



LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED CALABASAS IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

THAT PORTION OF LOT 8 AND LOT 10 OF TRACT NO. 37824, IN THE CITY OF CALABASAS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1192, PAGES 81 TO 86 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS A WHOLE AS FOLLOWS

BEGINNING AT A POINT ON THE CURVED SOUTHERLY RIGHT-OF-WAY OF PARK SORRENTO, 84 FEET WIDE, AS SHOWN ON SAID MAP, DISTANT EASTERLY 26.89 FEET ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 1° 29' 03"; FROM THE NORTHERLY COMMON CORNER OF SAID LOTS 8 AND 10, SAID CURVE BEING CONCAVE NORTHERLY AND HAVING A RADIUS OF 1042.00 FEET, THENCE LEAVING SAID CURVED SOUTHERLY RIGHT-OF-WAY, SOUTH 27° 11' 48" EAST 365.96 FEET; THENCE SOUTH 62° 48' 12" WEST 215.94 FEET TO A LINE WHICH BEARS NORTH 26° 19' 51" WEST AND WHICH PASSES THROUGH A POINT IN THE SOUTHERLY LINE OF SAID LOT 10, DISTANT SOUTH 88° 31' 34" EAST 52.82 FEET FROM THE ANGLE POINT IN SAID SOUTHERLY LINE, THENCE NORTH 26° 19' 51" WEST 69.83 FEET TO A POINT DISTANT NORTH 26° 19' 51" WEST 265.81 FEET FROM SAID POINT IN THE SOUTHERLY LINE OF SAID LOT 10, THENCE NORTH 32° 21' 39" WEST 276.54 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF SAID PARK SORRENTO, THENCE NORTH 62° 38' 19" EAST 37.24 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY TO THE BEGINNING OF A CURVE, CONCAVE NORTHERLY AND HAVING A RADIUS OF 1042.00 FEET; THENCE NORTHEASTERLY 203.91 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 1° 12' 44"; ALONG THE CURVED SOUTHERLY RIGHT-OF-WAY OF PARK SORRENTO TO THE POINT OF BEGINNING.

SAID PARCEL A IS SHOWN AS PARCEL C (PROPOSED) IN THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT CERTIFICATE NO. 89-02, RECORDED FEBRUARY 17, 1999 AS INSTRUMENT NO. 89-250904 OF OFFICIAL RECORDS.

PARCEL B:

TOGETHER WITH THAT PORTION OF SORRENTO STREET AS VACATED BY RESOLUTION NO. 89-555 RECORDED DECEMBER 14, 1999 AS INSTRUMENT NO. 89-0228785 OF OFFICIAL RECORDS THAT WOULD PASS THROUGH LEGAL CONVEYANCE OF SAID LAND, EXCEPT THAT PORTION LYING SOUTHWESTERLY OF THE SOUTHWESTERLY LINE OF THE ABOVE PARCEL 'A'.

PARCEL C:

AN EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS PURPOSES OVER THAT PORTION OF LAND DESCRIBED IN EXHIBIT "C" ATTACHED TO THAT CERTAIN GRANT OF RECIPROCAL EASEMENT AND MAINTENANCE AGREEMENT BY AND BETWEEN THE CITY OF CALABASAS AND KILROY REALTY, LP., RECORDED JUNE 3, 2003 AS INSTRUMENT NO. 03-1571732 OF OFFICIAL RECORDS.

EXCEPTING THEREFROM ANY PORTION THEREOF INCLUDED WITHIN THE LINES OF PARCEL 1B DESCRIBED ABOVE.

APN: 2068-003-034



3573 HAYDEN AVENUE  
CULVER CITY, CA 90232  
310.399.7975  
KFDLSANGELES.COM

THE PARK APARTMENTS  
APN: 2068-003-034  
PARK SORRENTO  
CALABASAS, CA, 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

SHEET INDEX

GENERAL

- G000 COVER SHEET
- G001 PROJECT INFORMATION
- G020 FAR CALCULATIONS
- G021 OPEN SPACE CALCULATIONS
- G022 BUILDING AREA
- G080 SURVEY
- G081 SURVEY
- G082 SURVEY

ARCHITECTURAL

- A000 SITE PLAN
- A100 LEVEL P1 PLAN
- A110 FIRST FLOOR PLAN
- A120 SECOND FLOOR PLAN
- A130 THIRD FLOOR PLAN
- A140 FOURTH FLOOR PLAN
- A150 FIFTH FLOOR PLAN
- A160 ROOF PLAN
- A200 ELEVATIONS
- A201 ELEVATIONS
- A210 RENDERING
- A211 RENDERING
- A220 MATERIAL BOARD
- A300 BUILDING SECTIONS
- A800 ENLARGED UNIT PLANS
- A801 ENLARGED UNIT PLANS
- A802 ENLARGED UNIT PLANS
- A803 ENLARGED UNIT PLANS

CIVIL

- C1 TITLE SHEET
- C2 EXISTING CONDITIONS PLAN - 1
- C3 EXISTING CONDITIONS PLAN - 2
- C4 CONCEPTUAL GRADING AND DRAINAGE PLAN
- C5 CONCEPTUAL GRADING AND DRAINAGE PLAN
- C6 SECTIONS

LANDSCAPE

- L000 COVER SHEET
- L010 INSPIRATION
- L100 1ST & 2ND FLOOR LANDSCAPE CONCEPT
- L150 5TH FLOOR LANDSCAPE CONCEPT
- L200 MATERIALS
- L300 PLANT PALETTE

ENTITLEMENT SET

DATE: 2019-029.00  
DATE: 08.30.2022

COVER SHEET



ARCHITECTURAL ABBREVIATIONS

@	DIAMETER	(E)	EXISTING ELECTRICAL	MAX	MECH	SC	SOLID CORE
AB	ANCHOR BOLT	FE	FIRE EXTINGUISHER	MFR	MANUFACTURER	SEC	SOLID CORE WOOD SECTION
A/C	AIR CONDITIONING	ENGR	ENGINEER, ENGINEERING	MIN	MINIMUM	SF	SQUARE FEET
AC	ASPHALT CONCRETE	EDS	EDGE OF SLAB	MISC	MISCELLANEOUS	SHT	SHEET
ACT	ACOUSTIC CEILING TILE	EQ	EQUAL	NO	MASONRY OPENING	SHTG	SHEATHING
ADA	AMERICANS WITH DISABILITIES ACT	EXT	EXTERIOR	MOD	MODIFY	SIM	SIMILAR
ADJ	ADJACENT	FAB	FABRICATE	MR	MOISTURE RESISTANT	SL	SLOPE
ADJF	ADJACENT ABOVE FINISH FLOOR	MTD	MOUNTED	MTL	METAL	SPEC	SPECIFICATION(S)
ALT	ALTERNATE	FF	FINISH FLOOR	N	NOTE	ST STL	STAINLESS STEEL
ALUM	ALUMINUM	FG	FINISH GRADE	(N)	NEW	STD	STANDARD
APPROX	APPROXIMATELY	FN	FINISH	NIC	NOT IN CONTRACT	STL	STEEL
ARCH	ARCHITECT, ARCHITECTURAL	FLR	FLOOR	NTS	NOT TO SCALE	STRUCT	STRUCTURAL
BD	BOARD	FJ	FLOOR JOIST	OC	ON CENTER	TBD	TO BE DETERMINED
BF	BRACE FRAME	FMC	FLOOR MATERIAL CHANGE	OF	OWNER FURNISHED	TH	THRESHOLD
BLK	BLOCK	FO	FACE OF	OFCI	CONTRACTOR INSTALLED	THK	THICK
BM	BEAM	FOC	FACE OF CONCRETE	OFI	OWNER FURNISHED	TJ	TRUSS JOIST
BTWN	BETWEEN	FOF	FACE OF FINISH	OFI	OWNER FURNISHED	TO	TOP OF
BUR	BUILT-UP ROOF	FOM	FACE OF MASONRY	OFI	OWNER FURNISHED	TOC	TOP OF CONCRETE
		FOGS	FACE OF GYPSUM SHEATHING	OFI	OWNER FURNISHED	TOP	TOP OF PLATE
		FOSS	FACE OF STRUCTURAL SHEATHING	OFI	OWNER FURNISHED	TOPO	TOPOGRAPHY
		FOS	FACE OF STUD	OFI	OWNER FURNISHED	TOP	TOP OF SLAB
CAB	CABINET	FR	FIRE RESISTANT	OH	OVERHEAD	TOSHTG	TOP OF SHEATHING
CB	CAST-IN-PLACE	FS	FINISH SURFACE	OPNG	OPENING	TOW	TOP OF WALL
CJ	CEILING JOIST					TR	TREAD
C	CENTER LINE					TYP	TYPICAL
CL	CLOSET	Ga	GAUGE	E	PROPERTY LINE		
CLF	CHAIN LINK FENCE	GALV	GALVANIZED	PERF	PERFORATED		
CLG	CEILING	GB	GRAB BAR	P/P	PROTECT IN PLACE	UNO	UNLESS NOTED OTHERWISE
CLR	CLEAR	GC	GENERAL CONTRACTOR	PLAM	PLASTIC LAMINATE	VCT	VINYL COMPOSITION TILE
CNU	CONCRETE MASONRY UNIT	GYP BD	GYPSUM BOARD	POC	POINT OF CONNECTION	VERT	VERTICAL
COL	COLUMN			PRT	PRESSURE TREATED	VIF	VERIFY IN FIELD
CONC	CONCRETE	HB	HOSE BIBB	PT	PAINT	W	WITH
CONN	CONNECTION	HC	HOLLOW CORE	PTD	PAINTED	WC	WATER CLOSET
CONST	CONSTRUCTION	HCV	HOLLOW CORE WOOD	QTY	QUANTITY	WD	WOOD
CONT	CONTINUOUS	HDR	HEADER	R	RADIUS OF RISER	WH	WATER HEATER
CONTR	CONTRACTOR	HM	HOLLOW METAL	RCP	REFLECTED CEILING PLAN	WP	WATERPROOF
COORD	COORDINATE	HR	HANDRAIL	RD	ROOF DRAIN	WPT	WORK POINT
CPT	CARPET	HSS	HIGH STRENGTH STEEL	REF	REFRIGERATOR		
CRS	COURSES	HT	HEIGHT	REQ'D	REQUIRED		
CT	CERAMIC TILE	INS	INSULATION	REV	REVISION or REVISED		
		INT	INTERIOR	RJ	ROOF JOIST		
(D)	DEMOLISH	JST	JOIST	RM	ROOM		
DAS	DISABLED ACCESS	LAM	LAMINATE	ROW	RIGHT OF WAY		
DBL	DOUBLE	LAV	LAVATORY				
DET	DETAIL	LIN	LINOLEUM				
DIA	DIAMETER						
DN	DOWN						
DS	DOWNSPOUT						
DWG	DRAWING						

