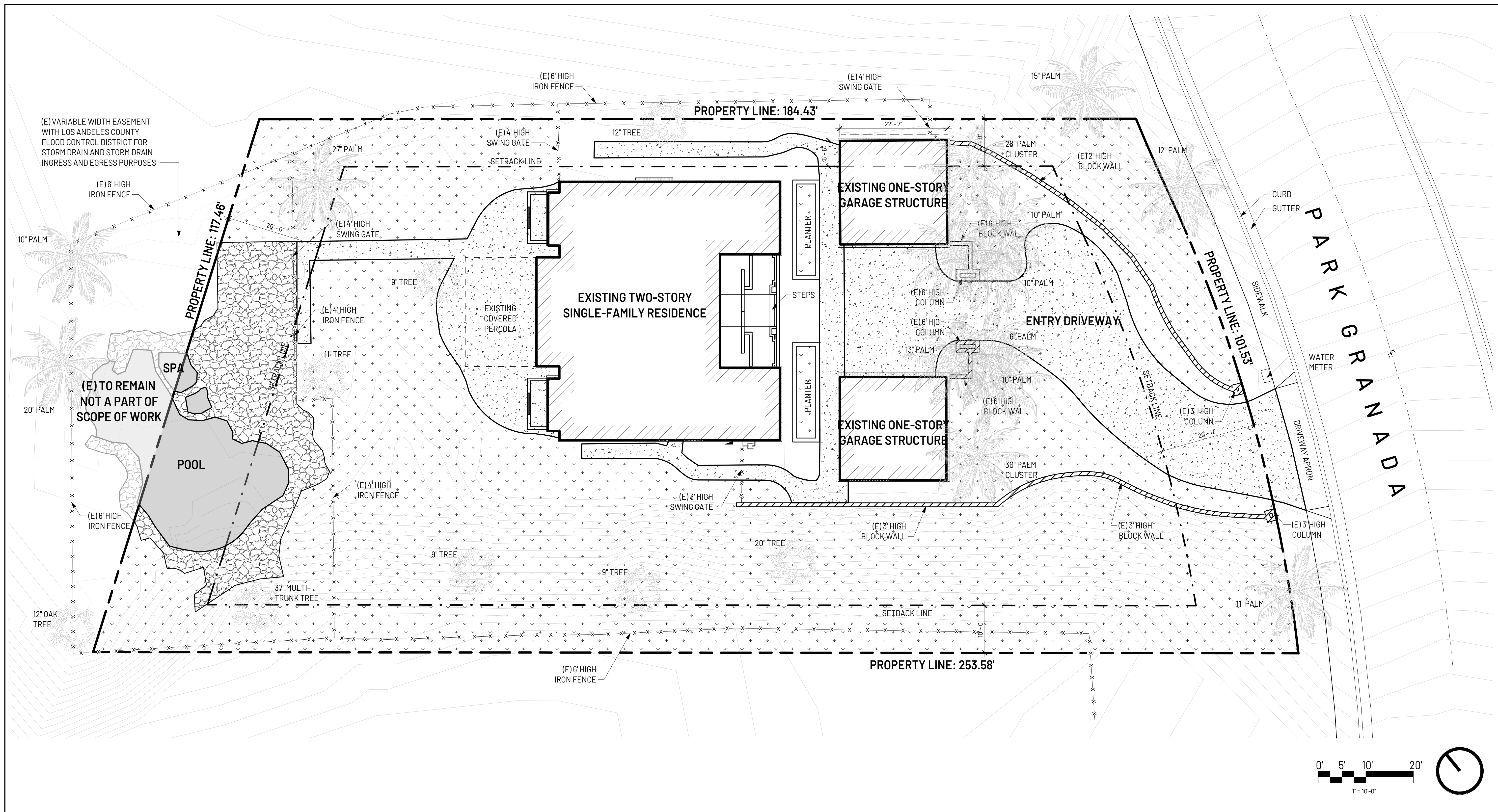
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Sheet:

EXISTING SITE PLAN

A100



EXISTING SITE PLAN SCALE: 1" = 10'-0" 1

- BUILDINGS
- LANDSCAPE
- ROCKS
- CONCRETE OR PAVED AREA
- CONCRETE BLOCK WALL
- PROPERTY LINE
- SETBACK LINE
- FENCE LINE

SITE SYMBOL LEGEND

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GENERAL NOTES SITE PLAN

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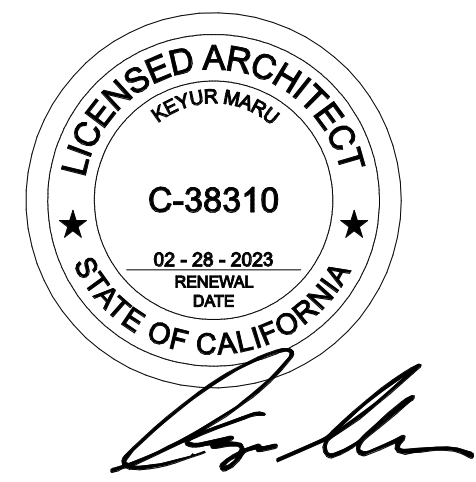
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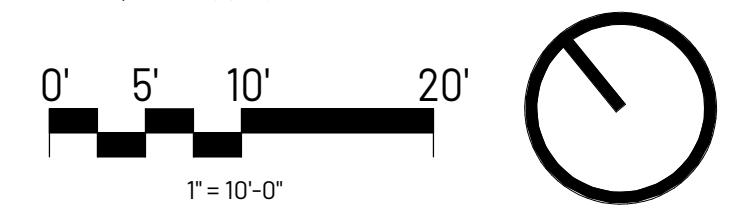
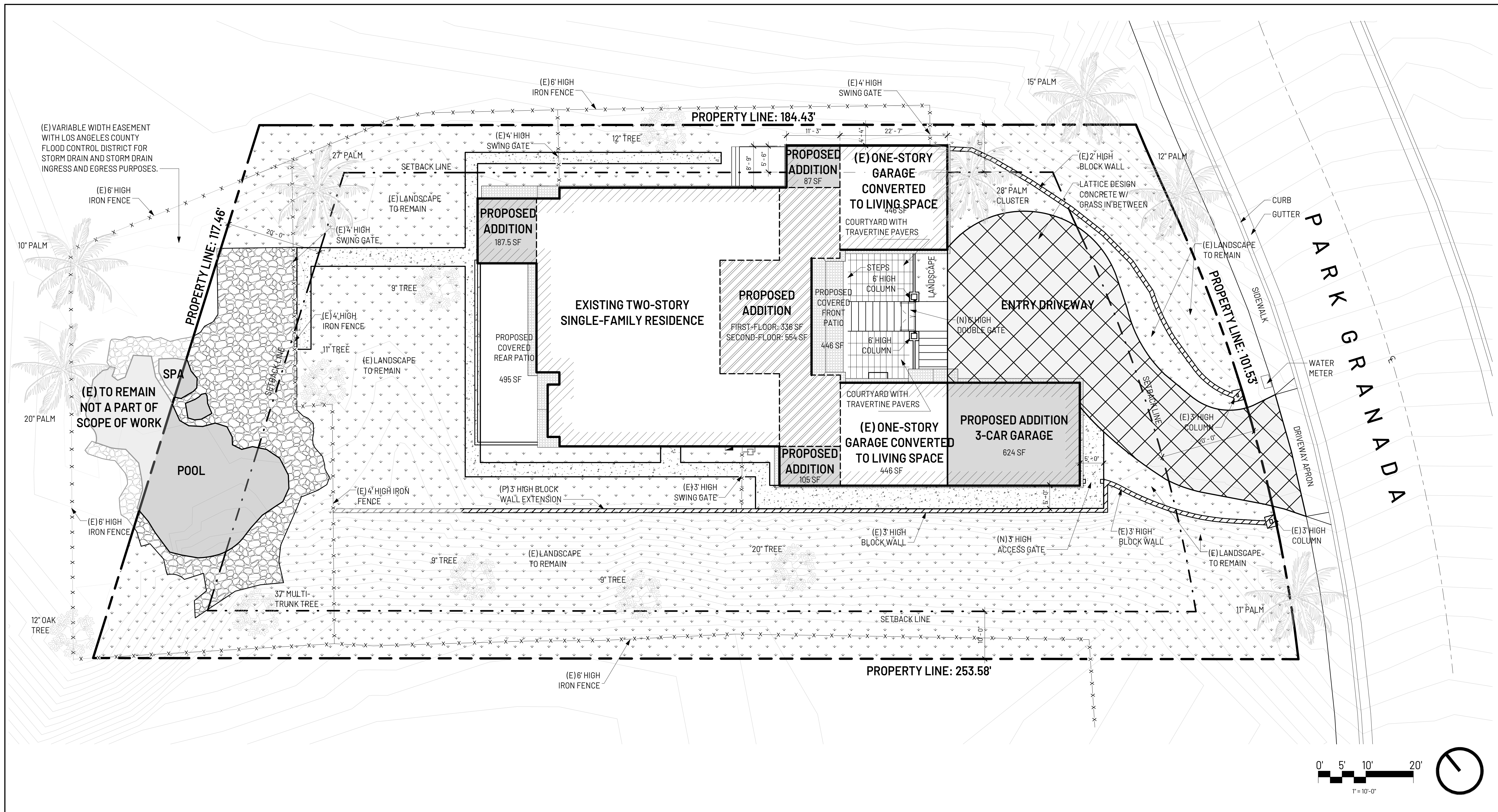
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Sheet:

PROPOSED SITE PLAN

A101



PROPOSED SITE PLAN SCALE: 1" = 10'-0" 1

PER SECTION 17.72.02(B)(1)(a)
A. SHALL NOT EXTEND FARTHER THAN EXISTING PORTION OF BUILDING THAT ENROACHES INTO SETBACK
B. SHALL NOT HAVE AN AREA GREATER THAN 50% OF THE AREA OF EXISTING BUILDING THAT ENROACHES INTO SETBACK
EXISTING NON-CONFORMING SETBACK AREA
22'-7" x 5'-6" = 124.2 SF
50% OF EXISTING AREA = 62.1 SF
PROPOSED NON-CONFORMING BUILDING AREA
11'-3" x 5'-6" = 61.875 SF < 62.1 SF OK
C. SHALL NOT EXCEED 50% OF THE LENGTH OF THE EXISTING BUILDING THAT ENROACHES INTO SETBACK.
EXISTING NON-CONFORMING BUILDING LENGTH
22'-7" OF EXISTING BUILDING LENGTH = 11' - 3.5"
50% OF EXISTING BUILDING LENGTH = 11' - 3.5"
PROPOSED NON-CONFORMING BUILDING LENGTH
11'-3" < 11' - 3.5" OK

LOT SIZE:	24,960 SF
EXISTING BUILDING FOOTPRINT:	2,388 SF
ACCESSORY STRUCTURE 1:	490 SF
ACCESSORY STRUCTURE 2:	490 SF
TOTAL EXISTING SITE COVERAGE:	3,368 SF
PROPOSED ADDITION BUILDING FOOTPRINT:	2,359 SF
ADDITION TO ACCESSORY STRUCTURE 1:	0 SF
ADDITION TO ACCESSORY STRUCTURE 2:	0 SF
TOTAL PROPOSED SITE COVERAGE:	2,359 SF
TOTAL SITE COVERAGE:	3,368 SF (EXISTING) + 2,359 SF (PROPOSED) = 5,727 SF (TOTAL)
% OF SITE COVERAGE:	5,727 (TOTAL) / 24,960 SF (LOT SIZE) = 23% < 35% (MAX) OK

LOT SIZE:	24,960 SF
EXISTING BUILDING FOOTPRINT:	2,388 SF
DRIVEWAY:	2,245 SF
HARDSCAPE:	3,268 SF
ACCESSORY STRUCTURE 1:	490 SF
ACCESSORY STRUCTURE 2:	490 SF
TOTAL EXISTING IMPERVIOUS SURFACES:	8,881 SF
PROPOSED ADDITION BUILDING FOOTPRINT:	2,359 SF
ADDITION TO DRIVEWAY:	495 SF
ADDITION TO HARDSCAPE:	0 SF
ADDITION TO ACCESSORY STRUCTURE 1:	0 SF
ADDITION TO ACCESSORY STRUCTURE 2:	0 SF
TOTAL PROPOSED IMPERVIOUS SURFACES:	2,854 SF

TOTAL IMPERVIOUS SURFACES:	8,881 SF (EXISTING) + 2,854 SF (PROPOSED) = 11,735 SF (TOTAL IMPERVIOUS)
TOTAL PERVIOUS SURFACES:	24,960 SF (LOT SIZE) - 11,735 SF (TOTAL IMPERVIOUS) = 13,225 SF (TOTAL PERVIOUS)
% OF SITE PERVIOUS SURFACES:	13,225 SF (TOTAL PERVIOUS) / 24,960 SF (LOT SIZE) = 53%

BUILDINGS	PROPOSED FIRST & SECOND STORY ADDITION
LANDSCAPE	PROPOSED FIRST STORY ONLY ADDITION
ROCKS	
CONCRETE OR PAVED AREA	
CONCRETE BLOCK WALL	
PROPERTY LINE	
SETBACK LINE	
FENCE LINE	

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NON-CONFORMING SETBACK CALCULATION

SITE COVERAGE CALCULATION

PERVIOUS SURFACE CALCULATION

SITE SYMBOL LEGEND

GENERAL NOTES SITE PLAN

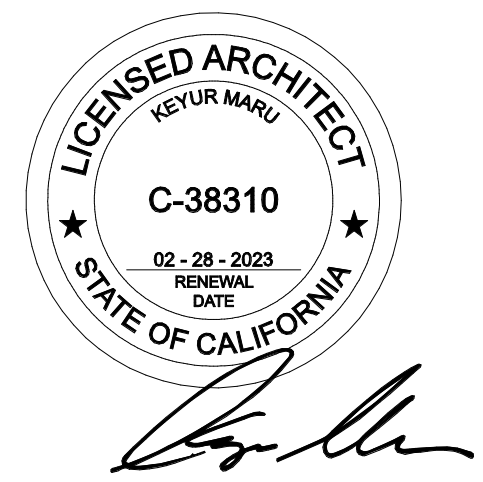
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EXISTING FIRST LEVEL PLAN

A200

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT

PARTITION RATING

■ FULL HEIGHT NON-RATED WALL

□ PARTIAL HEIGHT NON-RATED WALL

▨ EXISTING TYPE-V WALL TO BE DEMOLISHED

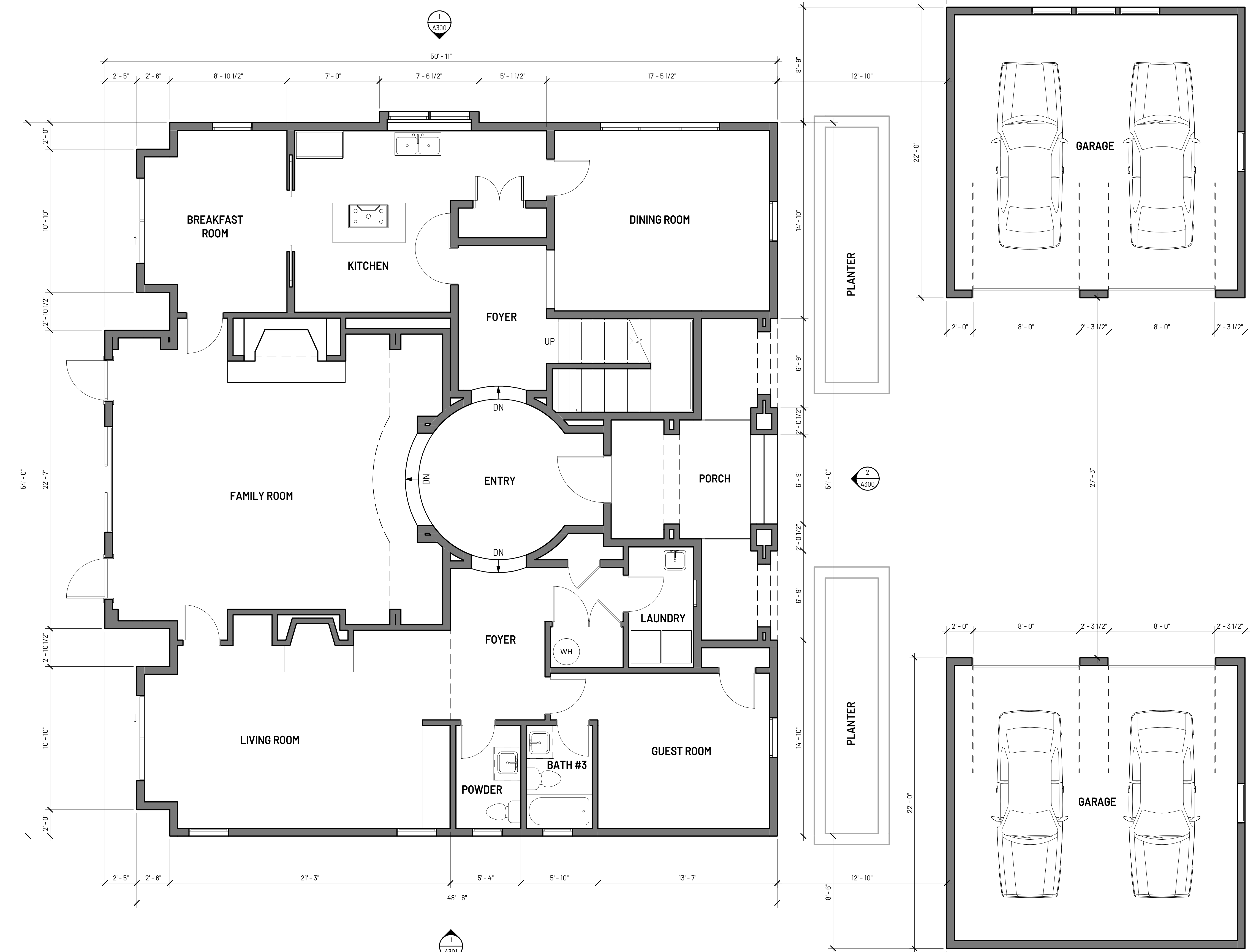
WALL ASSEMBLY LEGEND

XXX WALL ASSEMBLY TYPE

SEE SHEET A801 FOR INTERIOR & EXTERIOR ASSEMBLY DETAIL

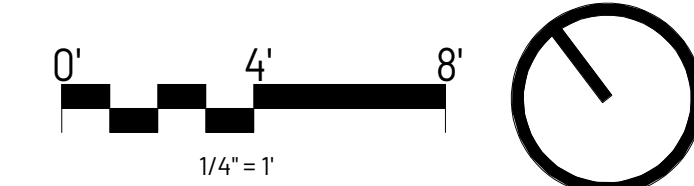
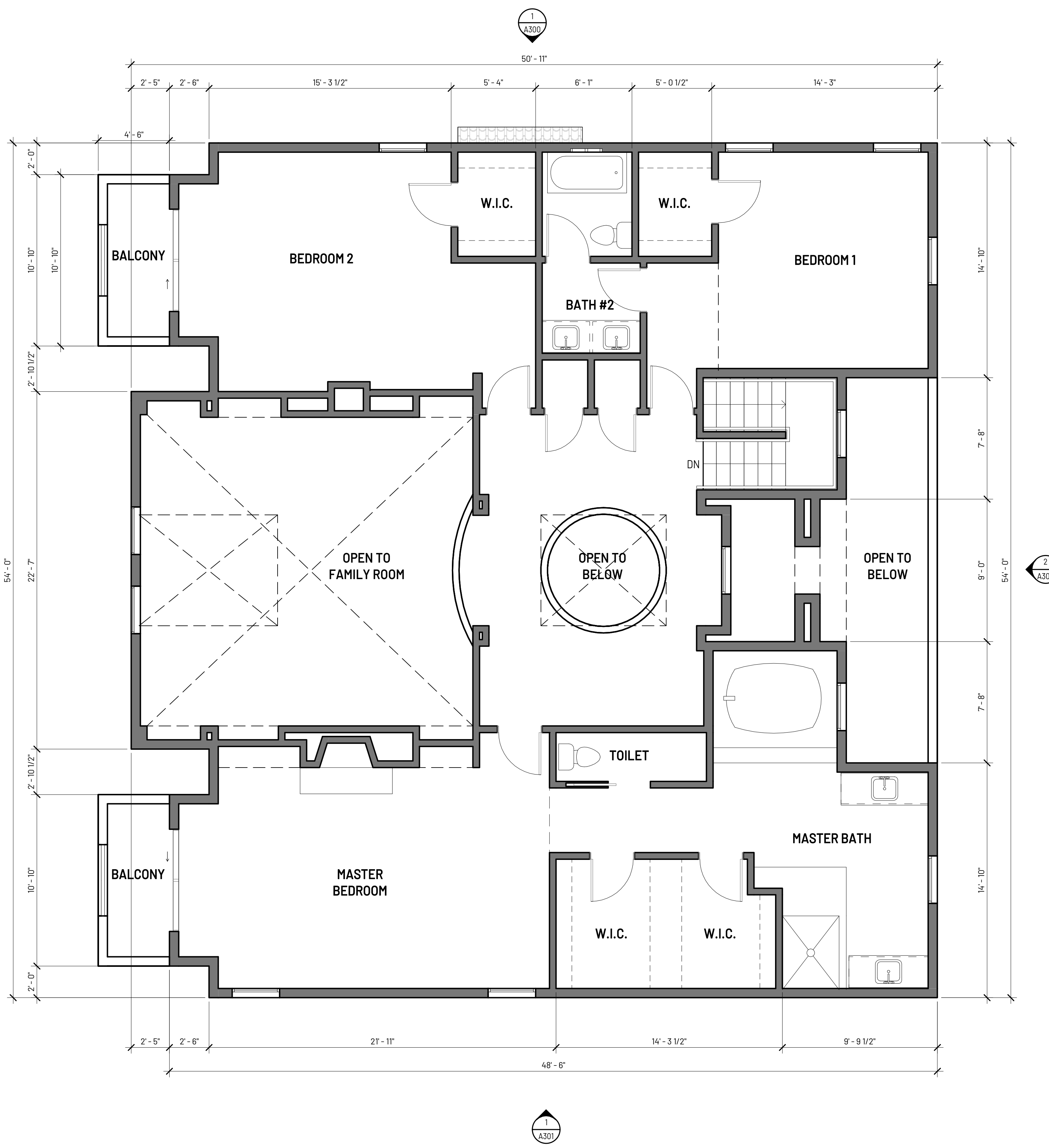
WALL LEGEND

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- ALL DIMENSIONS ARE TO THE FACE OF STUDS, FACE OF CONCRETE OR MASONRY, AND CENTERLINE OF, UNLESS NOTED OTHERWISE. ALL DIMENSIONS NOTED AS "CLEAR" SHALL BE TO FACE OF FINISH.
- REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
- REFER TO STRUCTURAL FOR WALL FRAMING INFORMATION, U.N.O.
- 6" EXTERIOR WALLS SHALL HAVE R-19 INSULATION (4" WALLS SHALL HAVE R-13). ROOFS SHALL HAVE R-30 INSULATION. VERIFY WITH TITLE 24 REPORT.
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS, OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.
- EXTERIOR GLAZING: EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTI LAYERED GLAZED PANELS. GLASS BLOCK OR HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- EXTERIOR DOORS: EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, SOLID CORE WOOD NOT LESS THAN 1-3/4" THICK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL ALSO HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- HANDRAILS SHALL COMPLY WITH THE FOLLOWING:
 - TOP OF HANDRAIL SHALL BE PLACED BETWEEN 34" & 38" ABOVE LANDINGS AND THE NOSING OF THE TREAD.
 - HANDGRIP SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION WITH NO SHARP CORNERS.
 - HANDRAILS PROJECTING FROM THE WALL SHALL NOT HAVE LESS THAN 1-1/2" BETWEEN WALL AND THE HANDRAIL.
- DRYER VENT SHALL BE VENTED TO THE OUTSIDE AND SHALL NOT EXCEED 14' DISTANCE WITH MAX (2) 90° ELBOWS. EACH ADDITIONAL ELBOW SHALL REDUCE THE MAX LENGTH BY 2'.
- SHOWERS AND SHOWER/TUB SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.



EXISTING FIRST LEVEL PLAN SCALE: 1/4" = 1'-0" 1

GENERAL NOTES FLOOR PLAN



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT

PARTITION RATING	WALL ASSEMBLY LEGEND
FULL HEIGHT NON-RATED WALL	WALL ASSEMBLY TYPE SEE SHEET A801 FOR INTERIOR & EXTERIOR ASSEMBLY DETAIL
PARTIAL HEIGHT NON-RATED WALL	
EXISTING TYPE-V WALL TO BE DEMOLISHED	

WALL LEGEND

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Sheet:
**EXISTING SECOND
LEVEL PLAN**

A201

CLIENT:

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DRAWING DATA:

PROJECT NO	220625
ISSUE DATE	04.01.2022
SCALE	As indicated
DRAWN BY	Author
SHEET SIZE	24" x 36"

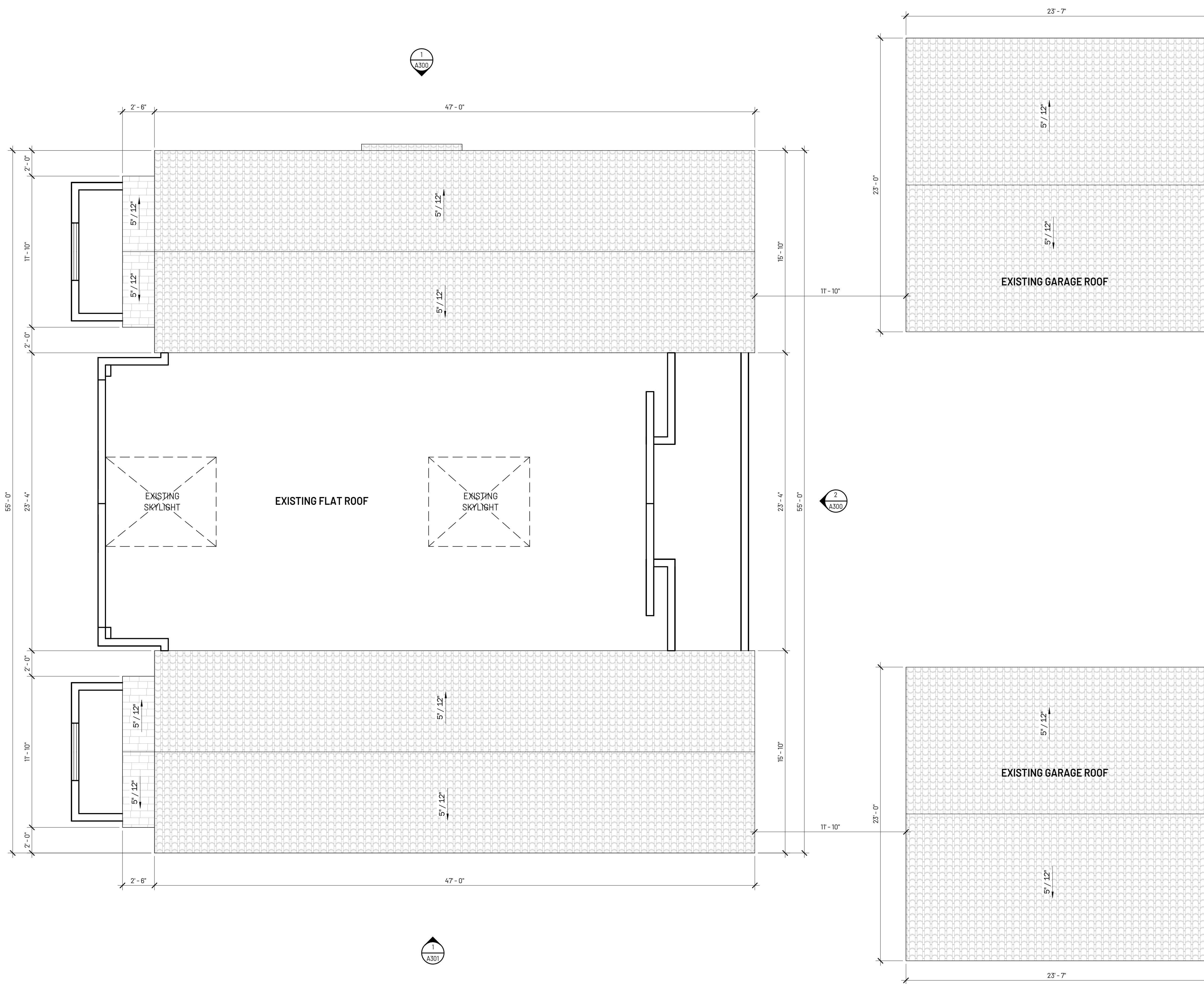
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Sheet:

**EXISTING ROOF
PLAN**

A202

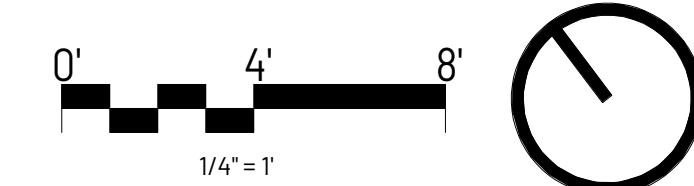
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT



PARTITION RATING	WALL ASSEMBLY LEGEND
[Pattern] FULL HEIGHT NON-RATED WALL	[Pattern] WALL ASSEMBLY TYPE SEE SHEET A801 FOR INTERIOR & EXTERIOR ASSEMBLY DETAIL
[Pattern] PARTIAL HEIGHT NON-RATED WALL	
[Pattern] EXISTING TYPE-V WALL TO BE DEMOLISHED	

WALL LEGEND

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- REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
- REFER TO STRUCTURAL FOR WALL FRAMING INFORMATION. U.N.O.
- GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
- UNDERSIDES OF EAVES SHALL BE PROTECTED IGNITION- RESISTANT MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION.



CLIENT:

BARRY DADON

23939 PARK GRANADA,
CALABASAS, CA 91302

TEL: 310.905.9943
EMAIL: BARRYDADON@GMAIL.COM

PROJECT:

DADON RESIDENCE

23939 PARK GRANADA,
CALABASAS, CA 91302

REVISION:

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Sheet:

**FIRST FLOOR
DEMO PLAN**

A203

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT

FIRST FLOOR

LENGTH OF WALLS TO BE DEMOLISHED: 233' - 9"
TOTAL PERIMETER WALL LENGTH: 40' - 0"
DEMOLITION PERCENTAGE: = 40' / 233' - 9" = 18%

SECOND FLOOR

LENGTH OF WALLS TO BE DEMOLISHED: 233' - 9"
TOTAL PERIMETER WALL LENGTH: 33' - 6"
DEMOLITION PERCENTAGE: = 33' - 6" / 233' - 9" = 15%

EXTERIOR WALL DEMOLITION CALCULATION

PARTITION RATING

- FULL HEIGHT NON-RATED WALL
- PARTIAL HEIGHT NON-RATED WALL
- EXISTING TYPE-V WALL TO BE DEMOLISHED

WALL ASSEMBLY LEGEND

- WALL ASSEMBLY TYPE
- SEE SHEET A801 FOR INTERIOR & EXTERIOR ASSEMBLY DETAIL

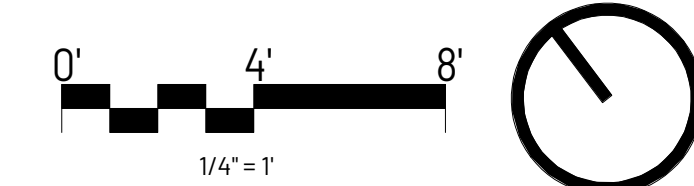
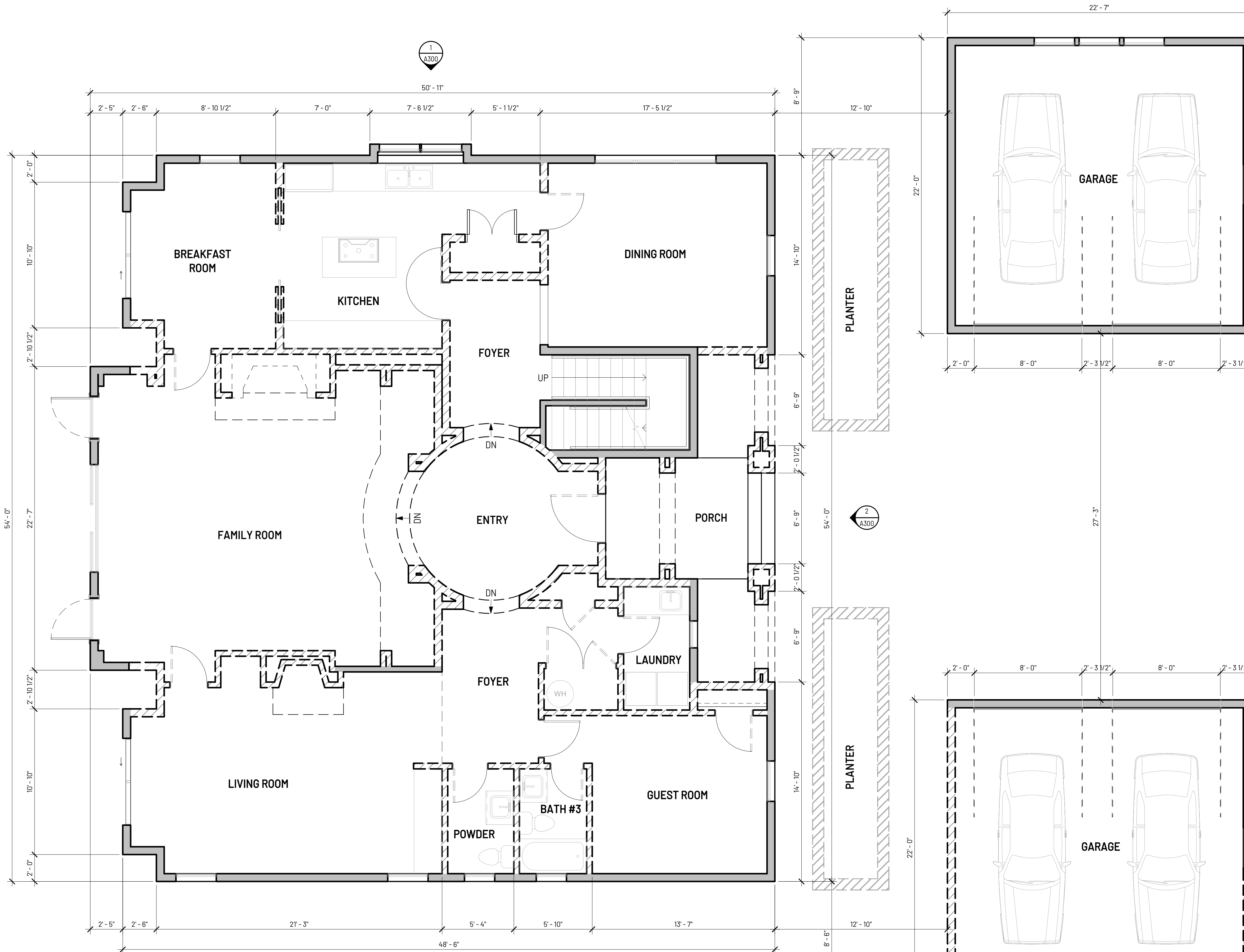
WALL LEGEND