ARCHITECTURAL SYMBOLS

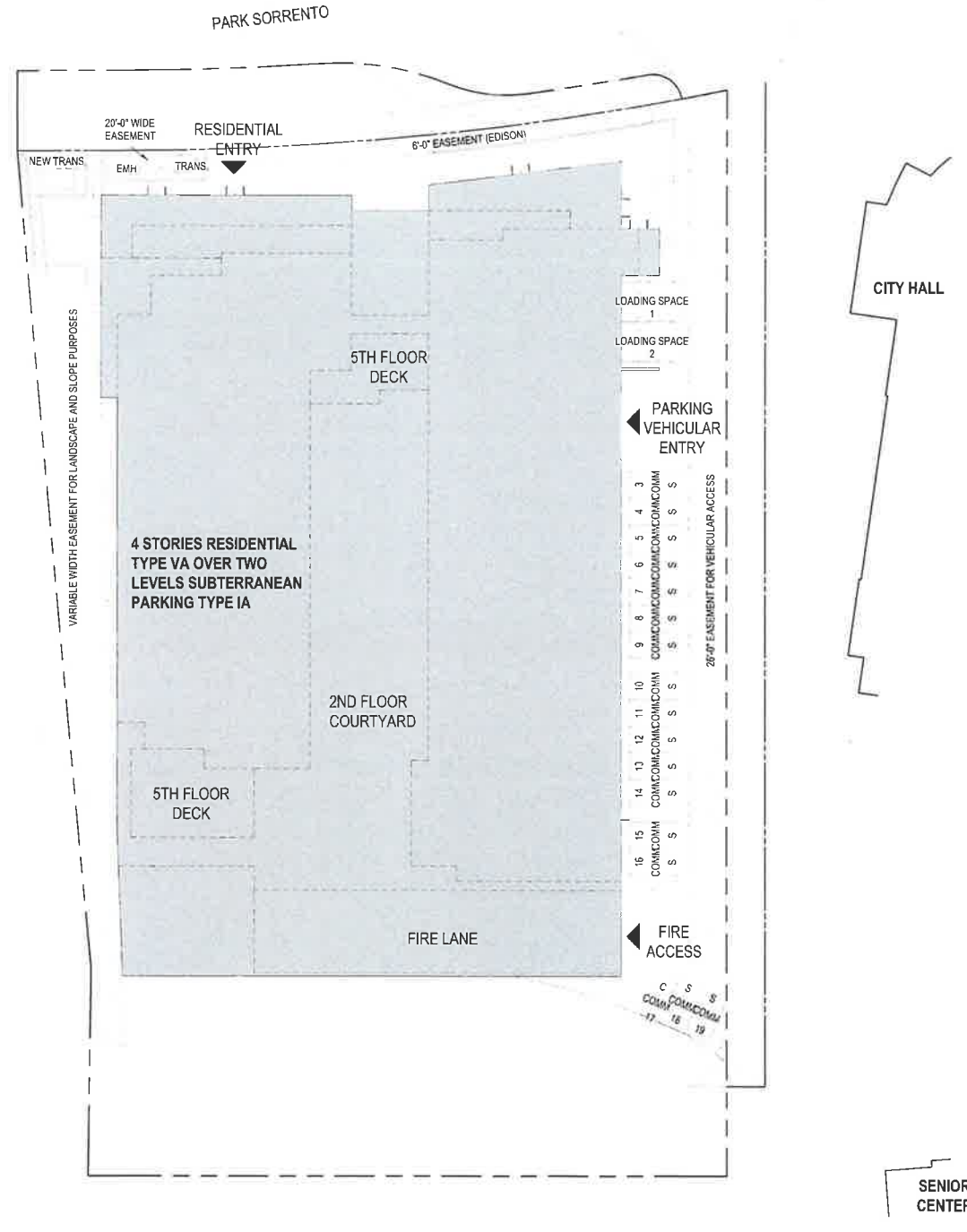
(1) A101	DETAIL	ALIGN FINISHES
(1) A101	BUILDING SECTION	SMOKE DETECTOR
(1) A101	WALL SECTION	COMBINATION SMOKE / CARBON MONOXIDE DETECTOR
D A900 B	INTERIOR ELEVATION	FIRE EXTINGUISHER
(1) A101	EXTERIOR ELEVATION	AREA DRAIN
	ELEVATION MARK	FLOOR DRAIN
	WINDOW MARK	FLOOR MATERIAL TRANSITION
	DOOR MARK	SECURITY OPENING
	WALL TYPE	
	WORK POINT	
	NOTE	
	ACCESSIBLE PATH OF TRAVEL	
	FENCE	
	EXIT SIGN	

PROJECT TEAM

<b>OWNER</b> CRUZAN 9171 WILSHIRE BLVD, SUITE 500 BEVERLY HILLS, CA 90210 TEL: 714.421.0252 CONTACT: TOM WOOD	<b>LANDSCAPE ARCHITECT</b> LAND IMAGES 6605 HOLLYWOOD BLVD, SUITE 210 LOS ANGELES, CA 90028 TEL: 323.466.4707 CONTACT: SCOTT VAN SOOY
<b>ARCHITECT</b> KFA, LLP 3573 HAYDEN AVENUE CULVER CITY, CA 90232 TEL: 310.399.7975 CONTACT: CHRISTINE CHO	<b>CIVIL ENGINEER</b> DIAMOND WEST, INC. 23801 CALABASAS ROAD, SUITE 1034 CALABASAS, CA 91302 TEL: 818.591.1050 CONTACT: DUSTIN WOOMER



PLOT PLAN



PLOT PLAN  
3/64" = 1'-0"

GENERAL NOTES

- THE WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODE, AND ALL OTHER ORDINANCES, CODES, AND REGULATIONS LISTED IN THE SPECIFICATIONS OR ON THE DRAWINGS, AND REQUIRED BY LOCAL BUILDING AUTHORITIES, THE GOVERNING CODES, RULES, AND REGULATIONS ARE COLLECTIVELY REFERRED TO AS "THE CODE". CONTRACTOR SHALL REPORT ANY INCONSISTENCIES, CONFLICTS OR OMISSIONS HE MAY DISCOVER TO THE ARCHITECT FOR INTERPRETATION PRIOR TO PERFORMING THE WORK.
- CONSTRUCTION SHALL COMPLY WITH PERTINENT HEALTH AND SAFETY REGULATIONS FOR REQUIRED METHODS PROTECTING PUBLIC AND CONSTRUCTION WORKER'S HEALTH AND SAFETY DURING THE CONSTRUCTION PERIOD.
- BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR CORRECTNESS OF SAME.
- DIMENSIONS SHALL BE AS INDICATED ON THE DRAWINGS, CLARIFICATIONS, IF REQUIRED, SHALL BE OBTAINED FROM THE ARCHITECT, THE DRAWING SHALL NOT BE SCALED.
- ALL ITEMS MARKED NIC ON THE SPECIFICATIONS AND DRAWINGS MEANS NOT IN CONTRACT.
- DO NOT MAKE ANY SUBSTITUTIONS WITHOUT PERMISSION OF THE ARCHITECT OR THE OWNER.
- WORK INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS NIC, OR BY SEPARATE CONTRACTORS, IS NOT PART OF THIS CONTRACT. CONTRACTOR SHALL COOPERATE FULLY WITH ALL SEPARATE CONTRACTORS EMPLOYED BY THE OWNER.
- THE CLIENT, ARCHITECT, CONSULTANTS, AND ALL INSPECTORS FROM PERTINENT AGENCIES SHALL BE PERMITTED ACCESS TO THE JOB SITE AT ALL TIMES DURING NORMAL WORKING HOURS.
- WINDOW AND DOOR DIMENSIONS FOR PREFABRICATED WINDOW AND DOOR UNITS HAVE BEEN ROUNDED TO THE NEAREST INCH ON THE DRAWINGS. SPECIFIC DIMENSIONS BY MANUFACTURERS MAY VARY FROM THE DRAWINGS.
- THE CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF ALL FLOOR, ROOF, AND WALL OPENINGS WITH ALL APPLICABLE DRAWINGS.
- DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN, MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK OF THE CONTRACT.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHODS OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES INCLUDING, BUT NOT LIMITED TO BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND/OR ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES TO THE CONSTRUCTION PROCEDURES.
- ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR ENGINEER DURING THE CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH IS FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR ENGINEER, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMANCE WITH CONTRACT DOCUMENTS, BUT DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- IN THE EVENT OF CONFLICTING REQUIREMENTS BETWEEN ITEMS ON THE DRAWINGS OR BETWEEN ITEMS IN THE SPECIFICATIONS, OR BETWEEN ITEMS ON THE DRAWINGS AND IN THE SPECIFICATIONS, THE MORE STRINGENT OR COSTLY SHALL GOVERN, UNLESS DECIDED OTHERWISE BY THE ARCHITECT.