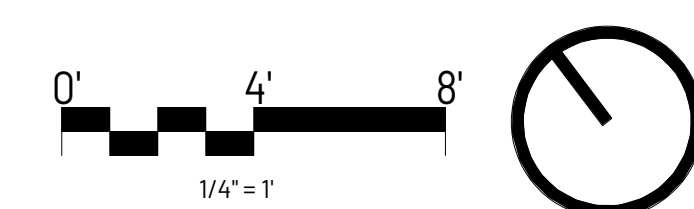
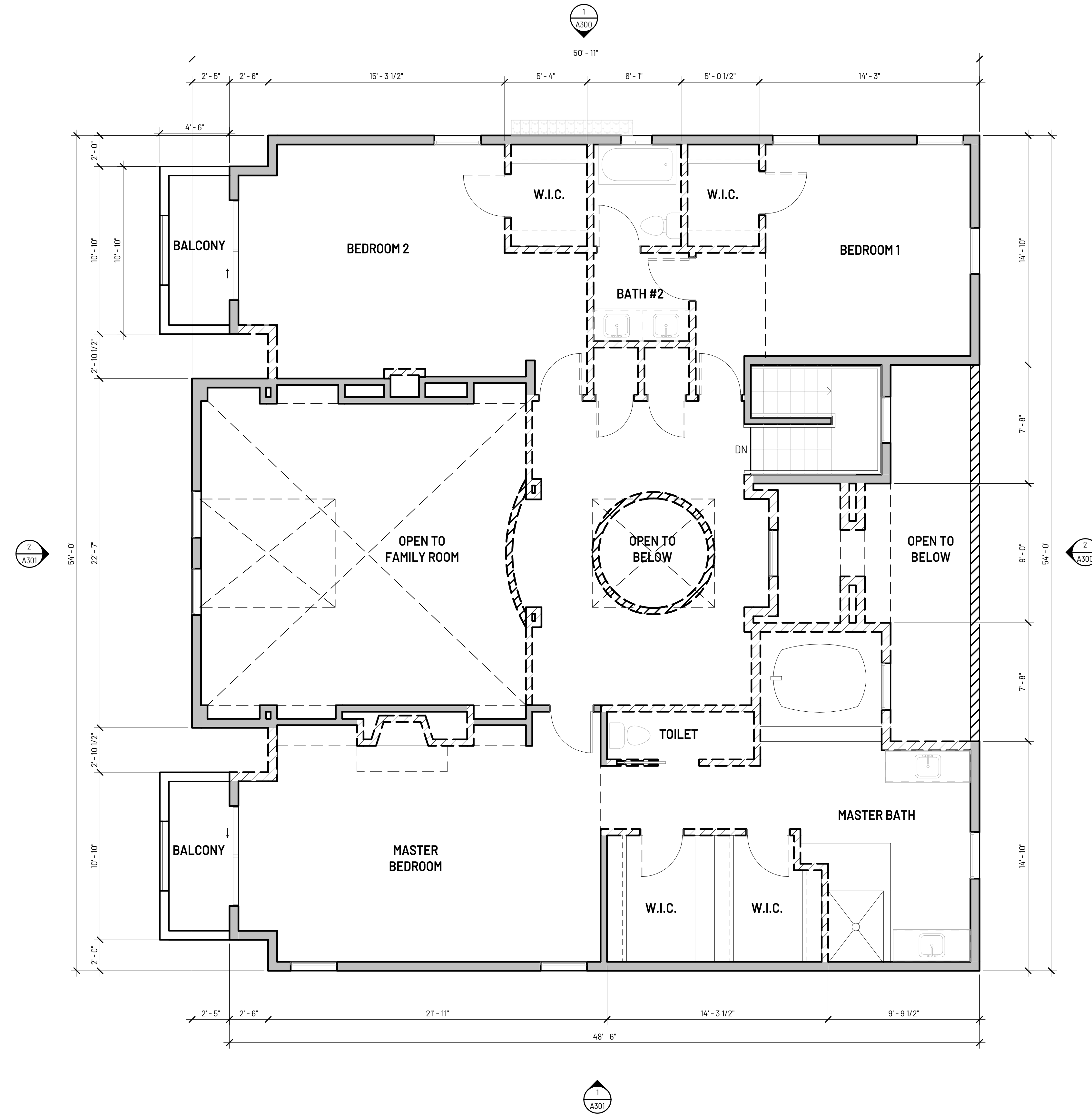
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- 6" EXTERIOR WALLS SHALL HAVE R-19 INSULATION (4" WALLS SHALL HAVE R-13). ROOFS SHALL HAVE R-30 INSULATION, VERIFY WITH TITLE 24 REPORT.
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS, OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.
- EXTERIOR GLAZING: EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTI LAYERED GLAZED PANELS, GLASS BLOCK OR HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- EXTERIOR DOORS: EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, SOLID CORE WOOD NOT LESS THAN 1-3/4" THICK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL ALSO HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
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 - HANDGRIP SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION WITH NO SHARP CORNERS.
 - HANDRAILS PROJECTING FROM THE WALL SHALL NOT HAVE LESS THAN 1-1/2" BETWEEN WALL AND THE HANDRAIL.
- DRYER VENT SHALL BE VENTED TO THE OUTSIDE AND SHALL NOT EXCEED 14' DISTANCE WITH MAX (2) 90° ELBOWS. EACH ADDITIONAL ELBOW SHALL REDUCE THE MAX LENGTH BY 2'.
- SHOWERS AND SHOWER/TUB SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.

FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES FLOOR PLAN





KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT

FIRST FLOOR	
LENGTH OF WALLS TO BE DEMOLISHED:	233' - 9"
TOTAL PERIMETER WALL LENGTH:	40' - 0"
DEMOLITION PERCENTAGE:	= 40' / 233' - 9" = 18%
SECOND FLOOR	
LENGTH OF WALLS TO BE DEMOLISHED:	233' - 9"
TOTAL PERIMETER WALL LENGTH:	33' - 6"
DEMOLITION PERCENTAGE:	= 33' - 6" / 233' - 9" = 15%

EXTERIOR WALL DEMOLITION CALCULATION

PARTITION RATING	WALL ASSEMBLY LEGEND
FULL HEIGHT NON-RATED WALL	WALL ASSEMBLY TYPE SEE SHEET A801 FOR INTERIOR & EXTERIOR ASSEMBLY DETAIL
PARTIAL HEIGHT NON-RATED WALL	
EXISTING TYPE-V WALL TO BE DEMOLISHED	

WALL LEGEND

1. DRAWINGS ARE ONLY REPRESENTATIVE OF CRITICAL DIMENSIONS, LAYOUT AND CLEARANCES. ALL FINISHES, MATERIALS, DETAILS TO BE VERIFIED DURING CONSTRUCTION WITH OWNER.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK.
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6. REFER TO STRUCTURAL FOR WALL FRAMING INFORMATION, U.N.O.
7. 6" EXTERIOR WALLS SHALL HAVE R-19 INSULATION (4" WALLS SHALL HAVE R-13). ROOFS SHALL HAVE R-30 INSULATION, VERIFY WITH TITLE 24 REPORT.
8. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS, OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.
9. EXTERIOR GLAZING: EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTI LAYERED GLAZED PANELS, GLASS BLOCK OR HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
10. EXTERIOR DOORS: EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, SOLID CORE WOOD NOT LESS THAN 1-3/4" THICK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL ALSO HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
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 - c. HANDRAILS PROJECTING FROM THE WALL SHALL NOT HAVE LESS THAN 1-1/2" BETWEEN WALL AND THE HANDRAIL.
12. DRYER VENT SHALL BE VENTED TO THE OUTSIDE AND SHALL NOT EXCEED 14' DISTANCE WITH MAX (2) 90° ELBOWS. EACH ADDITIONAL ELBOW SHALL REDUCE THE MAX LENGTH BY 2'.
13. SHOWERS AND SHOWER/TUB SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.

CLIENT:

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PROJECT:

DADON RESIDENCE

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REVISION:

MARK	DESCRIPTION	DATE

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DRAWING DATA:

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ISSUE DATE	04.01.2022
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DRAWN BY	Author
SHEET SIZE	24" x 36"

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Sheet:

**SECOND FLOOR
DEMO PLAN**

A204

CLIENT:

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TEL: 310.905.9943
EMAIL: BARRYDADON@GMAIL.COM

PROJECT:

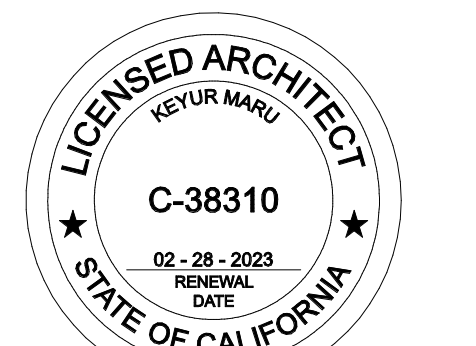
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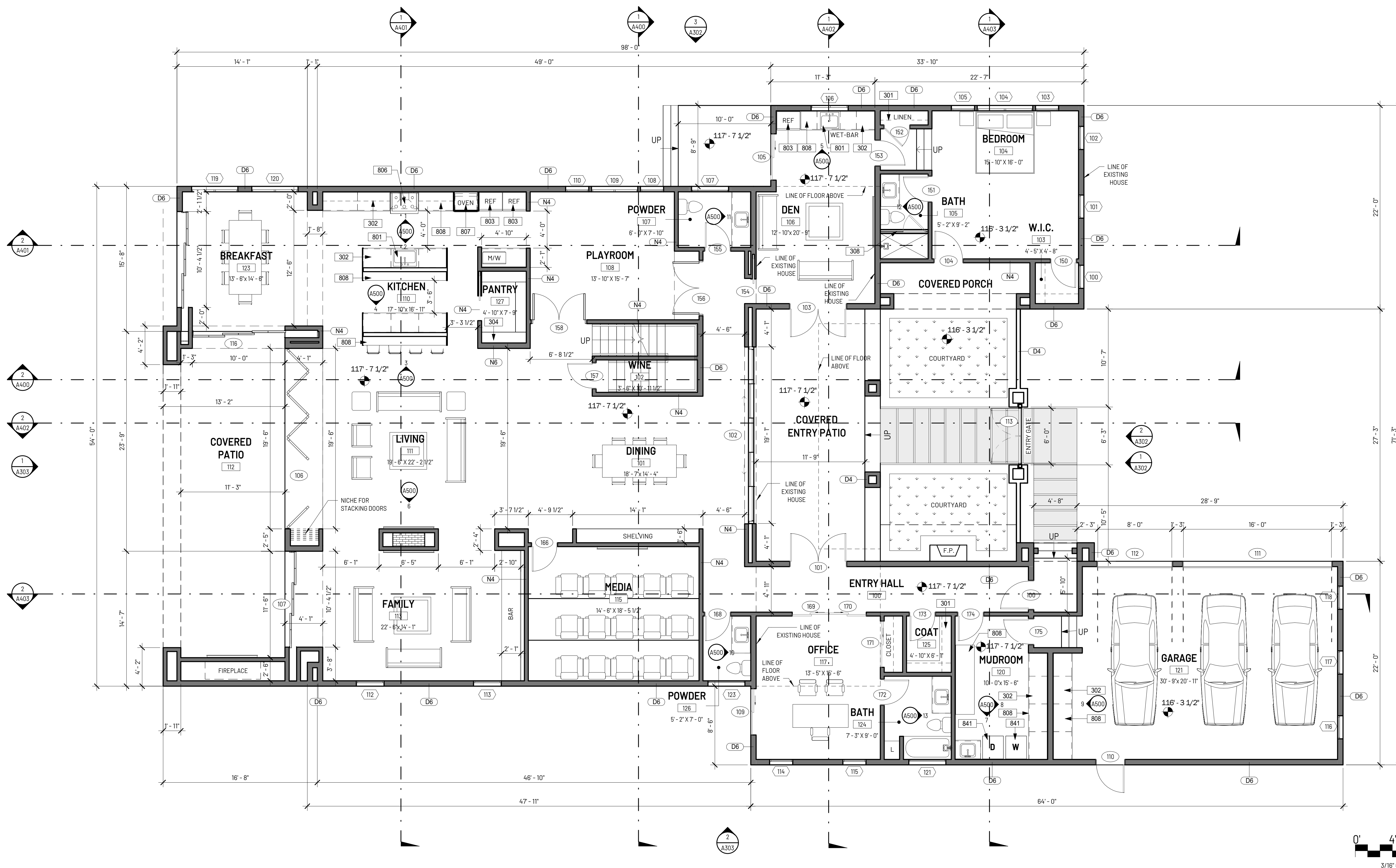
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Sheet:

PROPOSED FIRST LEVEL PLAN

A205



FIRST LEVEL FLOOR PLAN SCALE: 3/16" = 1'-0" 1

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
301	BUILT-IN CLOSET SHELF & ROD
302	BUILT-IN CABINETS, UPPERS SHOWN DASHED
304	BUILT-IN SHELVING
308	SHOWER GLASS DOOR, TEMPERED
801	KITCHEN SINK W/ GARBAGE DISPOSAL
803	REFRIGERATOR, OWNER SELECTED. ROUGH PLUMBING PER MANUF. SPECIFICATIONS
806	RANGE, PROVIDE GAS STUB & 220 ELECTRICAL
807	MICROWAVE, OWNER SELECTED
808	COUNTERTOP
841	WASHER/DRYER

PARTITION RATING		WALL ASSEMBLY LEGEND	
	FULL HEIGHT NON-RATED WALL		WALL ASSEMBLY TYPE
	PARTIAL HEIGHT NON-RATED WALL		SEE SHEET A801 FOR INTERIOR & EXTERIOR ASSEMBLY DETAIL

WALL LEGEND

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GENERAL NOTES FLOOR PLAN

CLIENT:

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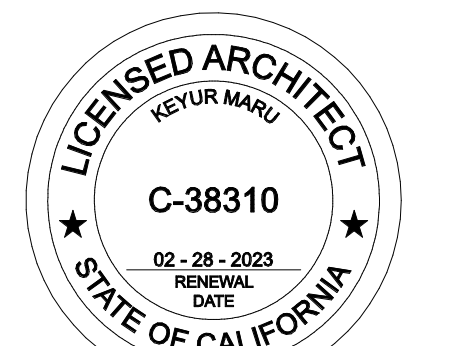
DADON RESIDENCE

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REVISION:

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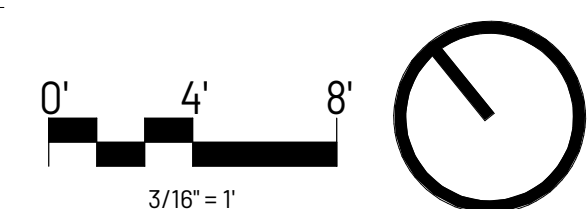
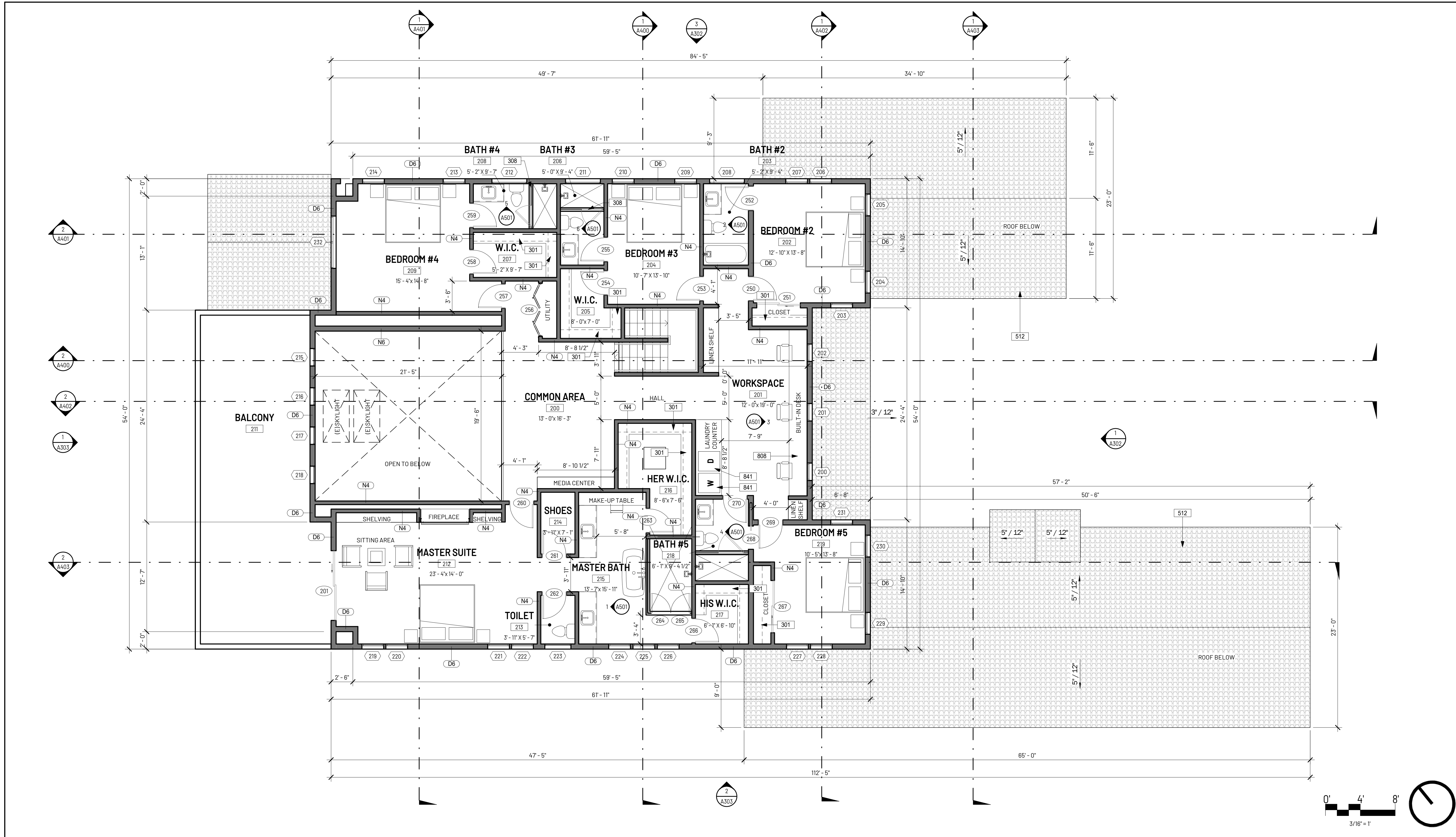
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Sheet:

**PROPOSED
SECOND LVL PLAN**

A206



SECOND LEVEL FLOOR PLAN SCALE: 3/16" = 1'-0" 1

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
301	BUILT-IN CLOSET SHELF & ROD
308	SHOWER GLASS DOOR, TEMPERED
512	LIGHTWEIGHT CONCRETE TILE ROOF, CLASS A RATED, EAGLE ROOFING, CAPISTRANO - LMC 8402: SANTA CRUZ BLEND
808	COUNTERTOP
841	WASHER/DRYER

PARTITION RATING		WALL ASSEMBLY LEGEND	
	FULL HEIGHT NON-RATED WALL		WALL ASSEMBLY TYPE
	PARTIAL HEIGHT NON-RATED WALL		SEE SHEET A801 FOR INTERIOR & EXTERIOR ASSEMBLY DETAIL

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WALL LEGEND

GENERAL NOTES FLOOR PLAN

CLIENT:

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CALABASAS, CA 91302

TEL: 310.905.9943
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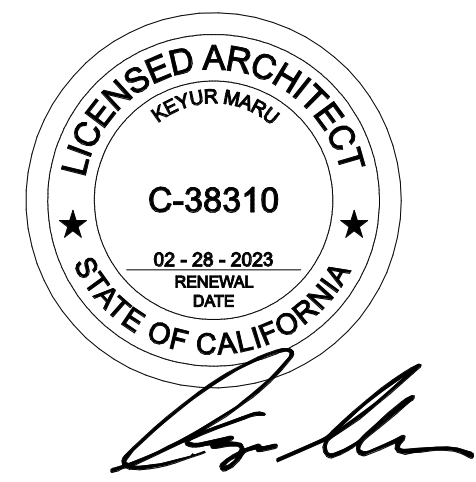
DADON RESIDENCE

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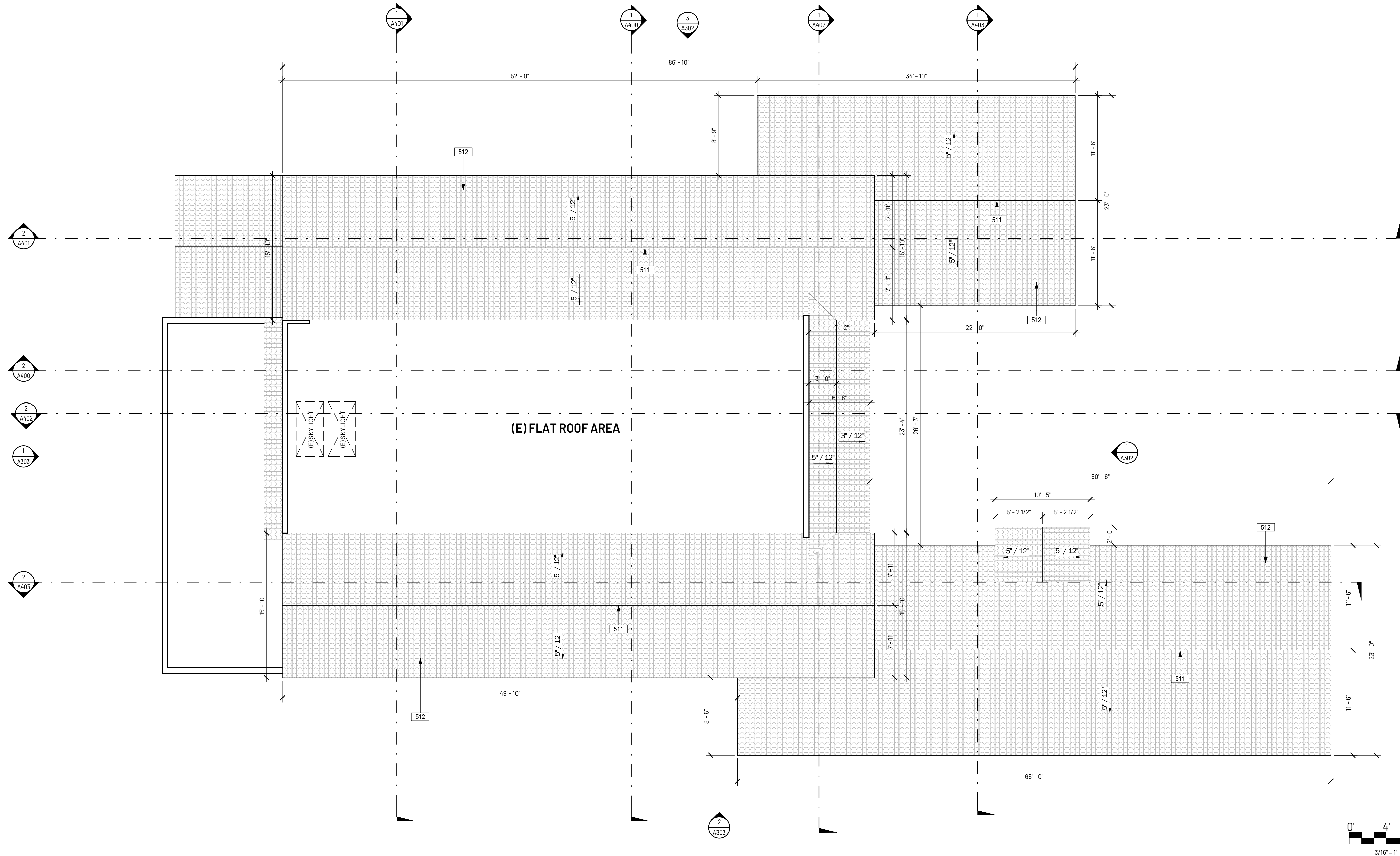
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Sheet:

PROPOSED ROOF PLAN

A207



TOP OF ROOF SCALE: 3/16" = 1'-0" 1

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
511	RIDGE
512	LIGHTWEIGHT CONCRETE TILE ROOF, CLASS A RATED, EAGLE ROOFING, CAPISTRANO - LMC 8402: SANTA CRUZ BLEND

PARTITION RATING		WALL ASSEMBLY LEGEND	
	FULL HEIGHT NON-RATED WALL		WALL ASSEMBLY TYPE
	PARTIAL HEIGHT NON-RATED WALL	SEE SHEET A801 FOR INTERIOR & EXTERIOR ASSEMBLY DETAIL	

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- UNDERSIDES OF EAVES SHALL BE PROTECTED IGNITION- RESISTANT MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION.

WALL LEGEND

GENERAL NOTES ROOF PLAN

CLIENT:

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EMAIL: BARRYDADON@GMAIL.COM

PROJECT:

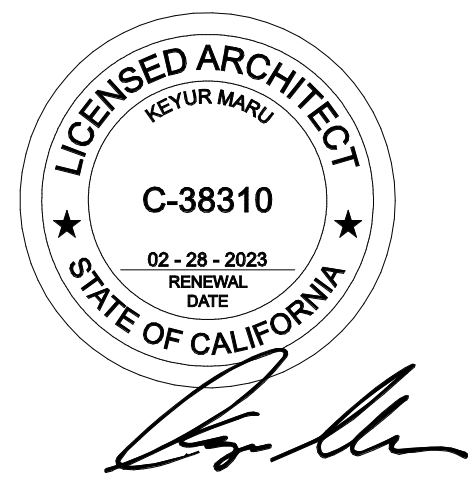
DADON RESIDENCE

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CALABASAS, CA 91302

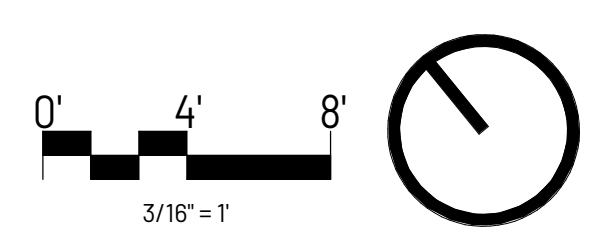
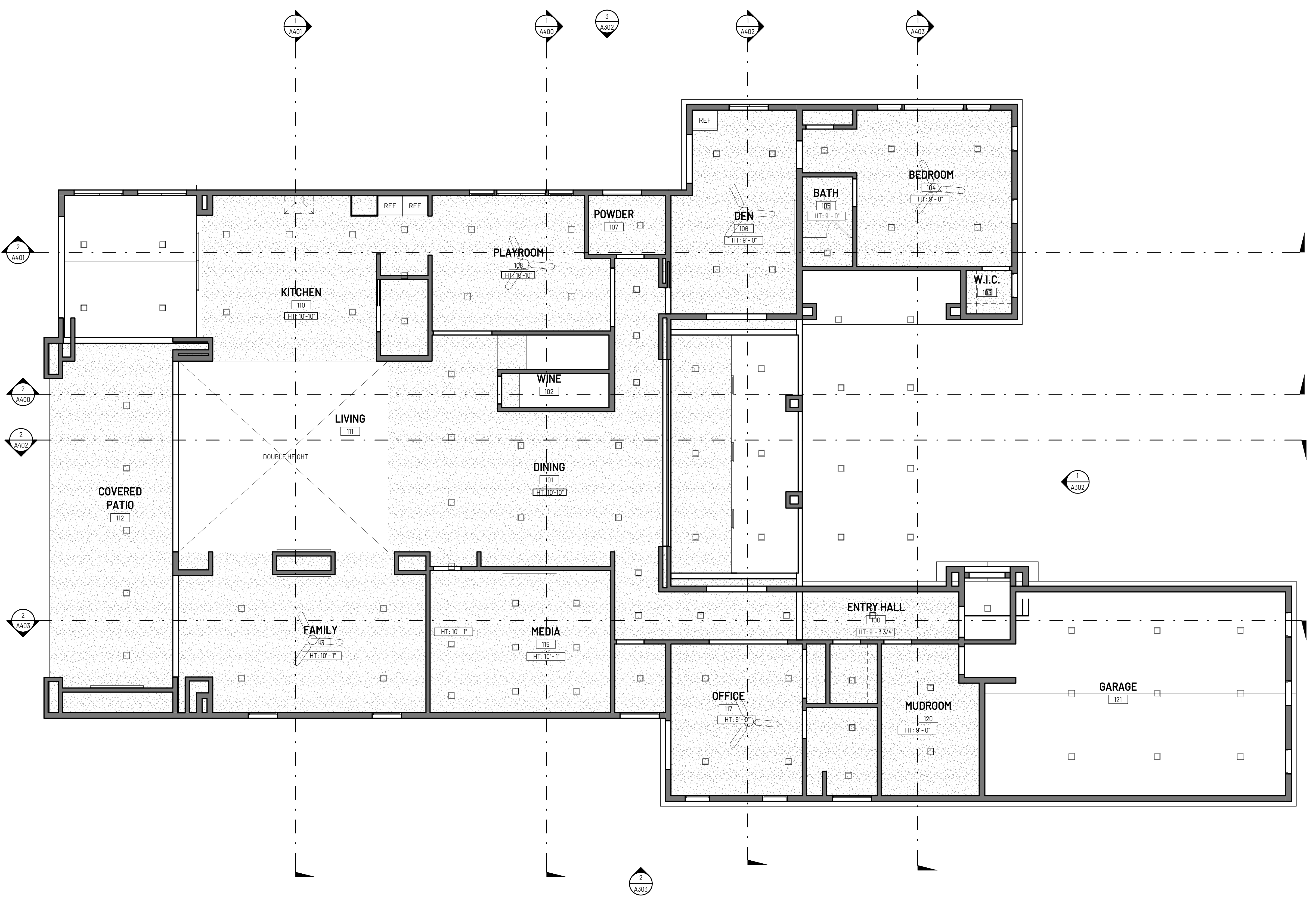
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MARK	DESCRIPTION	DATE

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FIRST LEVEL RCP **SCALE:** 3/16" = 1'-0" **1**

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT

- RCP SYMBOL LEGEND**
- [Square with dot] RECESSED CAN LIGHT FIXTURE, LED, HIGH EFFICACY
 - [Dashed line] ACCENT STRIP LIGHT, TO BE RECESSED INTO CEILING SOFFIT, LED, HIGH EFFICACY
 - [Ceiling fan symbol] CEILING FAN
 - [Square with X] EXHAUST AIR GRILLE, 50 CFM WITH HUMIDITY CONTROL
 - [Square with diagonal line] RETURN AIR GRILLE
 - [Square with cross] SUPPLY AIR GRILLE
 - [Circle with SD] COMBO SMOKE AND CARBON MONOXIDE ALARM, SHALL BE INTERCONNECTED HARD-WIRED W/BATTERY BACK UP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72

- CEILING TYPE - PATTERN LEGEND**
- [Stippled pattern] INTERIOR GYPSUM CEILING
 - [Dotted pattern] EXTERIOR GYPSUM CEILING
 - [Wood grain pattern] WOOD CEILING SLATS, ATTACHED TO GYPSUM BOARD CEILING
- RCP LEGEND**
- [Line with '14-6'] HT: 14'-6" CEILING HEIGHT A. F. F.
 - [Circle with dot] 6" ROUND RECESSED LIGHT

- GENERAL NOTES REFLECTED CEILING PLAN**
- DRAWINGS ARE ONLY REPRESENTATIVE OF CRITICAL DIMENSIONS, LAYOUT AND CLEARANCES. ALL FINISHES, MATERIALS, DETAILS TO BE VERIFIED DURING CONSTRUCTION WITH OWNER.
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 - REFER TO MECHANICAL & ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
 - SMOKE ALARM SHALL BE PROVIDED IN AREAS LEADING TO BEDROOMS & WITHIN EACH BEDROOM IN BOTH NEW & EXISTING PORTION OF THE RESIDENCE @ AT EACH LEVEL.
 - EXHAUST FANS IN PRIVATE TOILET ROOMS SHALL PROVIDE A MINIMUM OF 50 CFM AND BE CONTROLLED BY A HUMIDISTAT. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO THE EXTERIOR.
 - PER CRC R316.3, CARBON MONOXIDE ALARMS SHALL BE LOCATED OUTSIDE OF EACH SLEEPING AREA IN IMMEDIATE VICINITY OF BEDROOMS, ON EVERY LEVEL INCLUDING THE BASEMENT.

DRAWING DATA:

PROJECT NO	220625
ISSUE DATE	04.01.2022
SCALE	As indicated
DRAWN BY	Author
SHEET SIZE	24" x 36"

IF SHEET IS LESS THAN SIZE INDICATED ABOVE, THIS IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

Sheet: **PROPOSED FIRST FLOOR RCP**

A208

CLIENT:

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PROJECT:

DADON RESIDENCE

23939 PARK GRANADA,
CALABASAS, CA 91302

REVISION:

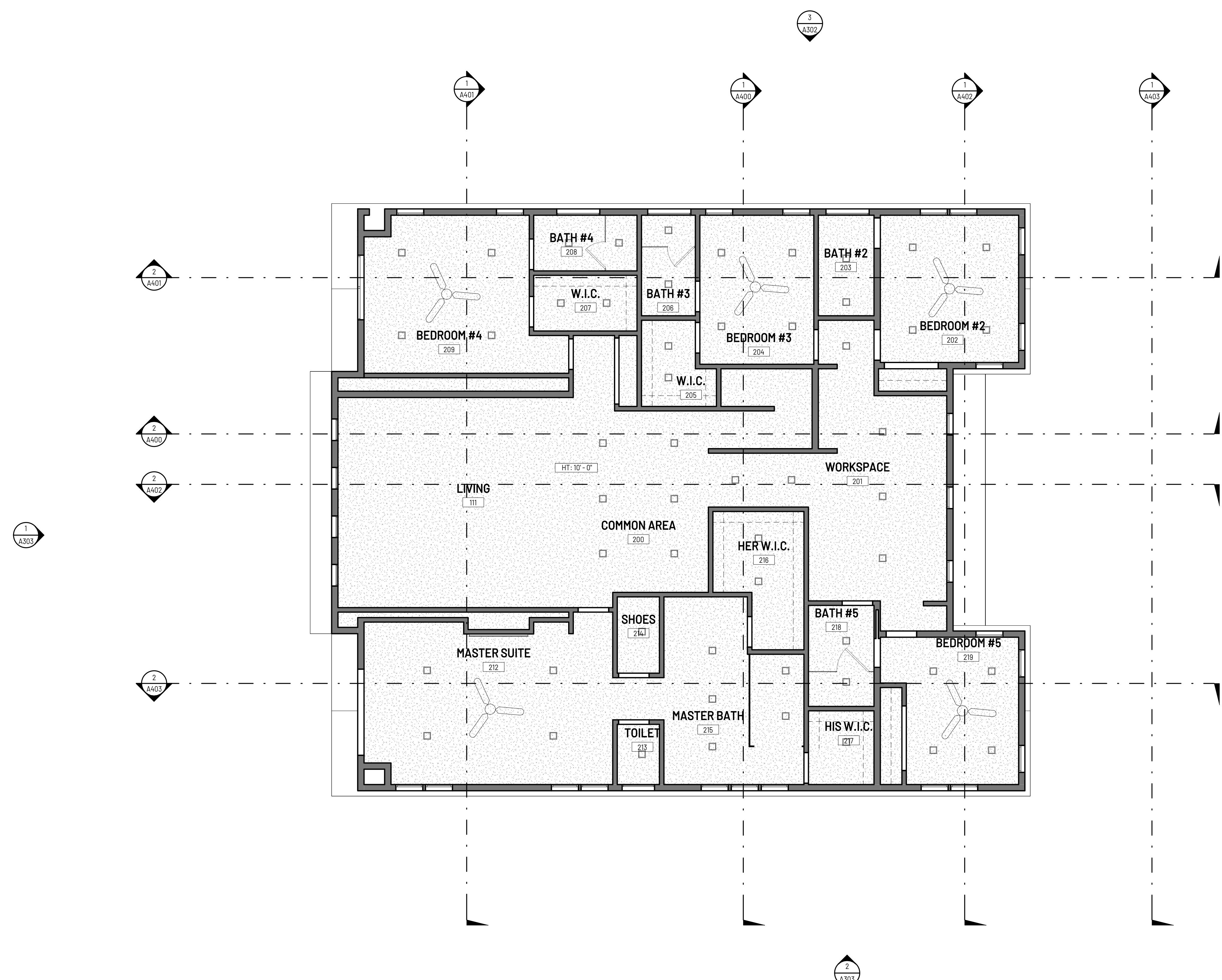
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SECOND LEVEL FLOOR PLAN SCALE: 3/16" = 1'-0" 1