FAR

LOT AREA:  
1.96 acres = 85,378 SF (PER TAX ASSESSOR)

MULTIPLIER:  
0.95:1 - CMU zone  
1.5:1 - using Affordable Housing Overlay

ALLOWABLE FAR:  
= LOT AREA X MULTIPLIER  
= 85,378 SF X 1.5  
= 128,067 SF

PROPOSED FAR:  
= TOTAL BUILDING AREA / LOT AREA  
= 116,495 SF / 85,378 SF  
= 1.381

LEVEL	FAR	AREA (SF)
1ST FLOOR	COMMERCIAL	1600
		1600
1ST FLOOR	RESIDENTIAL	3360
2ND FLOOR	RESIDENTIAL	30082
3RD FLOOR	RESIDENTIAL	28991
4TH FLOOR	RESIDENTIAL	28364
5TH FLOOR	RESIDENTIAL	26098
		116695
GRAND TOTAL		119495

GROSS BUILDING AREA

AREA SCHEDULE (TOTAL BUILDING AREA)		
LEVEL P1	TYPE IA	36046
1ST FLOOR	TYPE IA	44552
TYPE IA		80600
2ND FLOOR	TYPE V-A	27587
3RD FLOOR	TYPE V-A	27699
4TH FLOOR	TYPE V-A	26922
5TH FLOOR	TYPE V-A	24190
TYPE V-A		106598
GRAND TOTAL		187198

VEHICULAR PARKING

REQUIRED VEHICULAR PARKING: PER CMC

RESIDENTIAL: STUDIO - 1 SPACE = 3 x 1 = 3 SPACES  
 1-BR - 1.5 SPACES = 46 x 1.5 = 69 SPACES  
 2-BR - 2 SPACES = 55 x 2 = 110 SPACES  
 3-BR - 2.5 SPACES = 3 x 2.5 = 7.5 SPACES  
 TOTAL: 189.5 = 190 SPACES

GUEST PARKING: 1 SPACE PER 3 UNITS = 107 / 3 = 36 SPACES

COMMERCIAL: CAFE (COUNTER SERVICE) - 1 SPACE / 180 SF = 1,600 SF / 180 SF = 9 SPACES  
 OUTDOOR DINING - 1 SPACE / 250 SF = 1 SPACE

TOTAL REQUIRED PARKING (PER CMC): 236 SPACES

REQUIRED VEHICULAR PARKING: PER STATE DENSITY BONUS

RESIDENTIAL: STUDIO / 1-BR - 1 SPACE = 49 x 1 = 49 SPACES  
 2-BR / 3-BR - 2 SPACES = 58 x 2 = 116 SPACES  
 TOTAL: 165 SPACES

GUEST PARKING: NONE REQUIRED

COMMERCIAL: CAFE (COUNTER SERVICE) - 1 SPACE / 180 SF = 1,600 SF / 180 SF = 9 SPACES  
 OUTDOOR DINING - 1 SPACE / 250 SF = 1 SPACE

TOTAL REQUIRED PARKING (STATE DENSITY BONUS): 175 SPACES

PROVIDED PARKING:

COMMERCIAL: FIRST FLOOR - 20 SPACES  
 STREET PARKING - 19 SPACES  
 EXISTING PARKING - 6 SPACES  
 TOTAL: 45 SPACES

RESIDENTIAL: FIRST FLOOR - 65 SPACES  
 LEVEL P1 - 99 SPACES  
 TOTAL: 165 SPACES

TOTAL PROVIDED PARKING: 210 SPACES

BICYCLE PARKING

REQUIRED BICYCLE PARKING: PER CMC

RESIDENTIAL: 1 SPACE PER UNIT = 107 UNITS = 107 SPACES  
 GUEST PARKING: 1 SPACE PER 10 UNITS = 11 SPACES  
 TOTAL: 118 SPACES

COMMERCIAL: 10% OF VEHICLE SPACES = 10% x 41 SPACES = 5 SPACES

PROVIDED BICYCLE PARKING:

RESIDENTIAL: 107 SPACES  
 GUEST PARKING: 11 SPACES  
 TOTAL: 118 SPACES

COMMERCIAL: 5 SPACES

OPEN SPACE REQUIRED

REQUIRED OPEN SPACE:

PER CMC - AFFORDABLE HOUSING OVERLAY:  
 COMMON & PRIVATE OPEN SPACE:  
 MIN. 75 SF PER UNIT (COMBINED AVERAGE) = 75 SF x 107 UNITS = 8,025 SF

UNIT	# OF UNITS	REQ'D OPEN SPACE
1 BR	46	3,450 SF
2 BR	55	4,125 SF
3 BR	3	225 SF
STUDIO	3	225 SF
Grand total	107	8,025 SF

OPEN SPACE PROVIDED

NAME	LEVEL	QTY	Area (SF)
COMMON OPEN SPACE TERRACE	1ST FLOOR	1	338 SF
COMMON OPEN SPACE COURTYARD	2ND FLOOR	2	7442 SF
COMMON OPEN SPACE GYM	2ND FLOOR	1	600 SF
PRIVATE OPEN SPACE	2ND FLOOR	28	3310 SF
PRIVATE OPEN SPACE	3RD FLOOR	28	1704 SF
PRIVATE OPEN SPACE	4TH FLOOR	29	2506 SF
COMMON OPEN SPACE ROOF DECK	5TH FLOOR	2	1659 SF
PRIVATE OPEN SPACE	5TH FLOOR	25	1918 SF
GRAND TOTAL			15478 SF

TOTAL COMMON OPEN SPACE: 10,039 SF  
 TOTAL PRIVATE OPEN SPACE: 9,439 SF

UNIT COUNT/MIX

UNIT	QTY
STUDIO	3
1-BR	46
2-BR	55
3-BR	3
TOTAL	107

PROJECT INFORMATION

PROJECT NAME: THE PARK APARTMENTS

ADDRESS: PARKING LOT ON PARK SORRENTO, CALABASAS, CA 90312

APN: 2068-003-034

OWNER: CRUZAN  
 9171 WILSHIRE BLVD, SUITE 500  
 BEVERLY HILLS, CA 90210

PROJECT DESCRIPTION: NEW CONSTRUCTION OF A 5-STORY MIXED USE BUILDING INCLUDING 1,600 SF COMMERCIAL SPACE, 107 RENTAL UNITS (20% OR 16 LOW INCOME HOUSEHOLDS AND 6 25% OR 5 VERY LOW INCOME HOUSEHOLDS) AND 210 PARKING SPACES (1.5 SUBTERRANEAN LEVEL + STREET PARKING)

CONSTRUCTION TYPE: 4 STORIES OF TYPE VA OVER 2 STORIES OF TYPE IA

OCCUPANCY TYPE: R-2 RESIDENTIAL AND S-2 PARKING

ZONING: CMU (COMMERCIAL MIXED USE) - PER CALABASAS MUNICIPAL CODE (CMC) ZONE 6 UNDER CALABASAS PARK CENTER DESIGN GUIDELINES (CPC)

SITE AREA: 85,378 SF = 1.96 ACRES (PER TAX ASSESSOR)

SET BACKS: FRONT: NONE REQUIRED (PER CMC)  
 15' ABOVE & BELOW GRADE + 10' 3RD FLOOR + 10' 4TH/5TH FLOOR (PER CPC DESIGN GUIDELINES)  
 SIDES: NONE REQUIRED (PER CMC)  
 STREET SIDE: 10' (PER CMC)  
 REAR: NONE REQUIRED (PER CMC)

FAR ALLOWED: 0.95 (FAR PER CMC - CMU ZONE)  
 1.5 (FAR - AFFORDABLE HOUSING OVERLAY)

PROPOSED FAR: 116,495 SF / 85,378 SF = 1.381

ALLOWABLE DENSITY: 20 DU/ACRE = 1.96 x 20 = 39.2 = 40 UNITS

AFFORDABLE HOUSING OVERLAY DENSITY: 40 DU/ACRE = 1.96 x 40 = 78.4 = 79 UNITS

STATE DENSITY BONUS: 79 UNITS + 35% INCREASE = 106.65 = 107 UNITS

PROJECT DENSITY: 107 UNITS

AFFORDABLE UNITS: 28% (16 UNITS) LOW INCOME HOUSEHOLDS  
 6.25% (5 UNITS) VERY LOW INCOME HOUSEHOLDS

ALLOWABLE BLDG HEIGHT: 35' (PER CMC)  
 50' (AFFORDABLE HOUSING OVERLAY)  
 75' (PER CPC DESIGN GUIDELINES)  
 50' + 11' = 61' (USING STATE DENSITY BONUS)

BLDG HEIGHT: 60'-6" (MEASURED FROM NEAREST EXISTING OR FINISHED GRADE)

REQUIRED PARKING: 175 (USING STATE DENSITY BONUS)

PROPOSED PARKING: 210

LOT COVERAGE: MAX. 62% OF NET SITE AREA (PER CMC)  
 46,172 SF / 85,378 SF = 54%

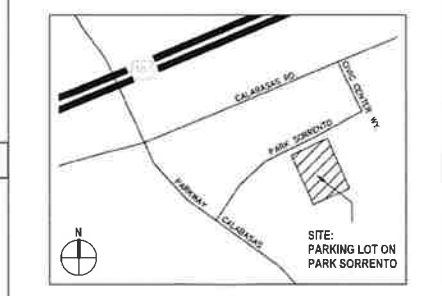
STATE DENSITY BONUS

INCENTIVES:  
 INCREASED BUILDING HEIGHT - ADDITIONAL 11'  
 MAX. BLDG HEIGHT: 50' (BASE HEIGHT) + 11' (DENSITY BONUS) = 61'

BUILDING CODES USED

- 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. AND AMENDMENTS
- 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. AND AMENDMENTS
- 2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24, C.C.R. AND AMENDMENTS
- 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24, C.C.R. AND AMENDMENTS
- 2019 CALIFORNIA FIRE CODE (FC), PART 9, TITLE 24, C.C.R. AND AMENDMENTS
- 2019 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R.
- 2019 CALIFORNIA GREEN BUILDING CODE, TITLE 24, PART 6

VICINITY MAP



3573 HAYDEN AVENUE  
 CULVER CITY, CA 90232  
 310.299.7975  
 KFA@DANGELSCOM

THE PARK APARTMENTS  
 APN: 2068-003-034  
 PARK SORRENTO  
 CALABASAS, CA, 91302

CRUZAN  
 9171 WILSHIRE BLVD  
 BEVERLY HILLS, CA 90210

ENTITLEMENT SET

2019-029.00  
 08.30.2022

PROJECT INFORMATION

G001





3573 HAYDEN AVENUE  
CULVER CITY, CA 90232  
310.398.7875  
KFALOSANGELES.COM

# THE PARK APARTMENTS

APN: 2068-003-034

PARK SORRENTO  
CALABASAS, CA, 91302

LOT AREA:  
1.96 acres = 85,378 SF (PER TAX ASSESSOR)

MULTIPLIER:  
0.95:1 - CNU zone  
1.5:1 - using Affordable Housing Overlay

ALLOWABLE FAR:  
= LOT AREA X MULTIPLIER  
= 85,378 SF X 1.5  
= 128,067 SF

PROPOSED FAR:  
= TOTAL BUILDING AREA / LOT AREA  
= 118,495 SF / 85,378 SF  
= 1.38:1

### PROPOSED FAR

LEVEL	FAR	AREA (SF)
1ST FLOOR	COMMERCIAL	1600
		1600
1ST FLOOR	RESIDENTIAL	3360
2ND FLOOR	RESIDENTIAL	30082
3RD FLOOR	RESIDENTIAL	28991
4TH FLOOR	RESIDENTIAL	28364
5TH FLOOR	RESIDENTIAL	20096
		116695
GRAND TOTAL		118495

### SHEET NOTES

MEASUREMENT PER LAMC 12.03:  
AREA IN SQUARE FEET CONFINED WITHIN THE  
EXTERIOR WALLS OF A BUILDING, BUT NOT  
INCLUDING THE AREA OF THE FOLLOWING:  
EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS  
HOUSING BUILDING EQUIPMENT OR MACHINERY,  
PARKING AREAS WITH ASSOCIATED DRIVEWAYS  
AND RAMPS, SPACE FOR THE LANDING AND  
STORAGE OF HELICOPTERS, AND BASEMENT  
STORAGE AREAS.

CRUZAN  
5171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

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### ENTITLEMENT SET

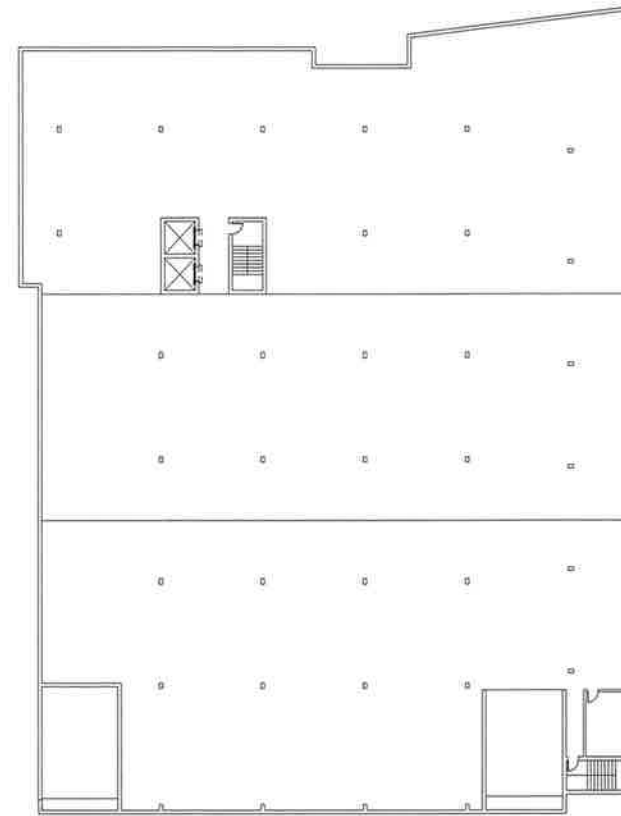
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### LEGEND

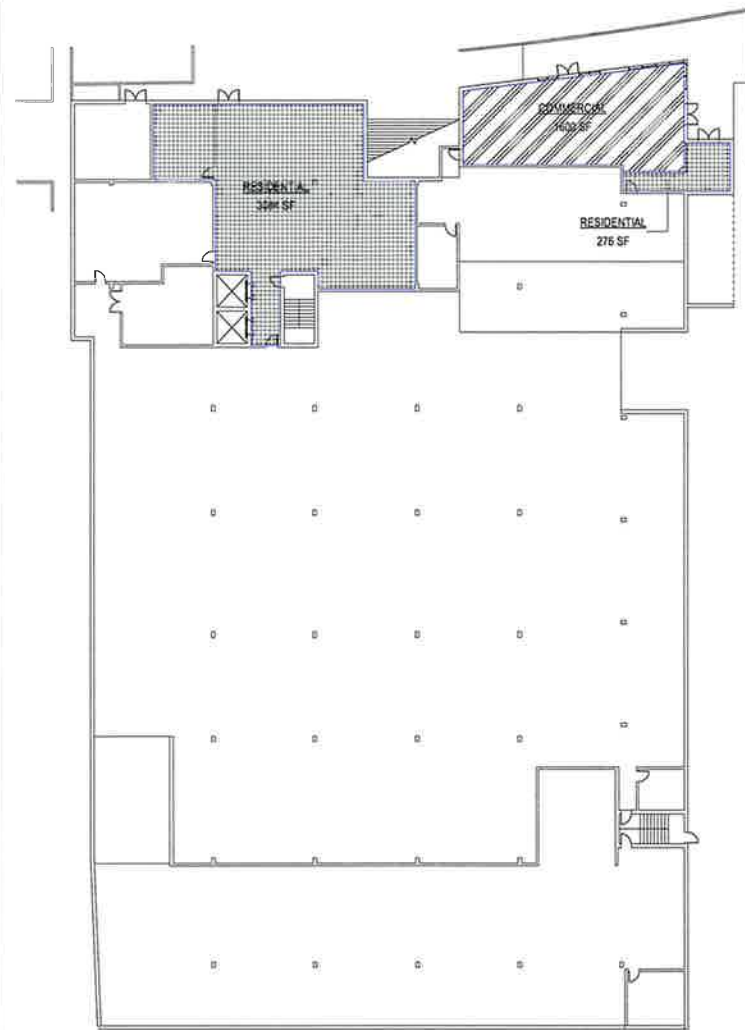
-  COMMERCIAL
-  RESIDENTIAL

### FAR CALCULATIONS

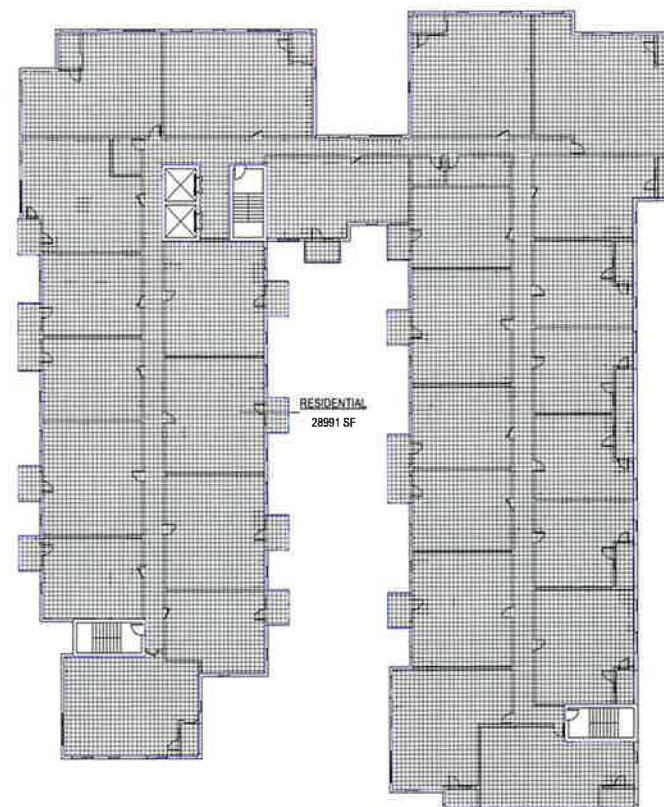
08/04/2019  
**G020**



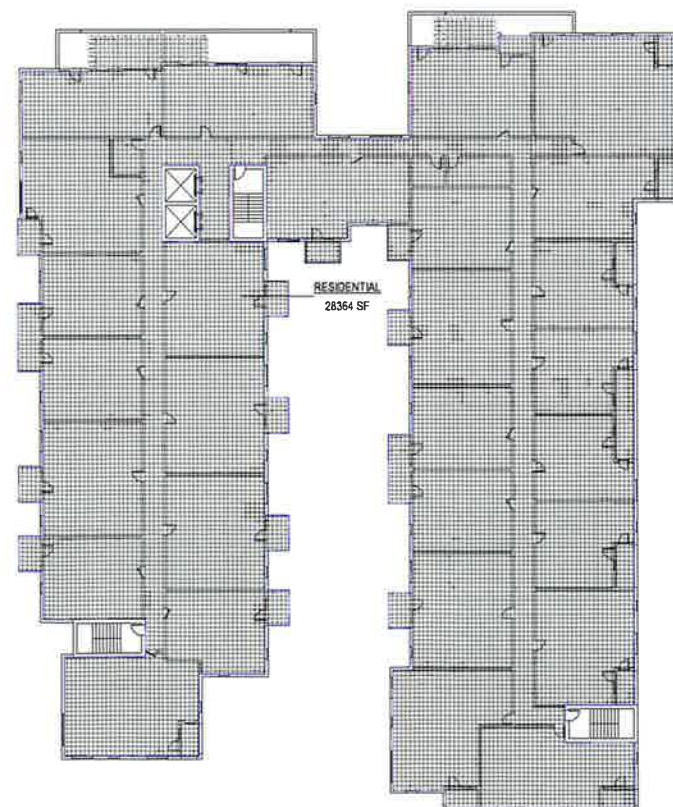
LEVEL P1  
1" = 20'-0"



1ST FLOOR FAR PLAN  
1" = 20'-0"



3RD FLOOR FAR PLAN  
1" = 20'-0"



4TH FLOOR FAR PLAN  
1" = 20'-0"



2ND FLOOR FAR PLAN  
1" = 20'-0"



5TH FLOOR FAR PLAN  
1" = 20'-0"





3573 HAYDEN AVENUE  
CULVER CITY, CA 90232  
310.393.7875  
KFA@KANGEL.COM

# THE PARK APARTMENTS

APN: 2068-003-034

PARK SORRENTO  
CALABASAS, CA, 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

## ENTITLEMENT SET

DATE: 2019-02-09  
BY: 08.30.2022

## OPEN SPACE CALCULATIONS

G021

### REQUIRED OPEN SPACE

UNIT	# OF UNITS	REQ'D OPEN SPACE
1 BR	46	3,450 SF
2 BR	55	4,125 SF
3 BR	3	225 SF
STUDIO	3	225 SF
<b>Grand total</b>	<b>107</b>	<b>8,025 SF</b>

### REQUIRED OPEN SPACE:

PER CMC - AFFORDABLE HOUSING OVERLAY:  
COMMON & PRIVATE OPEN SPACE  
MIN. 75 SF PER UNIT (COMBINED AVERAGE) =  
= 75 SF x 107 UNITS = 8,025 SF