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT

- RECESSED CAN LIGHT FIXTURE, LED, HIGH EFFICACY
- ACCENT STRIP LIGHT, TO BE RECESSED INTO CEILING SOFFIT, LED, HIGH EFFICACY
- CEILING FAN
- EXHAUST AIR GRILLE, 50 CFM, WITH HUMIDITY CONTROL
- RETURN AIR GRILLE
- SUPPLY AIR GRILLE
- COMBO SMOKE AND CARBON MONOXIDE ALARM, SHALL BE INTERCONNECTED HARD-WIRED W/BATTERY BACK UP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72

- CEILING TYPE - PATTERN LEGEND**
- INTERIOR GYPSUM CEILING
 - EXTERIOR GYPSUM CEILING
 - WOOD CEILING SLATS, ATTACHED TO GYPSUM BOARD CEILING
- SYMBOL**
- HT: 10'-0" CEILING HEIGHT A. F. F.
 - 6" ROUND RECESSED LIGHT

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DRAWN BY	Author
SHEET SIZE	24" x 36"

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Sheet:
**PROPOSED
SECOND FLOOR
RCP
A209**

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT

CLIENT:

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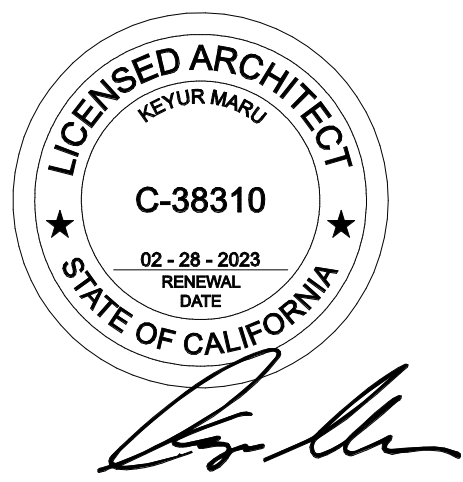
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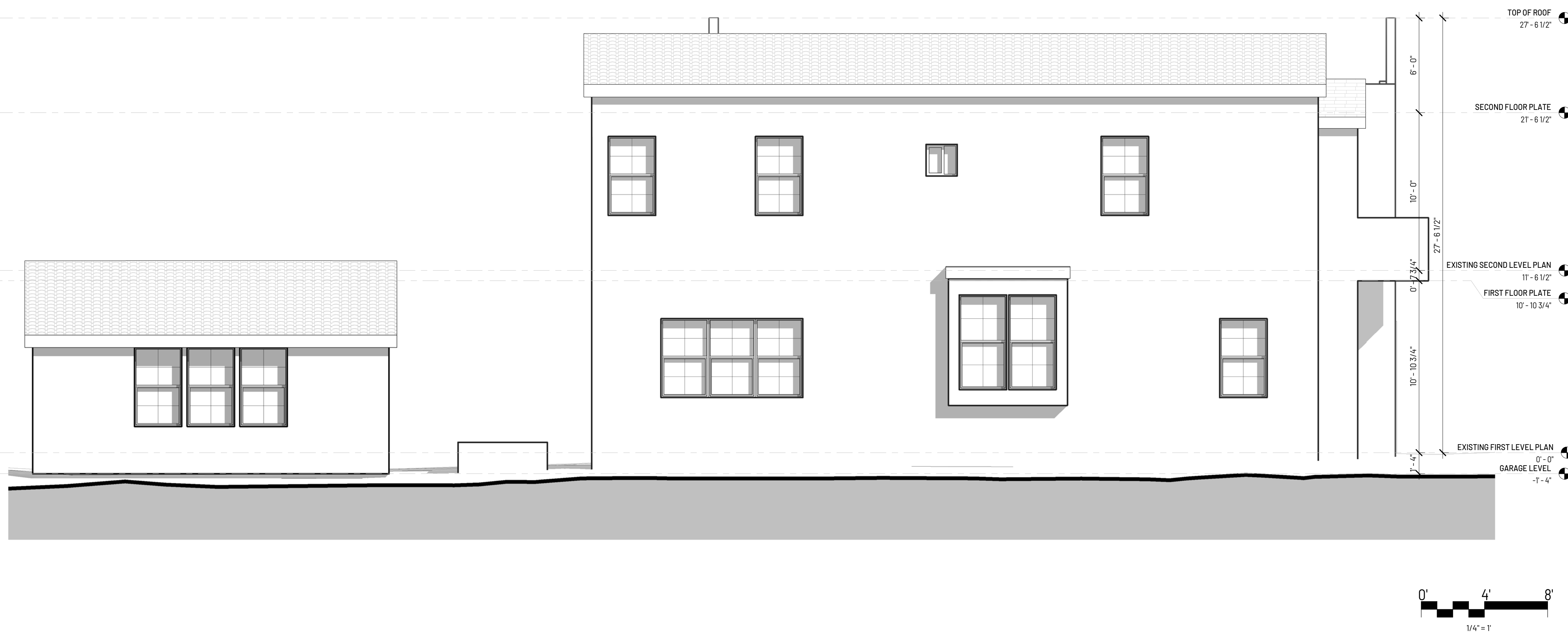
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**EXISTING
ELEVATIONS**

A300



EXISTING EAST ELEVATION SCALE: 1/4" = 1'-0" 2



EXISTING NORTH ELEVATION SCALE: 1/4" = 1'-0" 1

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ELEVATION GENERAL NOTES

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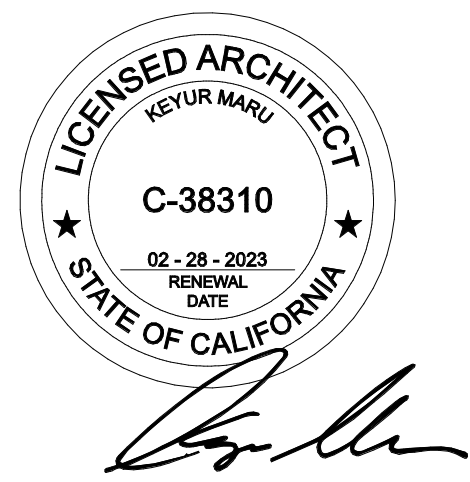
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PROJECT NO 220625
ISSUE DATE 04.01.2022
SCALE As indicated
DRAWN BY Author
SHEET SIZE 24" x 36"

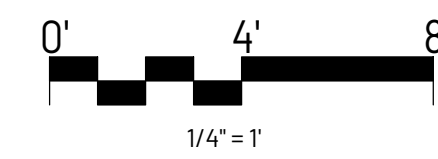
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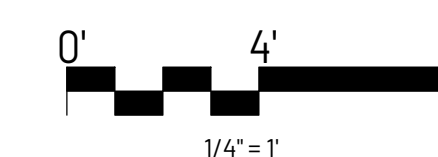
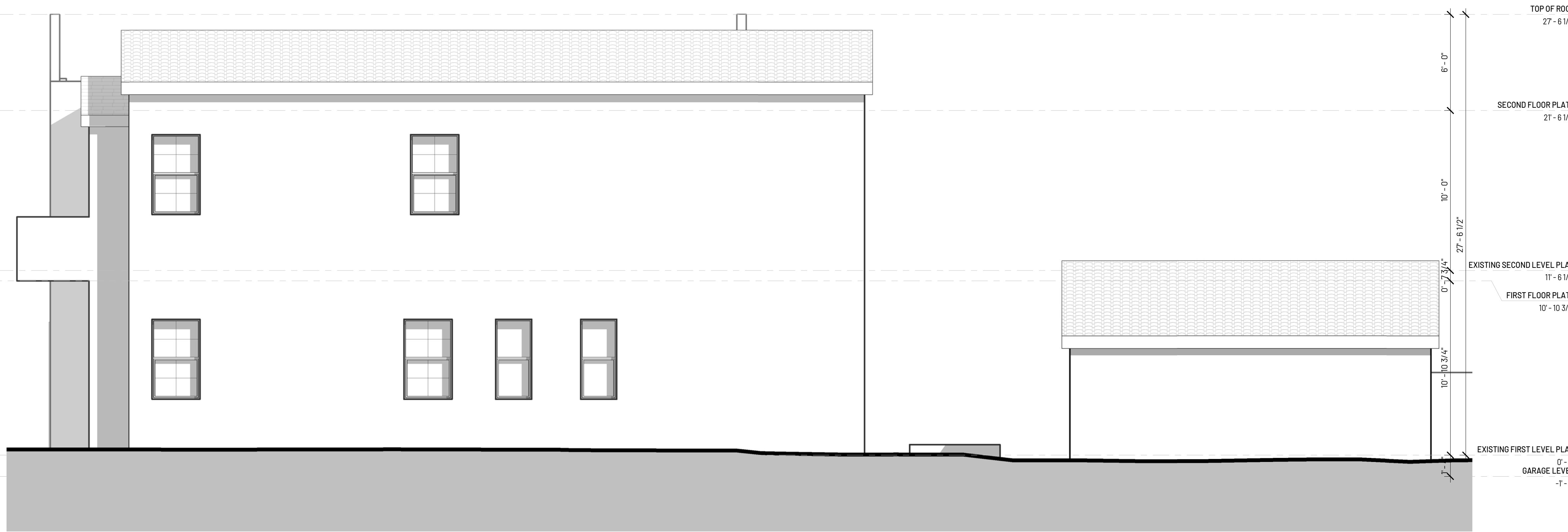
**EXISTING
ELEVATIONS**

A301

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT



EXISTING WEST ELEVATION SCALE: 1/4" = 1'-0" 2



EXISTING SOUTH ELEVATION SCALE: 1/4" = 1'-0" 1

ELEVATION GENERAL NOTES

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CLIENT:

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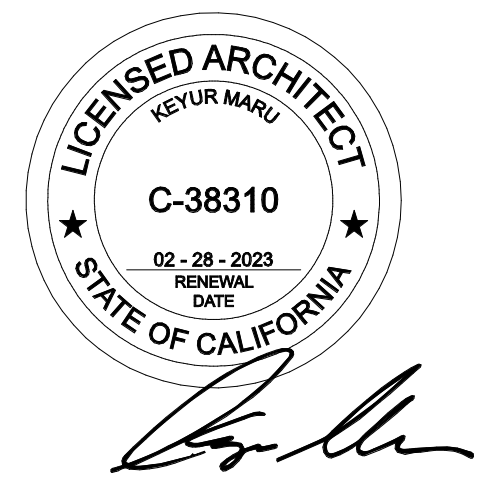
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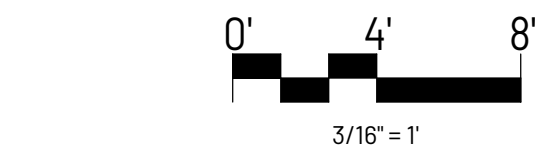
PROJECT NO	220625
ISSUE DATE	04.01.2022
SCALE	As indicated
DRAWN BY	Author
SHEET SIZE	24" x 36"

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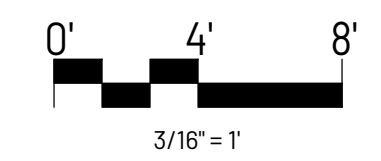
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PROPOSED ELEVATIONS

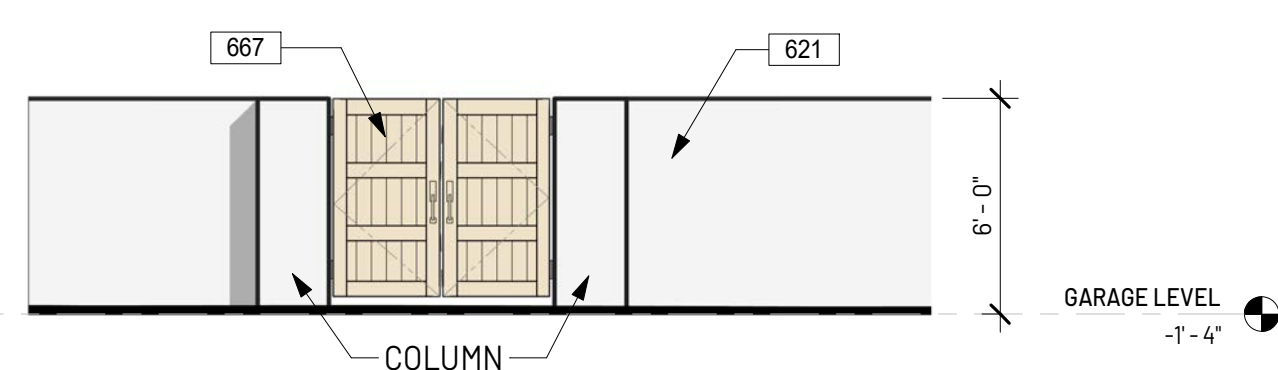
A302



NORTH ELEVATION SCALE: 3/16"=1'-0" 3



EAST ELEVATION SCALE: 3/16"=1'-0" 1



ENTRY GATE AT EAST ELEVATION SCALE: 3/16"=1'-0" 2

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
512	LIGHTWEIGHT CONCRETE TILE ROOF, CLASS A RATED, EAGLE ROOFING, CAPISTRANO - LMC 8402. SANTA CRUZ BLEND
621	EXTERIOR STUCCO, ACRYLIC SMOOTH SAND-FINISH, COLOR: BENJAMIN MOORE - CLOUD WHITE
641	ALUMINUM WINDOW, LOW-E, DUAL PANE GLASS, MATTE BLACK METAL FRAME. REFER TO WINDOW SCHEDULE
644	GARAGE DOOR, BLEACHED WOOD FINISH DOORS WITH BLACK METAL FRAME, PER MFR SPECS
667	EXTERIOR DOUBLE SWING GATE, BLEACHED WOOD FINISH DOORS WITH BLACK METAL FRAME, PER MFR SPECS

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ELEVATION GENERAL NOTES

CLIENT:

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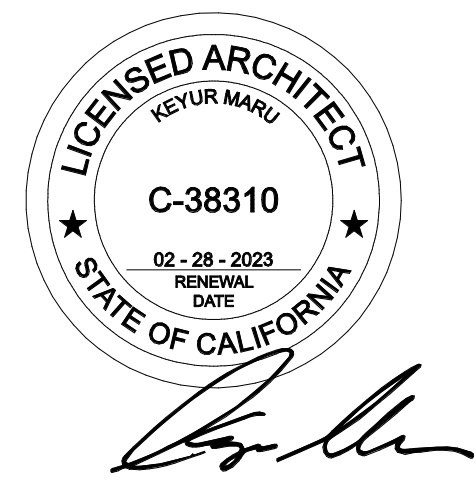
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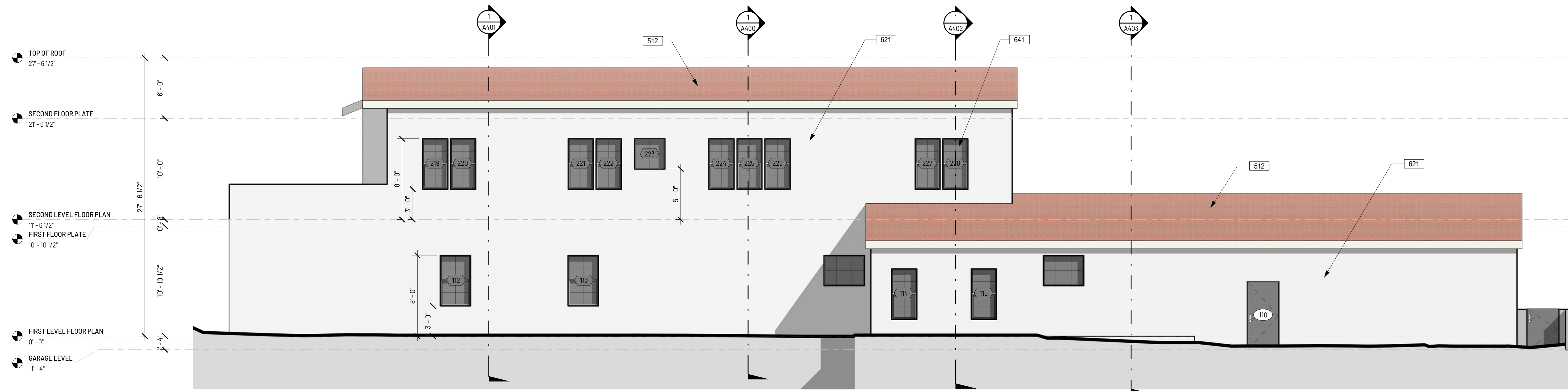
PROJECT NO	220625
ISSUE DATE	04.01.2022
SCALE	As indicated
DRAWN BY	Author
SHEET SIZE	24" x 36"