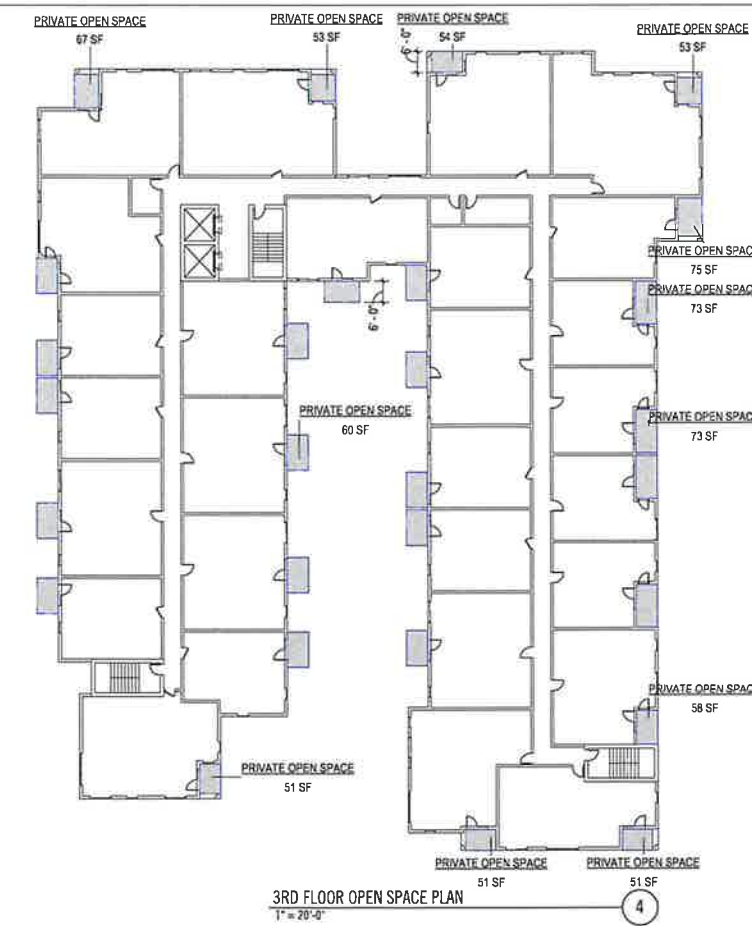
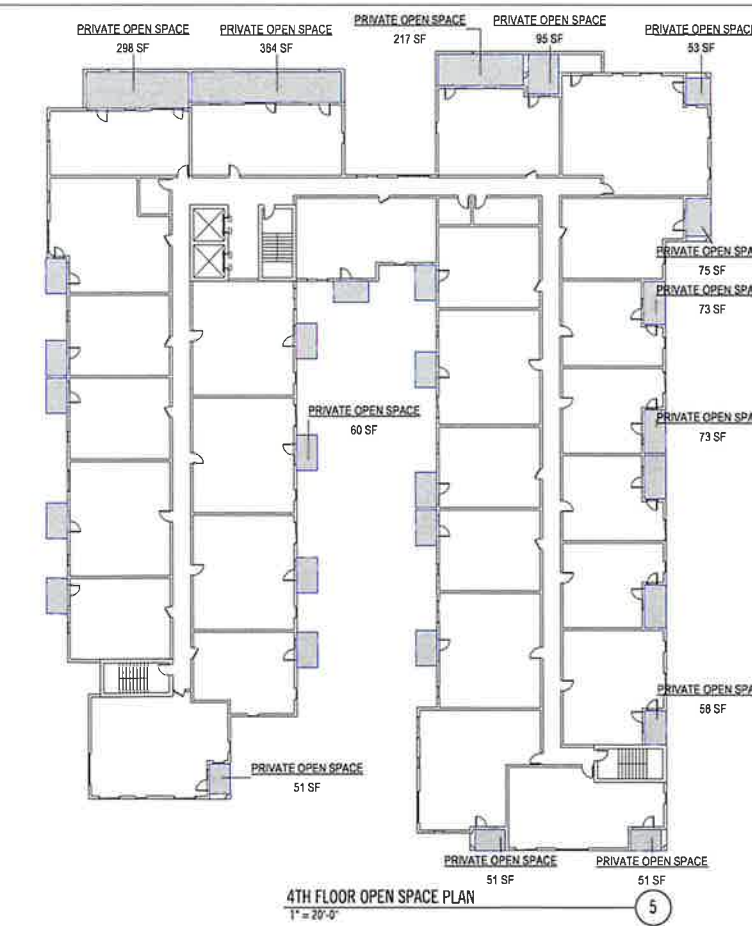
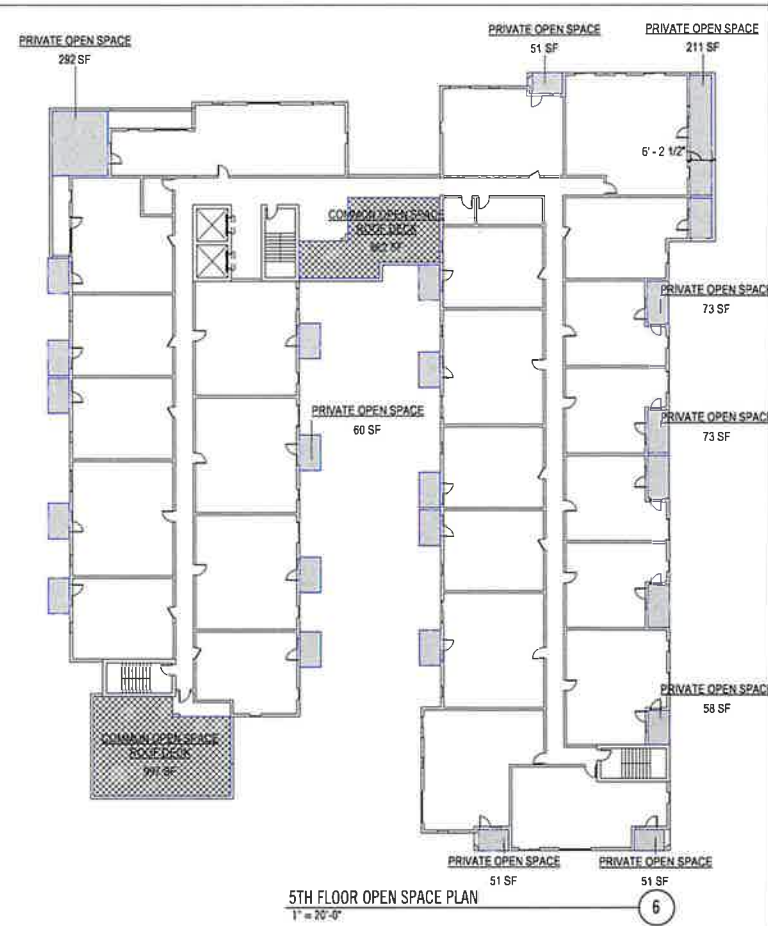
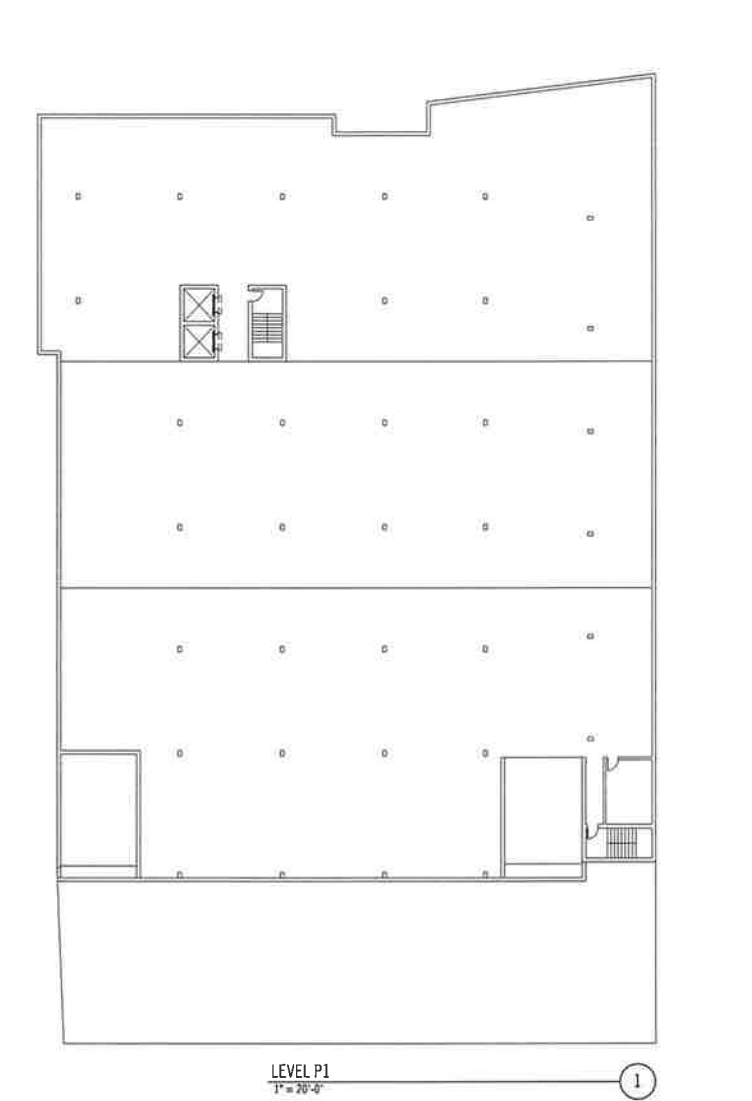
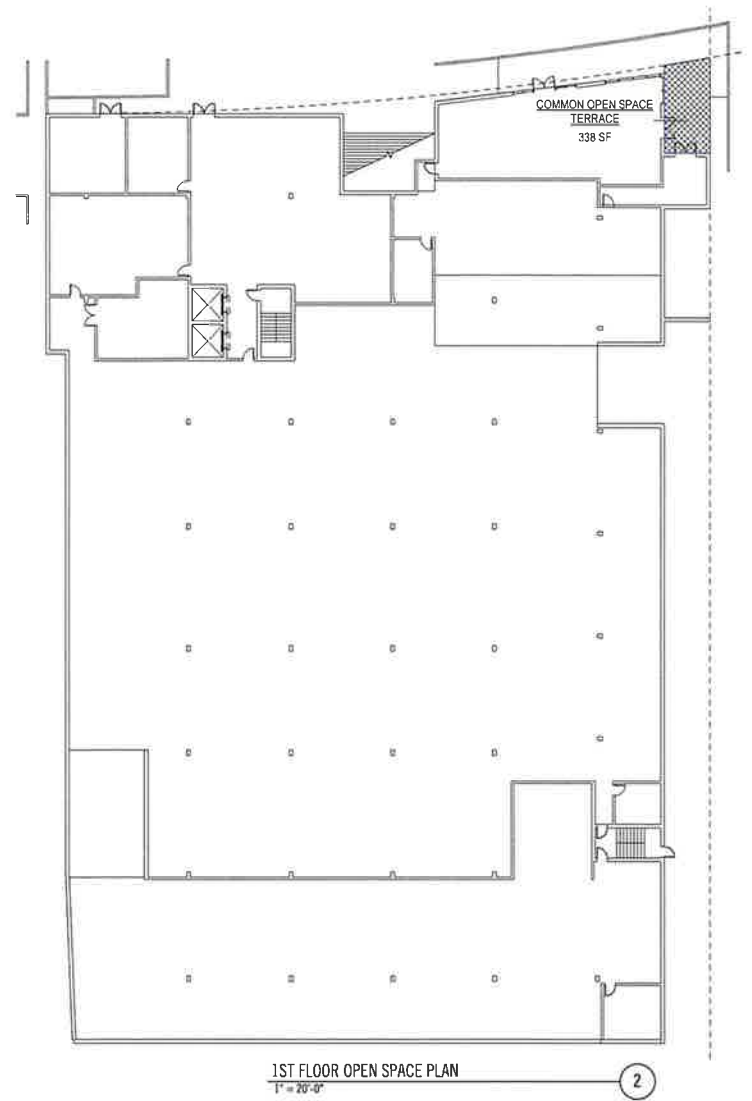
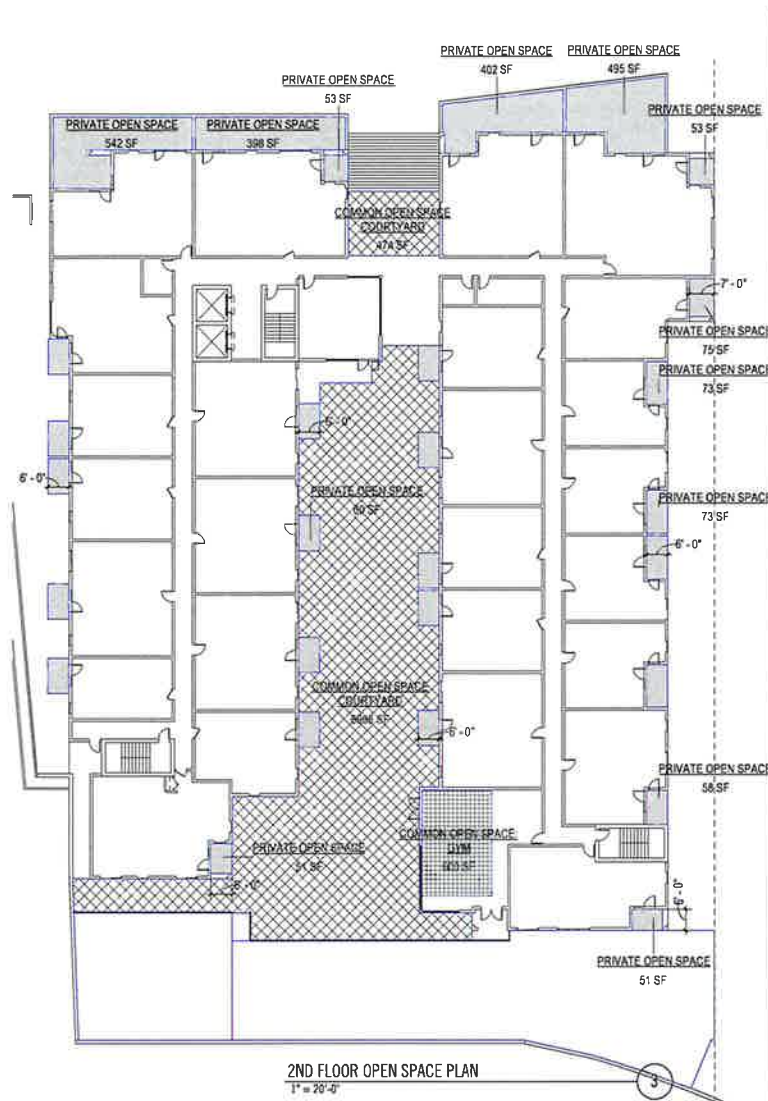
### PROPOSED OPEN SPACE

NAME	LEVEL	QTY	Area (SF)
COMMON OPEN SPACE TERRACE	1ST FLOOR	1	338 SF
COMMON OPEN SPACE COURTYARD	2ND FLOOR	2	7442 SF
COMMON OPEN SPACE GYM	2ND FLOOR	1	800 SF
PRIVATE OPEN SPACE	2ND FLOOR	28	3310 SF
PRIVATE OPEN SPACE	3RD FLOOR	28	1704 SF
PRIVATE OPEN SPACE	4TH FLOOR	29	2506 SF
COMMON OPEN SPACE ROOF DECK	5TH FLOOR	2	1659 SF
PRIVATE OPEN SPACE	5TH FLOOR	25	1918 SF
<b>GRAND TOTAL</b>			<b>19478 SF</b>

### SHEET NOTES

### LEGEND

- COMMON OPEN SPACE COURTYARD
- COMMON OPEN SPACE ROOF DECK
- COMMON OPEN SPACE TERRACE
- COMMON OPEN SPACE: GYM
- PRIVATE OPEN SPACE







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# THE PARK APARTMENTS

APN: 2068-003-034  
PARK SORRENTO  
CALABASAS, CA, 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

ENTITLEMENT SET  
AS SHOWN  
2019-029.00  
DATE  
08.30.2022  
PROJECT

BUILDING AREA

G022

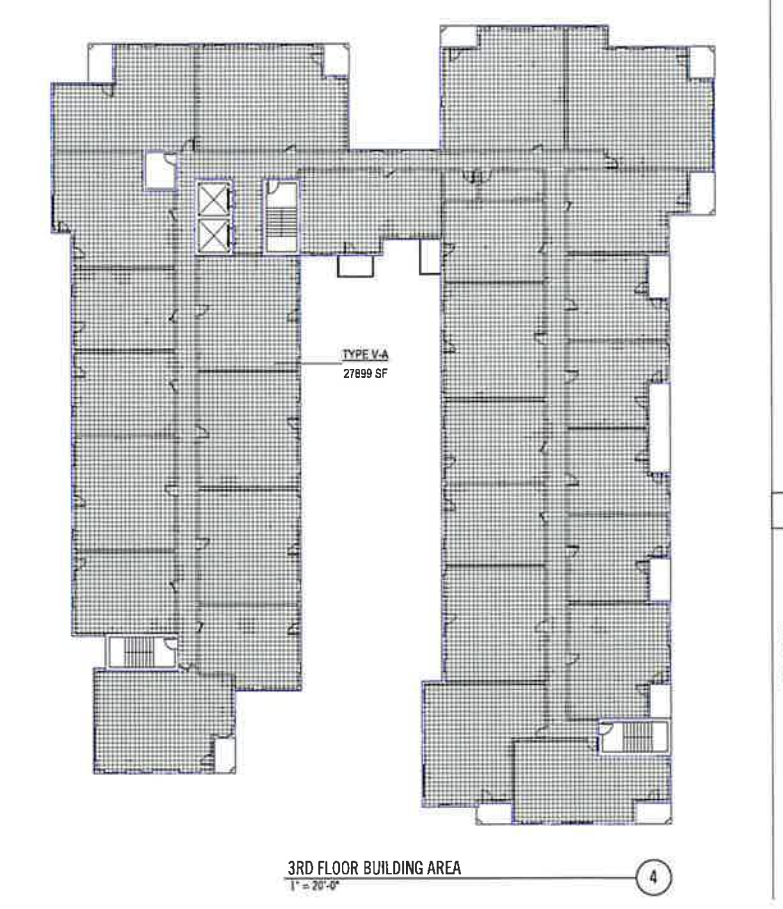
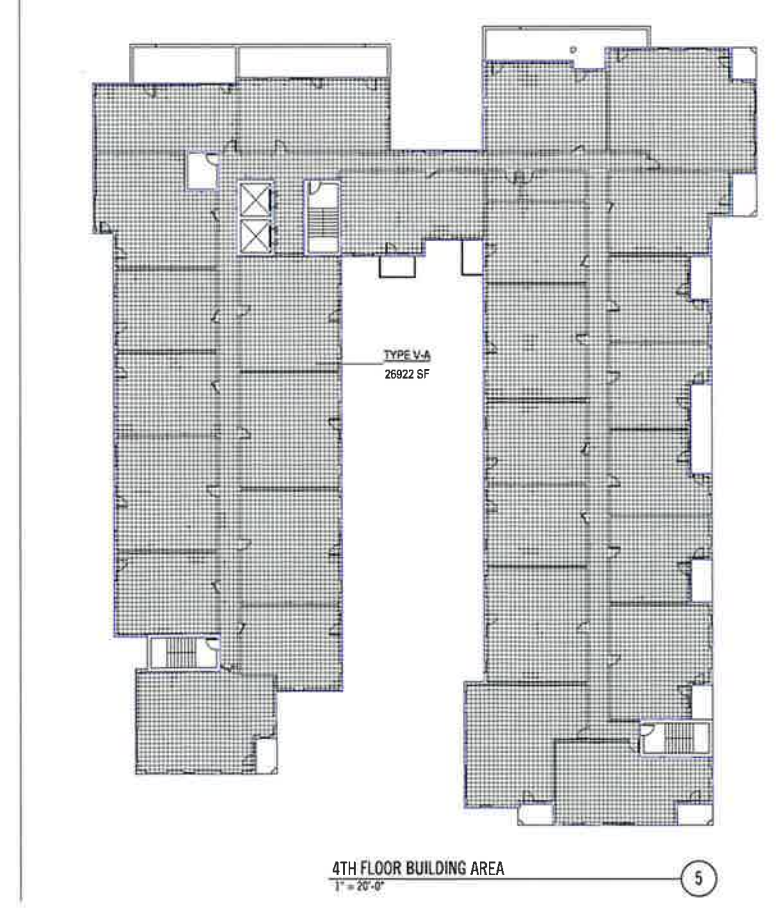
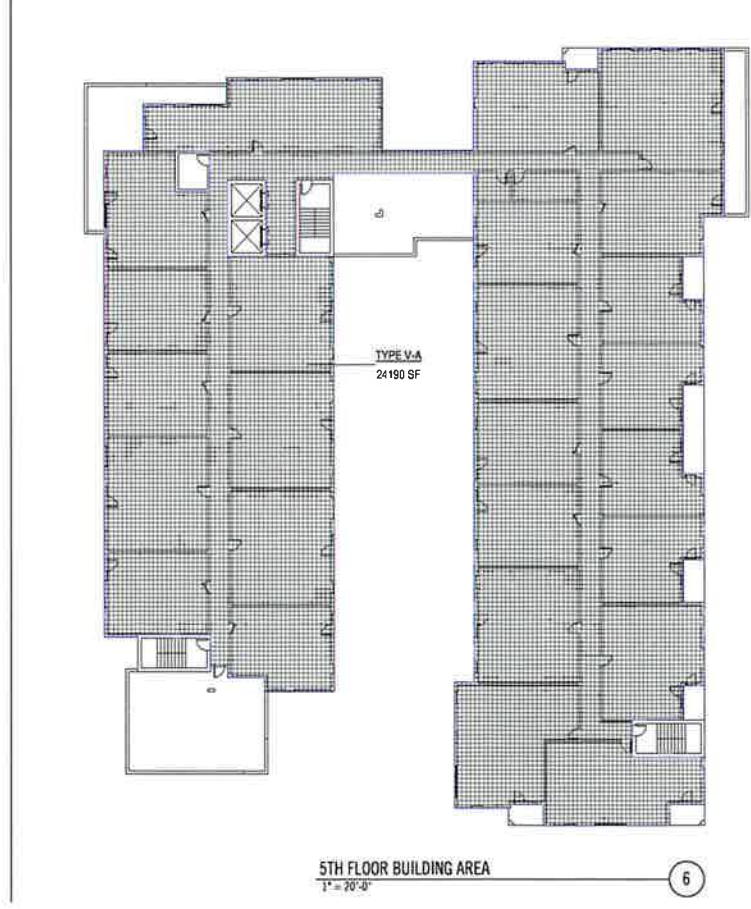
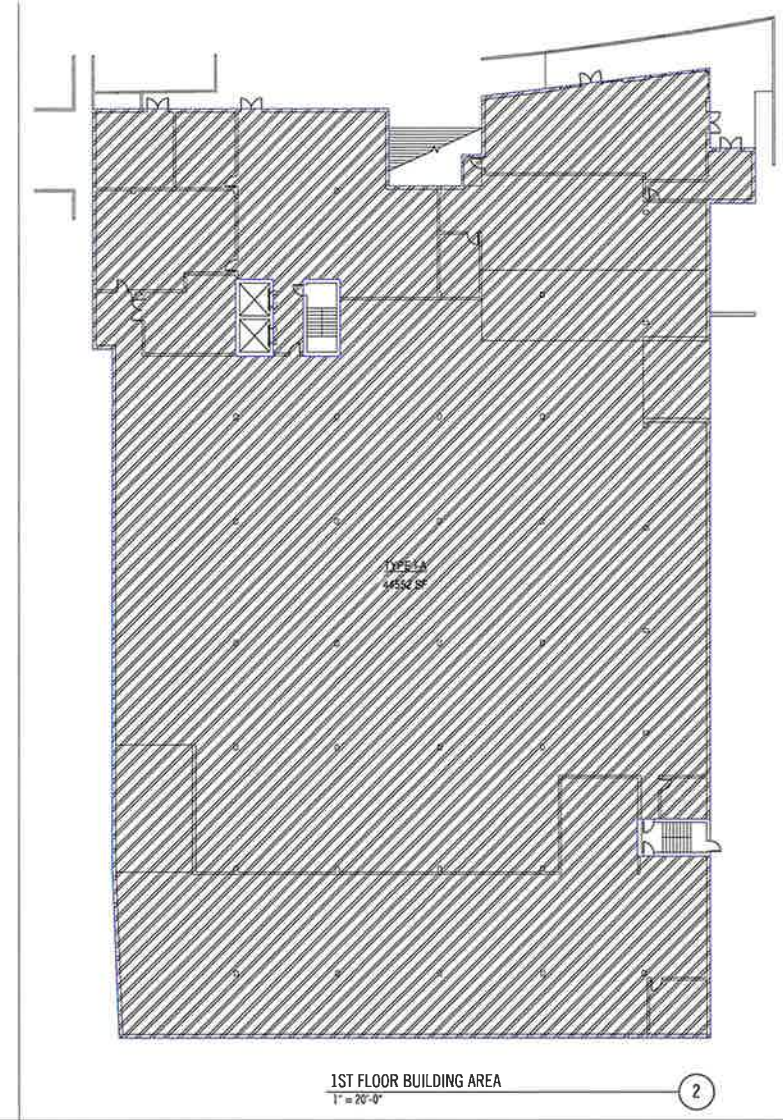
### NOTES