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Sheet:

**PROPOSED
ELEVATIONS**

A303



SOUTH ELEVATION SCALE: 3/16" = 1-0" 2

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
512	LIGHTWEIGHT CONCRETE TILE ROOF, CLASS A RATED, EAGLE ROOFING, CAPISTRANO - LMC 8402: SANTA CRUZ BLEND
621	EXTERIOR STUCCO, ACRYLIC SMOOTH SAND-FINISH, COLOR: BENJAMIN MOORE - CLOUD WHITE
641	ALUMINUM WINDOW, LOW-E, DUAL PANE GLASS, MATTE BLACK METAL FRAME, REFER TO WINDOW SCHEDULE



WEST ELEVATION SCALE: 3/16" = 1-0" 1

ELEVATION GENERAL NOTES

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CLIENT:

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PROJECT:

DADON RESIDENCE

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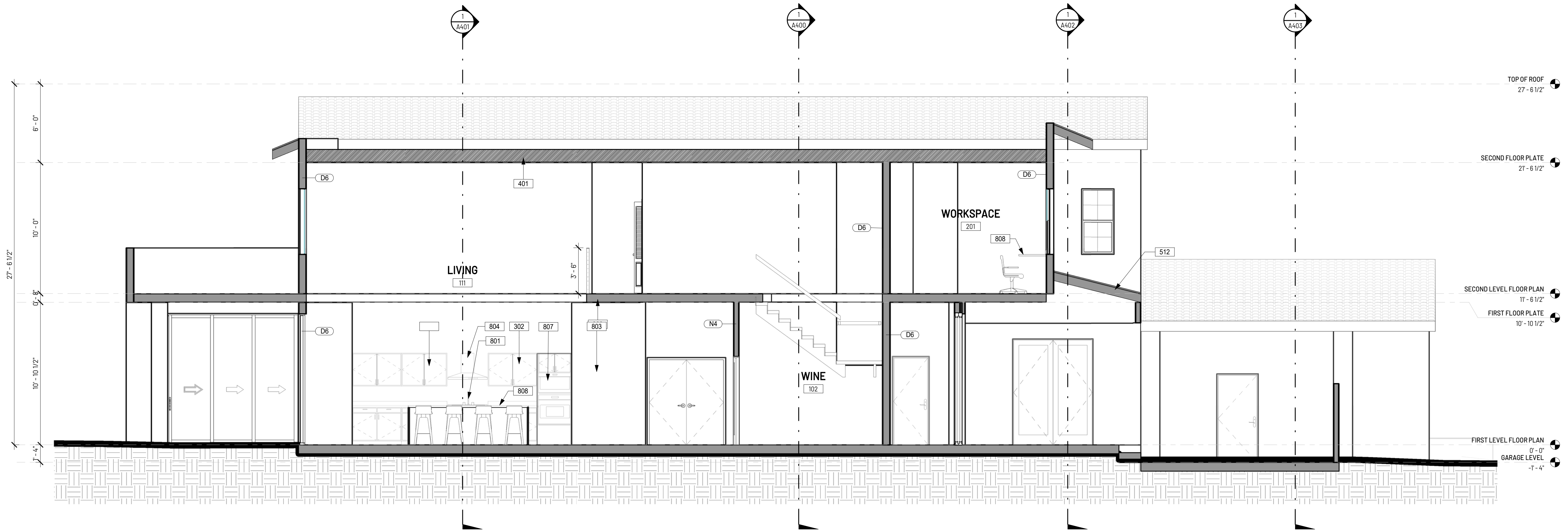
PROJECT NO 220625
ISSUE DATE 04.01.2022
SCALE 1/4" = 1'-0"
DRAWN BY Author
SHEET SIZE 24" x 36"

IF SHEET IS LESS THAN SIZE INDICATED ABOVE, THIS IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

Sheet:

**PROPOSED
SECTIONS**

A400



Section 1 SCALE: 1/4" = 1'-0"



Section 2 SCALE: 1/4" = 1'-0"

KEY VALUE	KEYNOTE TEXT
302	BUILT-IN CABINETS, UPPERS SHOWN DASHED
401	5/8" TYPE X GYP. BOARD AT CEILING
512	LIGHTWEIGHT CONCRETE TILE ROOF, CLASS A RATED, EAGLE ROOFING, CAPISTRANO - LMC 8402: SANTA CRUZ BLEND
801	KITCHEN SINK W/ GARBAGE DISPOSAL
803	REFRIGERATOR, OWNER SELECTED. ROUGH PLUMBING PER MANUF. SPECIFICATIONS
804	BUILT-IN RANGE EXHAUST HOOD, MIN. 100 CFM, OWNER SELECTED
807	MICROWAVE, OWNER SELECTED
808	COUNTERTOP
903	FLOOR FRAMING, SEE STRUCTURAL, PROVIDE INSULATION PER SCHEDULE

CLIENT:

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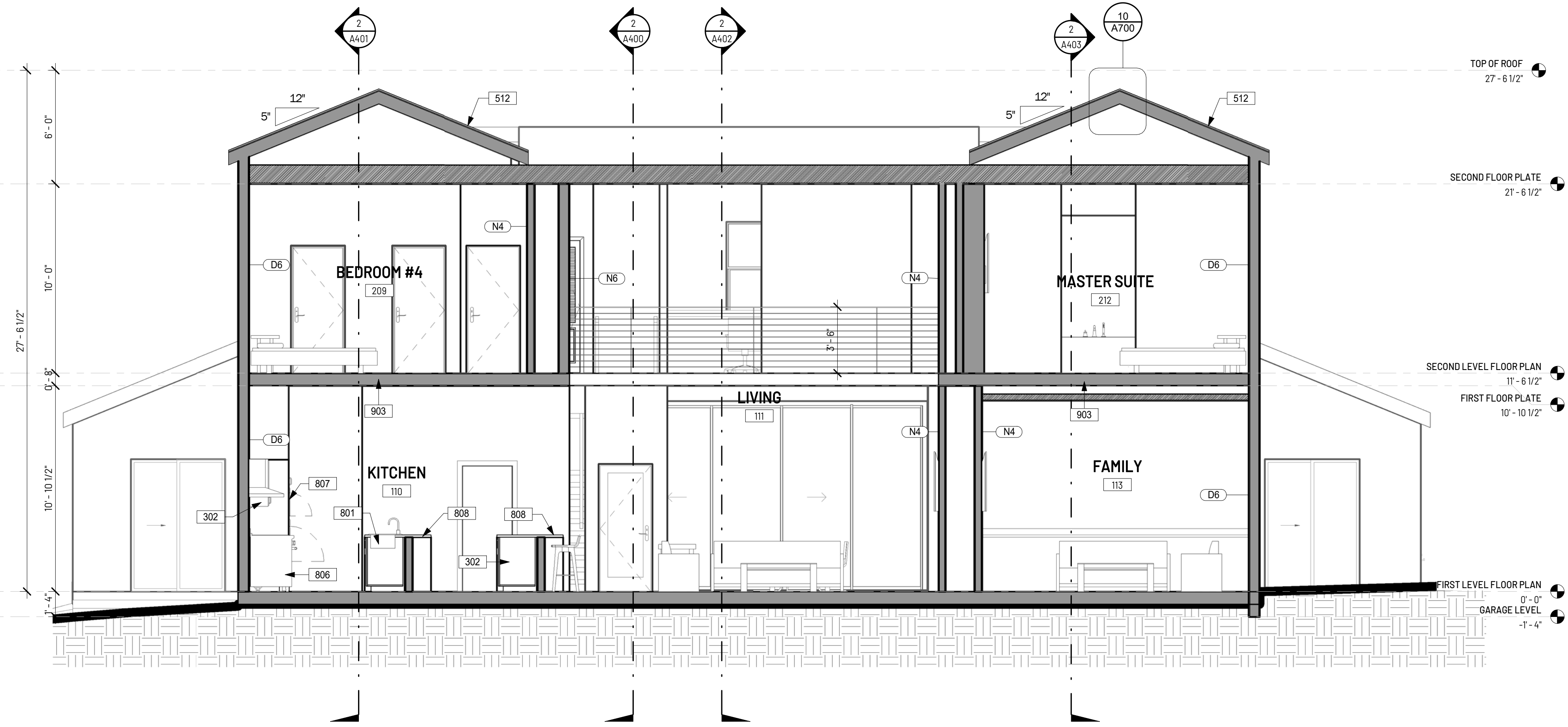
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CALABASAS, CA 91302

REVISION:

MARK	DESCRIPTION	DATE



Section 3 SCALE: 1/4" = 1'-0" 2



Section 4 SCALE: 1/4" = 1'-0" 1

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
301	BUILT-IN CLOSET SHELF & ROD
302	BUILT-IN CABINETS, UPPERS SHOWN DASHED
512	LIGHTWEIGHT CONCRETE TILE ROOF, CLASS A RATED, EAGLE ROOFING, CAPISTRANO - LMC 8402: SANTA CRUZ BLEND
801	KITCHEN SINK W/ GARBAGE DISPOSAL
803	REFRIGERATOR, OWNER SELECTED. ROUGH PLUMBING PER MANUF. SPECIFICATIONS
806	RANGE, PROVIDE GAS STUB & 220 ELECTRICAL
807	MICROWAVE, OWNER SELECTED
808	COUNTERTOP
903	FLOOR FRAMING, SEE STRUCTURAL, PROVIDE INSULATION PER SCHEDULE

STAMP:



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DRAWING DATA:

PROJECT NO: 220625
ISSUE DATE: 04.01.2022
SCALE: 1/4" = 1'-0"
DRAWN BY: Author
SHEET SIZE: 24" x 36"

IF SHEET IS LESS THAN SIZE INDICATED ABOVE, THIS IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

Sheet:

PROPOSED SECTIONS

A401

CLIENT:

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EMAIL: BARRYDADON@GMAIL.COM

PROJECT:

DADON RESIDENCE

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CALABASAS, CA 91302

REVISION:

MARK	DESCRIPTION	DATE

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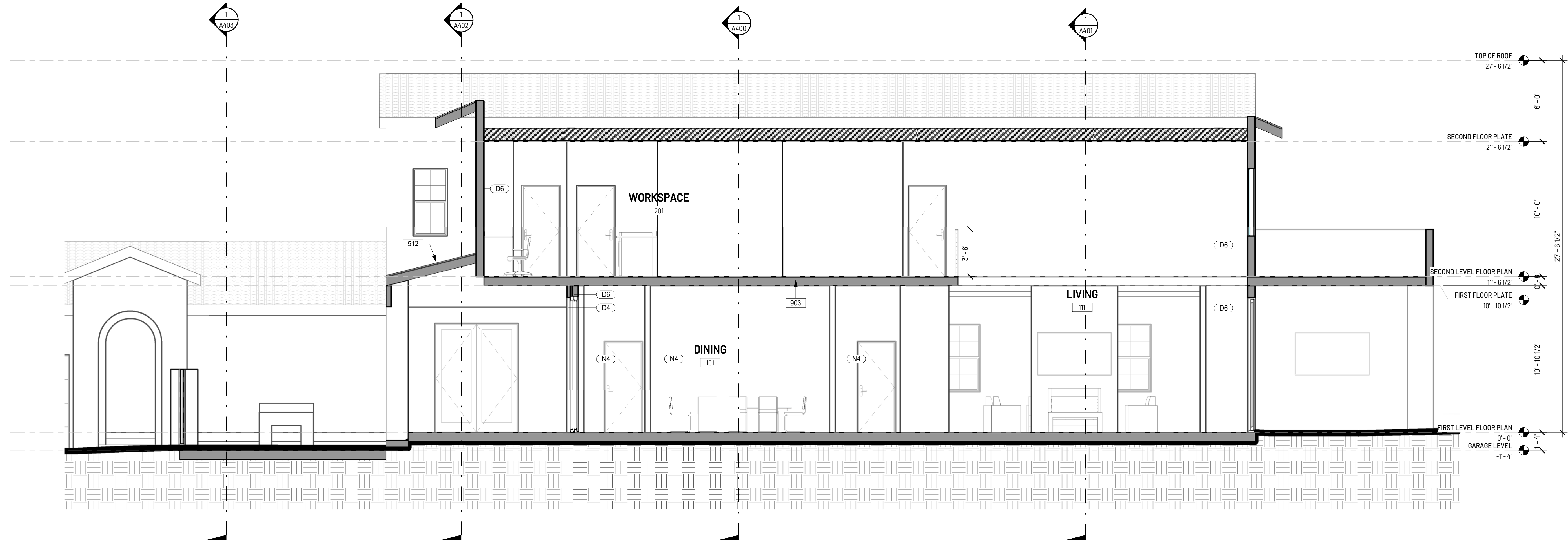
PROJECT NO 220625
ISSUE DATE 04.01.2022
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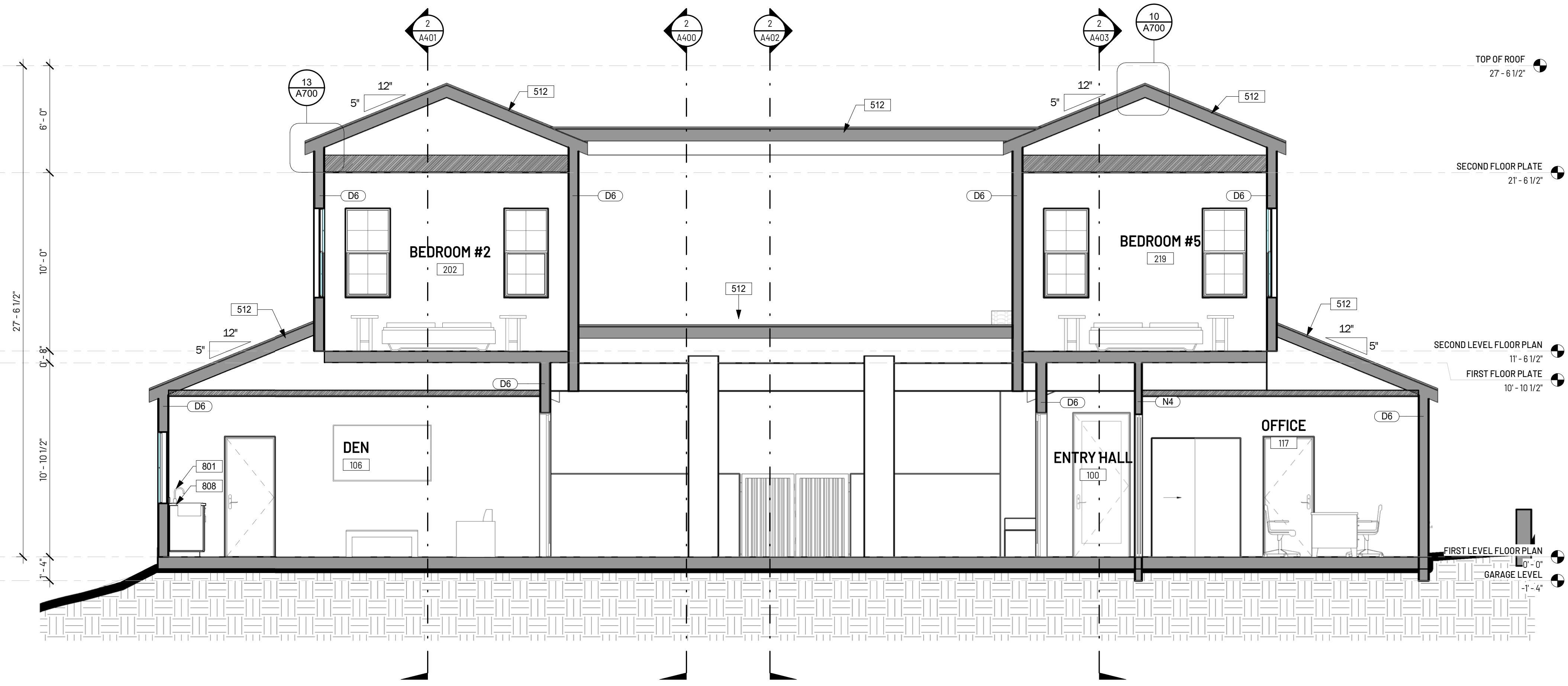
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**PROPOSED
SECTIONS**

A402



Section 5 SCALE: 1/4" = 1'-0" 2



Section 7 SCALE: 1/4" = 1'-0" 1

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
512	LIGHTWEIGHT CONCRETE TILE ROOF, CLASS A RATED, EAGLE ROOFING, CAPISTRANO - LMC 8402, SANTA CRUZ BLEND
801	KITCHEN SINK W/ GARBAGE DISPOSAL
808	COUNTERTOP
903	FLOOR FRAMING, SEE STRUCTURAL, PROVIDE INSULATION PER SCHEDULE

CLIENT:

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PROJECT:

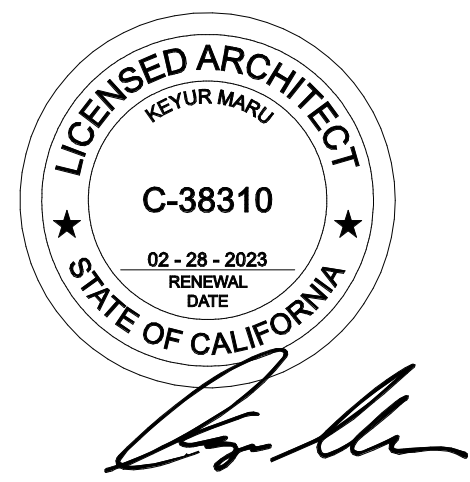
DADON RESIDENCE

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CALABASAS, CA 91302

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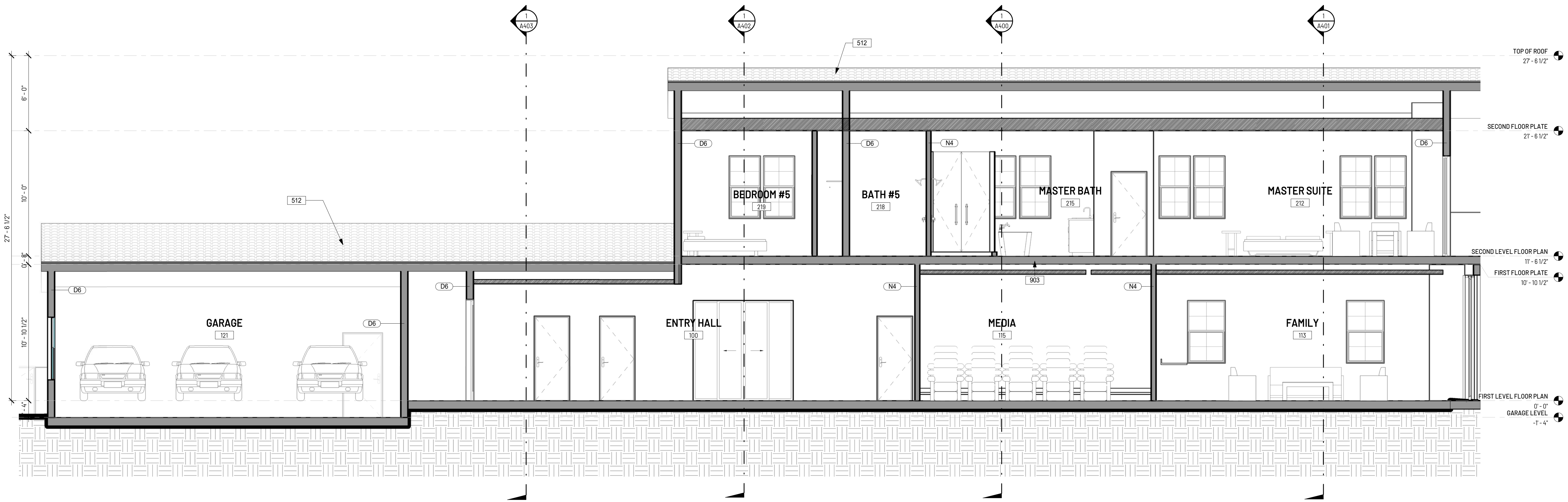
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ISSUE DATE 04.01.2022
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DRAWN BY Author
SHEET SIZE 24" x 36"

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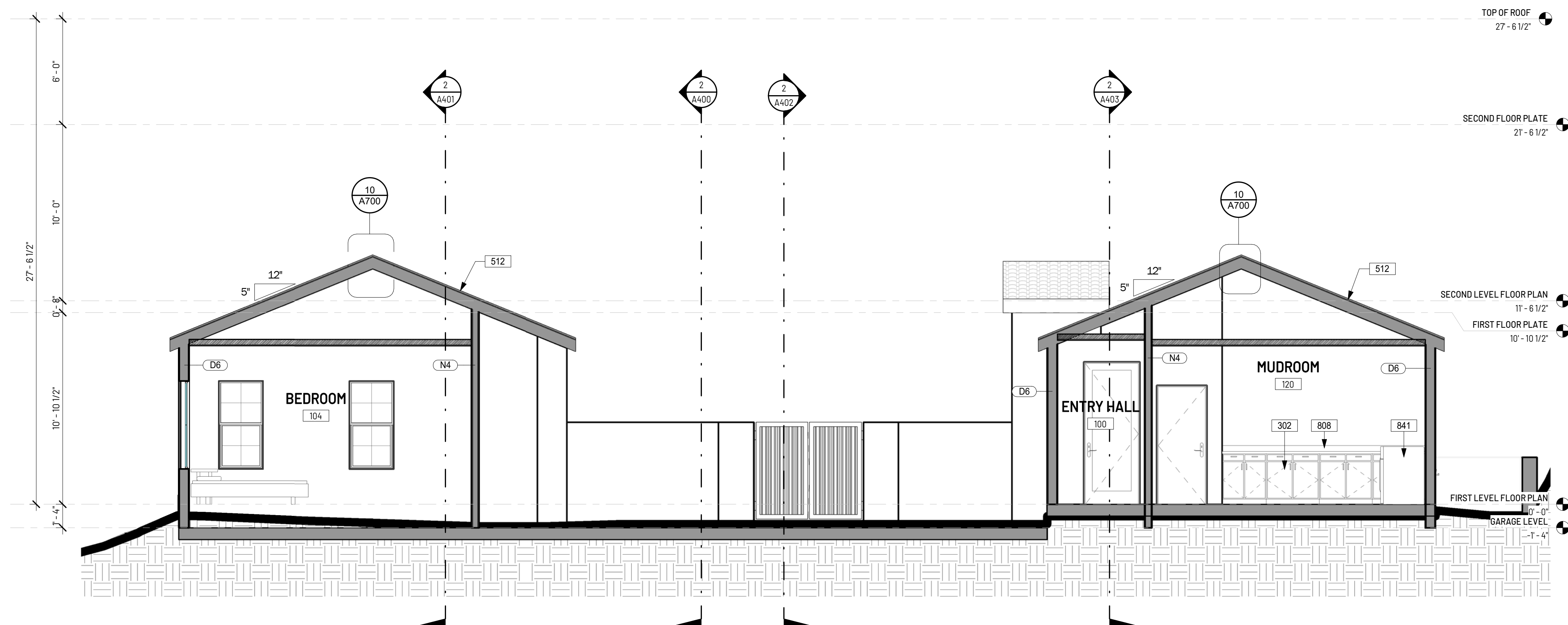
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PROPOSED SECTIONS

A403



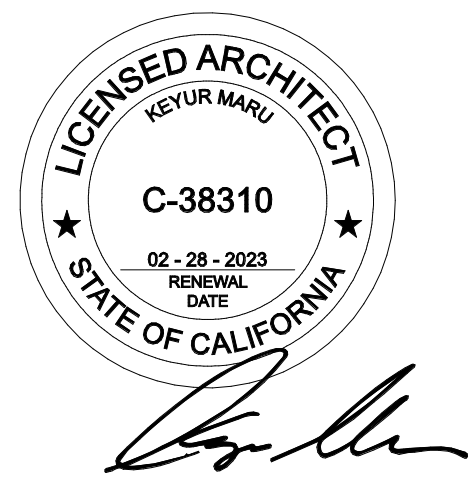
Section 6 SCALE: 1/4" = 1'-0" **2**



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
302	BUILT-IN CABINETS, UPPERS SHOWN DASHED
512	LIGHTWEIGHT CONCRETE TILE ROOF, CLASS A RATED, EAGLE ROOFING, CAPISTRANO - LMC 8402: SANTA CRUZ BLEND
808	COUNTERTOP
841	WASHER/DRYER
903	FLOOR FRAMING, SEE STRUCTURAL, PROVIDE INSULATION PER SCHEDULE

Section 8 SCALE: 1/4" = 1'-0" **1**

MARK	DESCRIPTION	DATE



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PROJECT NO	220625
ISSUE DATE	04.01.2022
SCALE	1/4" = 1'-0"
DRAWN BY	Author
SHEET SIZE	24" x 36"

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DOOR SCHEDULE

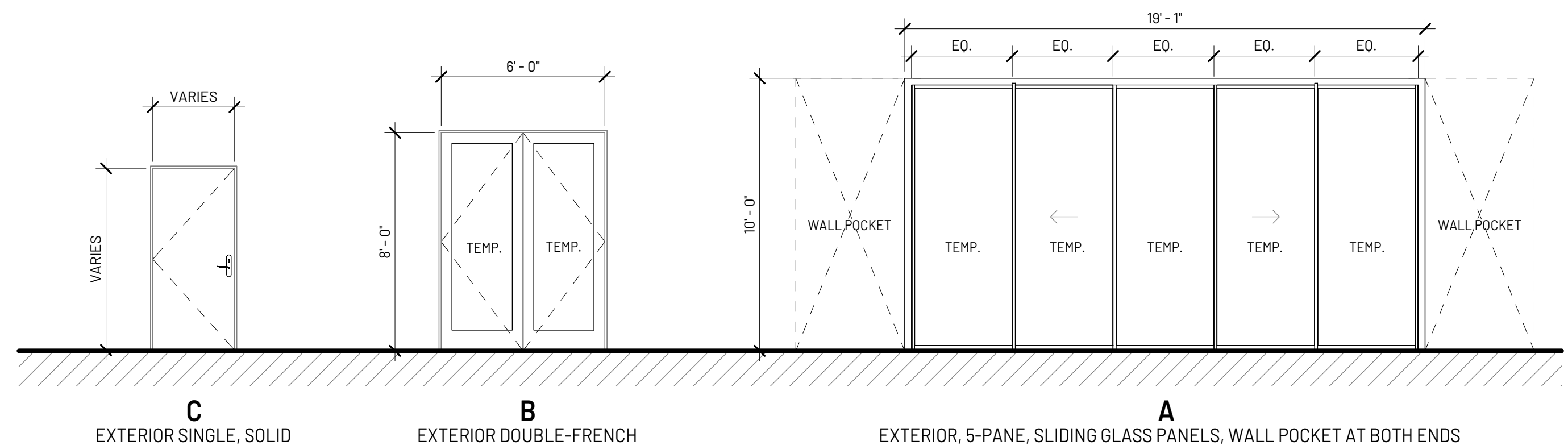
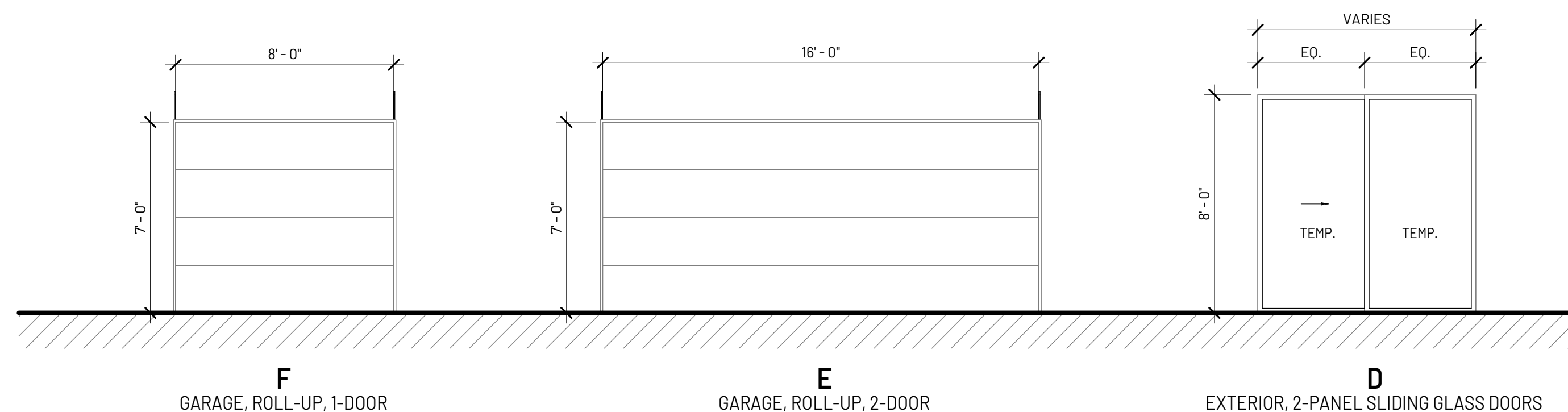
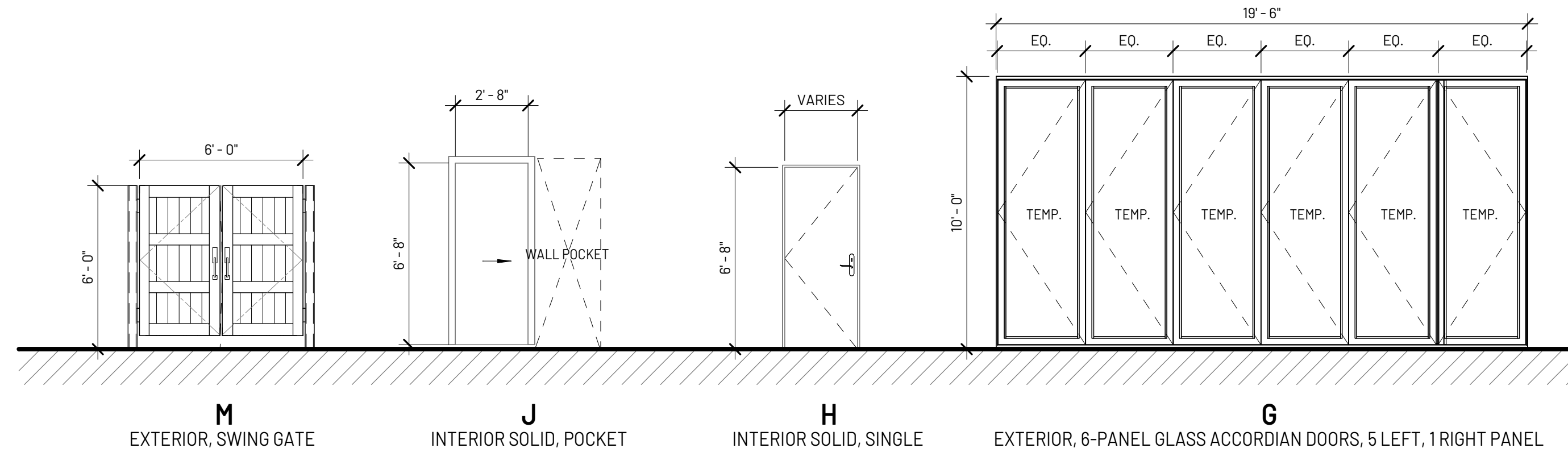
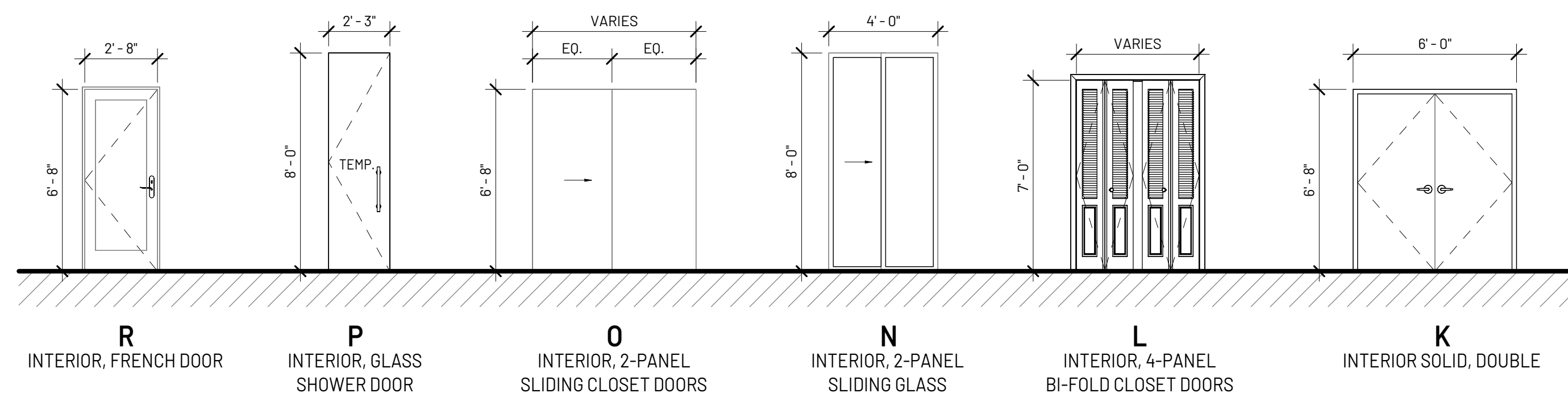
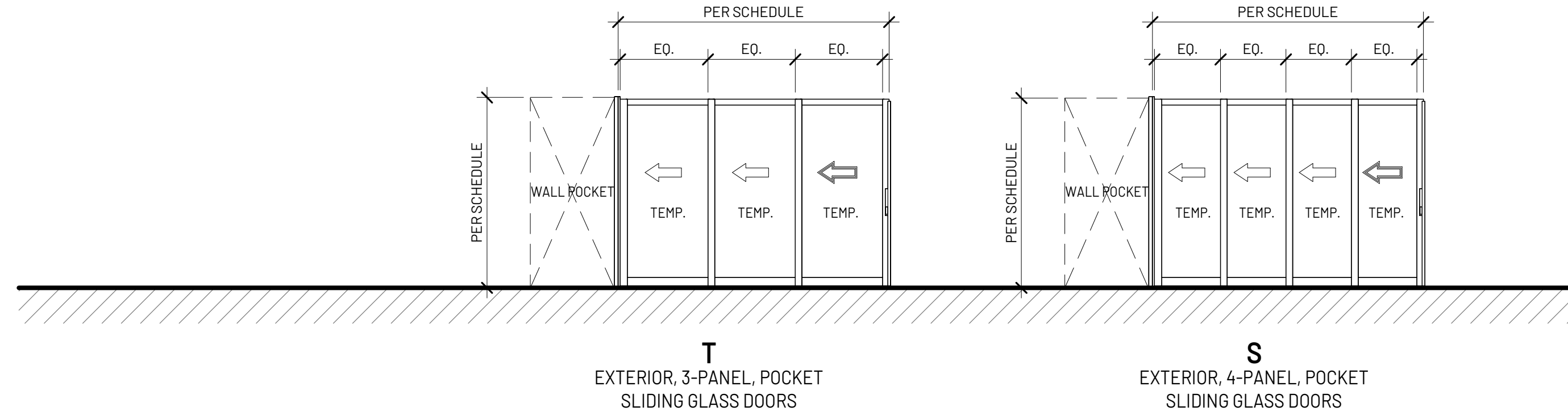
DOOR #	DOOR TYPE	DOOR SIZE (WXH)	FRAME COLOR	FRAME MATERIAL	PANEL MATERIAL	TEMP. GLASS	U-FACTOR	SHGC	REMARKS
GARAGE LEVEL									
104	C	3'-0" x 6'-8"	BLACK	FG	FG				
110	C	3'-0" x 6'-8"	BLACK	FG	FG				
111	E	16'-0" x 7'-0"		WD	WD				
112	F	8'-0" x 7'-0"		WD	WD				
113	M	6'-0" x 6'-0"	BLACK						EXTERIOR SWING DOUBLE GATE
114	Z	3'-0" x 4'-0"	BLACK	WD	WD				EXTERIOR SWING FENCE