AREA SCHEDULE (TOTAL BUILDING AREA)		
LEVEL P1	TYPE I-A	36348
1ST FLOOR	TYPE I-A	44552
TYPE I-A		80600
2ND FLOOR	TYPE V-A	27587
3RD FLOOR	TYPE V-A	27899
4TH FLOOR	TYPE V-A	26922
5TH FLOOR	TYPE V-A	24190
TYPE V-A		106598
GRAND TOTAL		187198

### LEGEND

#### BUILDING AREA LEGEND

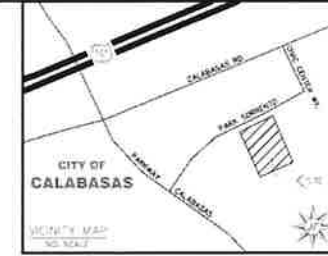
- TYPE I-A
- TYPE V-A





ALTA/NSPS LAND TITLE SURVEY

PARKING LOT ON PARK SORRENTO, CALABASAS CA



ITEMS CORRESPONDING TO SCHEDULE "B":

BY: FIDELITY NATIONAL TITLE COMPANY... COMMITMENT NO. 997-3008078-44-T54... DATE: JUNE 1, 2022 AT 7:30 A.M.

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMENT AND ARE REFERENCED ON THIS MAP. CONTENTS AND AGREEMENTS LISTED HEREIN CONTAIN NUMBERS THAT MAY AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DETERMINE SPECIFICS PROVIDED AND IS NOT PLOTTED HEREON.

- 1. WATER RIGHTS, CLAIMS ON TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS... 2. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 3. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 4. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 5. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 6. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 7. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: DEDICATION OF PROPERTY TO LAS VIRGENES MUNICIPAL WATER DISTRICT FOR PUBLIC USE... 8. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: DEDICATION OF PROBABLE WATER SYSTEM FOR TRACT NO. 37824... 9. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 10. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: SLOPE AGREEMENT DATED FEBRUARY 27, 1992... 11. THE EFFECT OF A NOTICE STREET VACATION, RECORDED DECEMBER 14, 1999... 12. RECALLS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 15639, WHICH AMONG OTHER THINGS REQUIRES... 13. RECALLS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 15639, WHICH AMONG OTHER THINGS REQUIRES... 14. RECALLS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 15639, WHICH AMONG OTHER THINGS REQUIRES... 15. THE DIMENSION OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET... 16. RECALLS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 15639, WHICH AMONG OTHER THINGS REQUIRES... 17. THE FOLLOWING MATTERS SHOWN OR DISCLOSED BY THE FILED OR RECORDED MAP REFERENCED TO IN THE LEGAL DESCRIPTION... 18. A NON-EXCLUSIVE EASEMENT FOR PUBLIC STREET PURPOSES OVER THAT PORTION OF SAID LAND...

- 19. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 20. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 21. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: AGREEMENT OF RESERVATION DATED FEBRUARY 27, 1992... 22. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: GRANT OF RECREATIONAL EASEMENT AND MAINTENANCE AGREEMENT DATED MAY 16, 2003... 23. ANY EASEMENTS OF RIGHTS OF WAY FOR EXISTING UTILITIES OR OTHER RIGHTS OF WAY... 24. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 25. RECALLS AS SHOWN ON THAT CERTAIN TRACT NO. 37824 WHICH AMONG OTHER THINGS REQUIRES... 26. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 27. RECALLS AS SHOWN ON THAT CERTAIN TRACT NO. 37824 WHICH AMONG OTHER THINGS REQUIRES... 28. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 29. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 30. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 31. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 32. RECALLS AS SHOWN ON THAT CERTAIN TRACT NO. 37824 WHICH AMONG OTHER THINGS REQUIRES... 33. EASEMENTS FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL... 34. AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR PURPOSE(S) AS PROVIDED THEREIN... 35. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: QUILTELAN DEED DATED FEBRUARY 27, 1992...

ITEMS 3'S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID MAP IS ASSUMED BY THIS MAP.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED CALABASAS IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A: THAT PORTION OF LOT 8 AND LOT 10 OF TRACT NO. 37804, IN THE CITY OF CALABASAS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1192, PAGES 25 TO 28 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT A POINT ON THE CURVED SOUTHERLY RIGHT-OF-WAY OF PARK SORRENTO, BEING 47 FEET AS SHOWN ON SAID MAP DISTANT EASTERLY 20.98 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 17 29 03" FROM THE NORTHERLY CORNER... BEING AT A POINT ON THE CURVED SOUTHERLY RIGHT-OF-WAY OF PARK SORRENTO, BEING 47 FEET AS SHOWN ON SAID MAP DISTANT EASTERLY 20.98 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 17 29 03" FROM THE NORTHERLY CORNER...

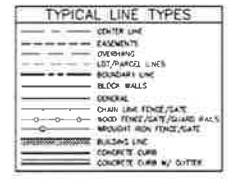
SAID PARCEL A IS SHOWN AS PARCEL A (PROPOSED) IN THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT CERTIFICATE NO. 99-20094 OF OFFICIAL RECORDS.

PARCEL B: TOGETHER WITH THAT PORTION OF SORRENTO STREET AS VACATED BY RESOLUTION NO. 81-565 RECORDED DECEMBER 14, 1999 AS INSTRUMENT NO. 99-20094 OF OFFICIAL RECORDS, THAT WOULD PASS THROUGH LEGAL CONVEYANCE OF SAID LAND, EXCEPT THAT PORTION LYING SOUTHWESTERLY OF THE SOUTHWESTERLY LINE OF THE ABOVE PARCEL "A".