FIRST LEVEL FLOOR PLAN

DOOR #	DOOR TYPE	DOOR SIZE (WXH)	FRAME COLOR	FRAME MATERIAL	PANEL MATERIAL	TEMP. GLASS	U-FACTOR	SHGC	REMARKS
100	B	3'-0" x 8'-0"	BLACK	FG	FG	X	0.23	0.8	
101	B	6'-0" x 8'-0"	BLACK	FG	FG	X			
102	A	19'-1" x 10'-0"	BLACK			X			
103	B	6'-0" x 8'-0"	BLACK	FG	FG	X			
105	D	5'-0" x 7'-0"	BLACK	FG	FG	X	0.10	0	
106	G	19'-6" x 10'-0"	BLACK			X			
107	T	10'-4 11/128" x 10'-0"	BLACK	MT	MT	X			
108	T	10'-4 11/128" x 10'-0"	BLACK	MT	MT	X			
109	D	5'-0" x 7'-0"	BLACK	FG	FG	X	0.10	0	
115	J	2'-8" x 6'-8"		FG	FG				
116	T	10'-0" x 10'-0"	BLACK	MT	MT	X			
150	H	2'-8" x 6'-8"		FG	FG				
151	H	2'-8" x 6'-8"		FG	FG				
152	H	2'-8" x 6'-8"		FG	FG				
153	H	2'-8" x 6'-8"		FG	FG				
154	J	2'-8" x 6'-8"		FG	FG				
155	H	2'-8" x 6'-8"		FG	FG				
156	K	5'-8" x 6'-6"		FG	FG				
157	R	2'-8" x 6'-8"		FG	FG				
158	K	5'-8" x 6'-6"		FG	FG				
166	H	2'-8" x 6'-8"		FG	FG				
168	H	2'-8" x 6'-8"		FG	FG				
169	N	4'-0" x 8'-0"		FG	FG		0.10	0	
170	N	4'-0" x 8'-0"		FG	FG		0.10	0	
171	O	5'-0" x 6'-8"		FG	FG		0.10	0	
172	H	2'-8" x 6'-8"		FG	FG				
173	H	2'-8" x 6'-8"		FG	FG				
174	H	2'-8" x 6'-8"		FG	FG				
175	H	2'-8" x 6'-8"		FG	FG				

SECOND LEVEL FLOOR PLAN

201	D	8'-0" x 8'-0"	BLACK	MT	MT	X	0.23	0.8	
250	H	2'-8" x 6'-8"		FG	FG				
251	O	5'-0" x 6'-8"		FG	FG		0.10	0	
252	H	2'-8" x 6'-8"		FG	FG				
253	H	2'-8" x 6'-8"		FG	FG				
254	H	2'-8" x 6'-8"		FG	FG				
255	H	2'-8" x 6'-8"		FG	FG				
256	L	6'-0" x 7'-0"							
257	H	2'-8" x 6'-8"		FG	FG				
258	H	2'-8" x 6'-8"		FG	FG				
259	H	2'-8" x 6'-8"		FG	FG				
260	H	2'-8" x 6'-8"		FG	FG				
261	H	2'-8" x 6'-8"		FG	FG				
262	H	2'-8" x 6'-8"		FG	FG				
263	H	2'-8" x 6'-8"		FG	FG				
264	P	2'-3" x 8'-0"				X			
265	P	2'-3" x 8'-0"				X			
266	H	2'-8" x 6'-8"		FG	FG				
267	O	6'-0" x 6'-8"		FG	FG		0.10	0	
268	J	2'-8" x 6'-8"		FG	FG				
269	H	2'-8" x 6'-8"		FG	FG				
270	H	2'-8" x 6'-8"		FG	FG				

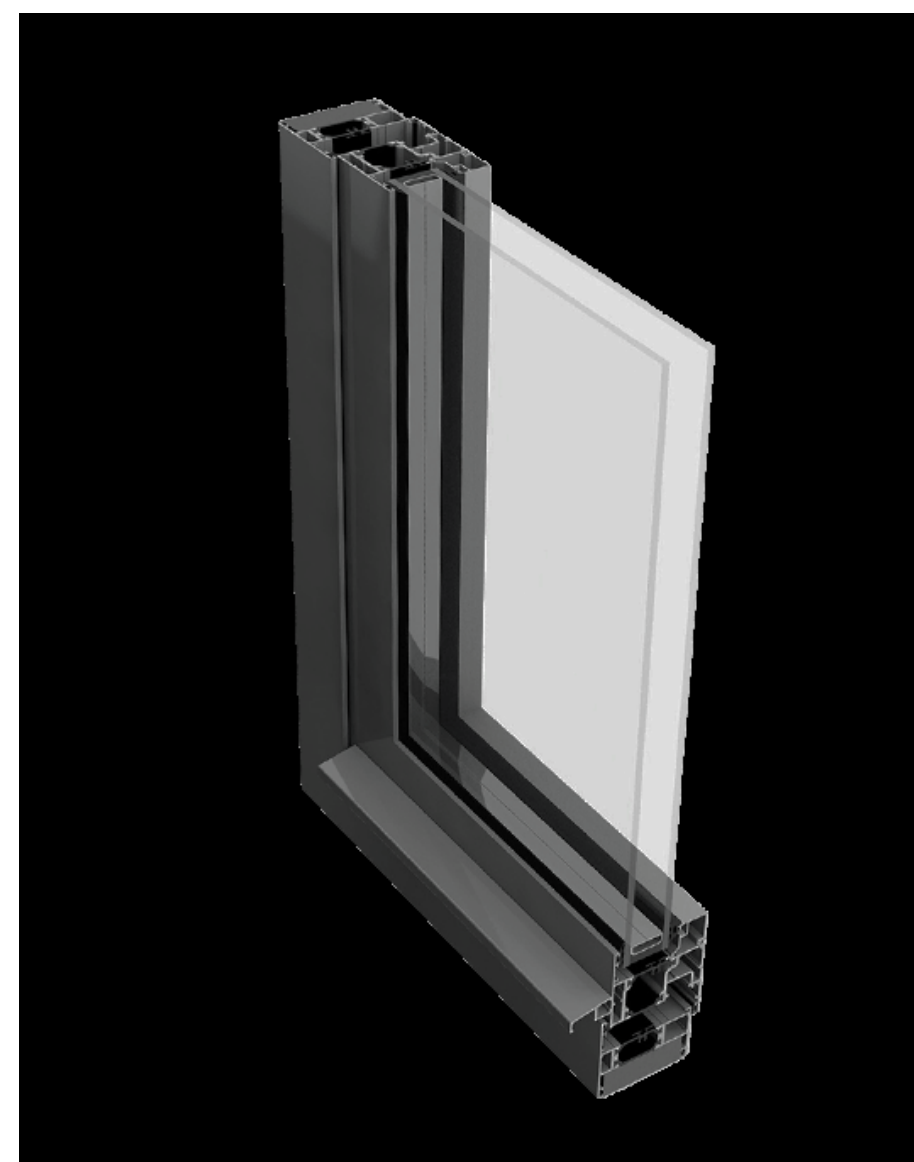




EXTERIOR STUCCO
 MATERIAL: STUCCO, ACRYLIC SMOOTH SAND-FINISH
 COLOR: BENJAMIN MOORE - CLOUD WHITE



INTERIOR FLOORING
 COLOR: WEATHERED OAK



EXTERIOR DOOR/WINDOW FRAMES
 MATERIAL: ALUMINUM
 LOW-E, DUAL PANE GLASS
 COLOR: MATTE BLACK METAL



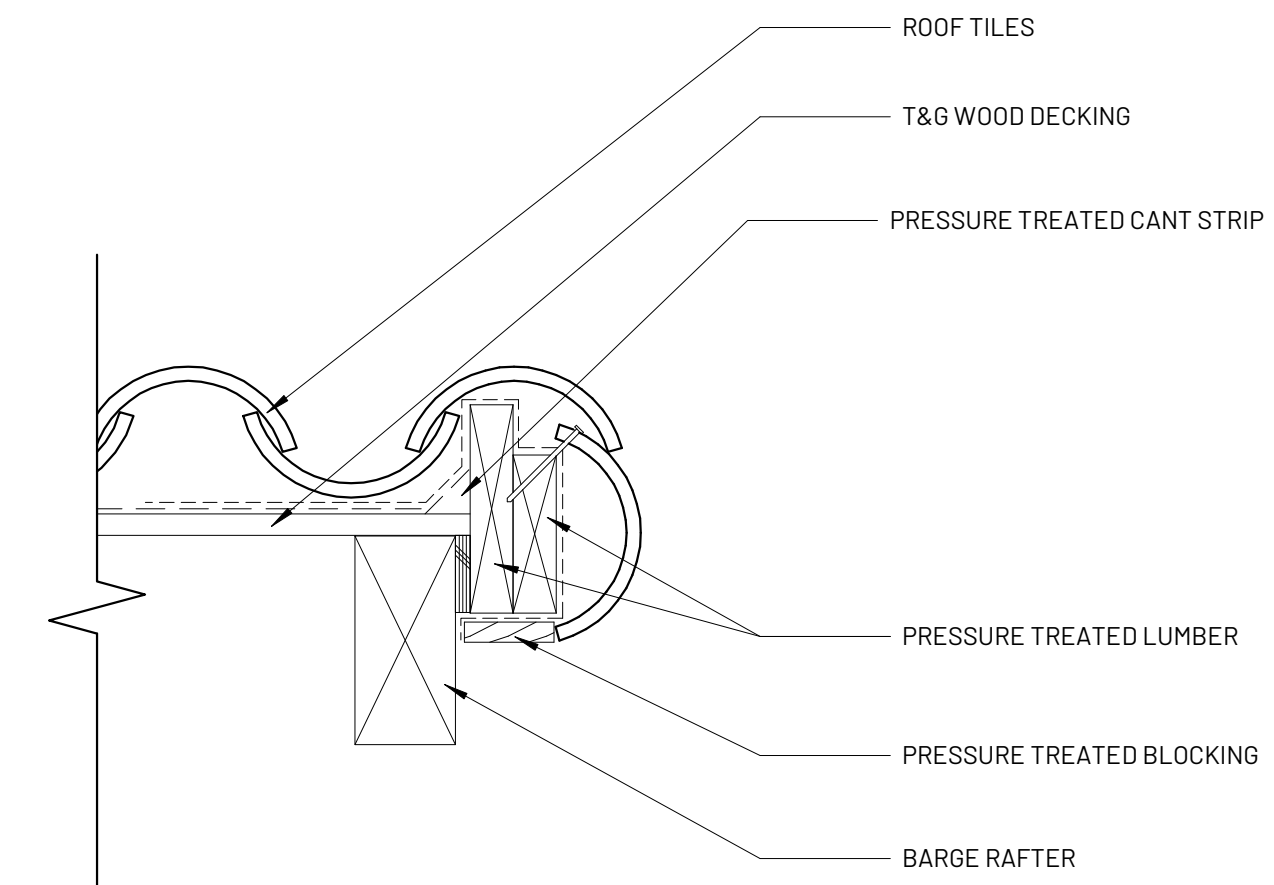
EXTERIOR FLOORING
 MATERIAL: TRAVERTINE NATURAL PAVERS
 OLIN - 12 X 24, COLOR: OCEAN SILVER



EXTERIOR GUTTERS & DOWNSPOUTS
 COLOR: BRONZE



RAILING
 BLACK METAL FRAME WITH TEMPERED GLASS PANELS
 COLOR: BLACK



ROOF RAKE DETAIL



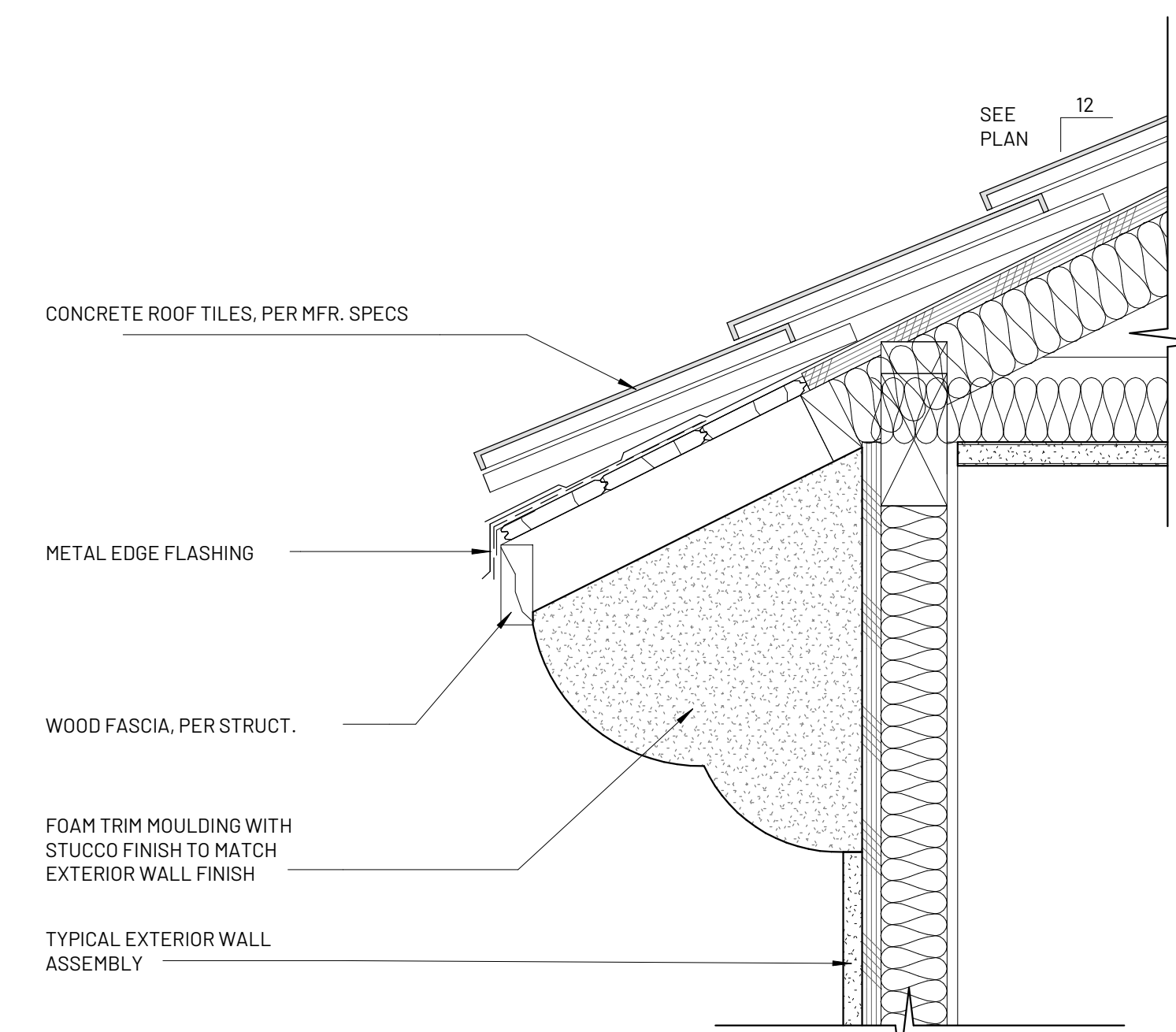
ROOFING
 MATERIAL: LIGHTWEIGHT CONCRETE TILE
 EAGLE ROOFING - CAPISTRANO PROFILE
 CLASS A FIRE RATED
 COLOR: LMC 8402: SANTA CRUZ BLEND



EXTERIOR LIGHTING
 WALL MOUNTED SCONCE
 COLOR: BLACK METAL FRAME WITH GLASS PANES



GARAGE DOOR & GATE
 SOLID WOOD
 STAINED & SEALED WEATHERED WOOD FINISH



ROOF EAVE DETAIL

CLIENT:

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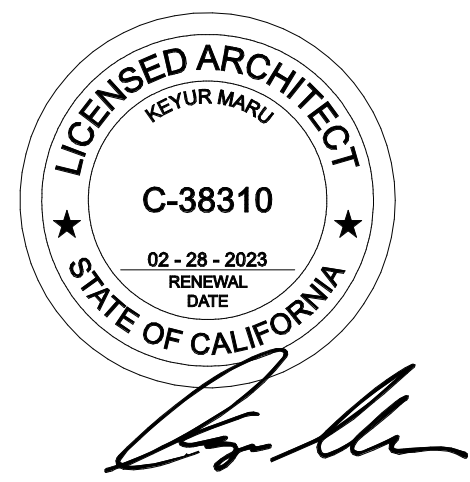
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COLOR AND MATERIAL BOARD

A800