PARCEL C: AN EASEMENT FOR VEHICULAR AND PEDESTRIAN ACCESS AND EGRESS PURPOSES OVER THAT PORTION OF LAND DESCRIBED IN PARCEL B ATTACHED TO THAT CERTAIN GRANT OF RECREATIONAL EASEMENT AND MAINTENANCE AGREEMENT BY AND BETWEEN THE CITY OF CALABASAS AND KELDY HEALTH, L.P., RECORDED JUNE 3, 2003 AS INSTRUMENT NO. 03-197332 OF OFFICIAL RECORDS.

EXCEPTING THEREFROM ANY PORTION THEREOF INCLUDED WITHIN THE LINES OF PARCEL B DESCRIBED ABOVE.

APN: 2068-003-034



PARKING SPACE TABLE with columns: TYPE OF SPACE, TOTAL, and TOTAL (ESTIMATED). Rows include STAIRCASE, MAN/CAF, and TOTAL.

LAND AREA: 83,660 SQUARE FEET 1,906 ACRES.

BASIS OF BEARINGS:

THE BEARING OF A BOUNDARY ALONG THE CENTERLINE OF SOUTHERLY LINE OF PARCEL A PER RECORD OF SURVEY, RSN 186/20, IN THE CITY OF CALABASAS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

FLOOD NOTE:

ZONE - "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06030C 1029 F EFFECTIVE DATE 8/26/2008. ZONE "X" DENOTES AREAS SUBJECT TO MINOR FLOODING.

STATEMENT OF POSSIBLE ENCROACHMENTS:

NOTE: THE FOLLOWING IS A LISTING OF OBSERVED ENCROACHMENTS THAT CROSS PROPERTY LINES, STATEMENT OF OWNERSHIP OR POSSESSION IS NEITHER IMPLIED NOR THE INTENT OF THIS LISTING.

- A. BLOCK WALL LIES 16'4" EAST OF THE PROPERTY LINE.

Vertical sidebar containing: REVISIONS, JRN CIVIL ENGINEERS, ALTA/NSPS LAND TITLE SURVEY, SCALE: N/A, DATE: 7-12-2022, DRAWN BY: C/JF, CHECKED BY: JRN, CLIENT: CRUZAN MONROE, ADDRESS: PARKING LOT ON PARK SORRENTO, CALABASAS CA, PHONE: (949) 248-4685, FAX: (949) 248-4687, PROJECT COORDINATOR: CHRIS FREY@JRN.CIVIL.COM.

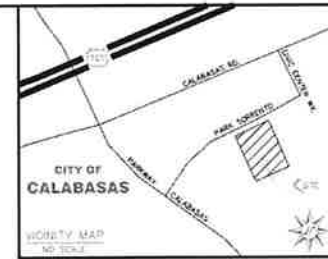
THE PARK APARTMENTS APN: 2068-003-034 PARK SORRENTO CALABASAS, CA, 91302

ENTITLEMENT SET DATE: 2019-029.00 SET: 08.30.2022

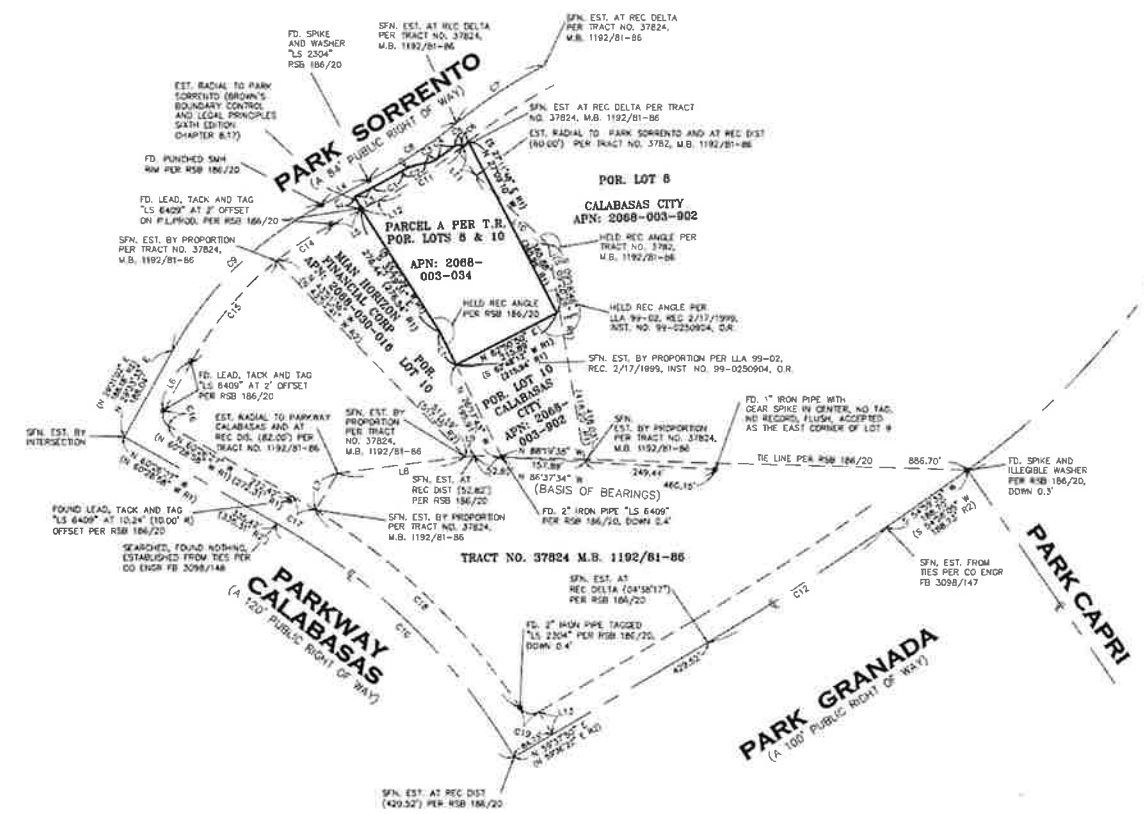


**ALTA/NSPS LAND TITLE SURVEY**

PARKING LOT ON PARK SORRENTO,  
CALABASAS CA



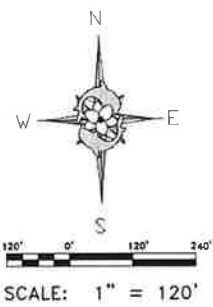
BOUNDARY ANALYSIS:



- LEGEND:**
- ASPHALT CONCRETE
  - BACKFLOW DEVICE
  - BATCH MARK
  - CONCRETE GUTTER
  - CENTER LINE
  - COLUMN
  - CLEANOUT
  - CURB VAULT
  - DRIVEWAY
  - DISTANCE
  - EAST
  - ELECTRIC TRANSFORMER
  - ELECTRIC CHARGE STATION
  - ELECTRIC PULLBOX
  - ELECTRIC VAULT
  - ESTABLISHED
  - FIRE DEPARTMENT CONNECTION
  - FIRE HYDRANT
  - FOUND
  - GUARD POST
  - INSTRUMENT
  - LANDSCAPED AREA
  - LIGHT POST
  - NORTH
  - NORTHEAST
  - NUMBER
  - NORTHWEST
  - OVERHANG
  - PIPE INDICATOR VALVE
  - PROPERTY LINE
  - PARKING SPACES
  - ED. LINE ADJUSTMENT
  - NO. 99-02, INSTRUMENT
  - NO. 99-00004
  - RECORD PER
  - TRACT NO. 37824
  - M.B. 1192/81-86
  - RECORD
  - SOUTH
  - STORMWATER MANHOLE
  - STREET LIGHT
  - SOUTHEAST
  - SQUARE FEET
  - SOUTHWEST
  - TELEPHONE PULLBOX
  - TYPICAL
  - UTILITY MANHOLE
  - UTILITY PULLBOX
  - WEST
  - WITH
  - WATER METER
  - WATER VALVE

**TYPICAL LINE TYPES**

---	CENTER LINE
---	BACKSIGHT
---	OVERHANG
---	LOT/PARCEL LINES
---	BOUNDARY LINE
---	BLOCK WALLS
---	GENERAL
---	CHAIN LINK FENCE/GATE
---	WOOD FENCE/GATE/BOARD BALK
---	WROUGHT IRON FENCE/GATE
---	BRICKLINE
---	CONCRETE CURB
---	CONCRETE CURB W/ GUTTER



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**BASIS OF BEARINGS:**  
THE BEARING OF N 86°37'54" W ALONG THE CENTERLINE OF SOUTHERLY LINE OF PARCEL A PER RECORD OF SURVEY, R59 186/20, IN THE CITY OF CALABASAS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

REVISIONS	<b>JRN CIVIL ENGINEERS</b>	<b>ALTA/NSPS LAND TITLE SURVEY</b>
	PHONE (949) 248-4685	SCALE: 1" = 120'
	232 AVENIDA FABRICANTE, STE. 107	DATE: 7-12-2022
	SAN CLEMENTE, CALIFORNIA 92672	DRAWN BY: CJF
	PROJECT COORDINATOR: CHRIS FREY(CFREY@JRN.CIVIL.COM)	CHKD. BY: JRN
	CLIENT: CRUZAN MONROE	FILE NO. 21508
	ADDRESS: PARKING LOT ON PARK SORRENTO, CALABASAS CA	

**THE PARK APARTMENTS**  
APN: 2068-003-034  
PARK SORRENTO  
CALABASAS, CA 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

ENTITLEMENT SET  
DATE: 2019-029-00  
DATE: 08.30.2022

SURVEY

G081







3573 HAYDEN AVENUE  
CULVER CITY, CA 90232  
310.399.7975  
KFA@KFSANGL.COM

# THE PARK APARTMENTS

APN: 2068-003-034

PARK SORRENTO  
CALABASAS, CA 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

## SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS OR FOM UNL.
- B. SEE SHEETS G040-G042 FOR TYPICAL ACCESSIBILITY REQUIREMENTS.
- C. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- D. PROVIDE EXPANSION JOINTS AT ALL POINTS OF CONTACT BETWEEN SLAB AND VERTICAL SURFACES.
- E. CONTROL JOINTS OR CONSTRUCTION JOINTS SHALL DIVIDE THE SLAB ON GRADE INTO SECTIONS WITH AREAS NOT EXCEEDING 4000SF (20' X 20') WITHOUT RE-ENTRANT CORNERS AND LENGTH TO WIDTH RATIO NOT EXCEEDING 1:12:1. ADDITIONAL CONTROL OR CONSTRUCTION JOINTS SHALL BE PLACED AT RE-ENTRANT CORNERS.

## LEGEND

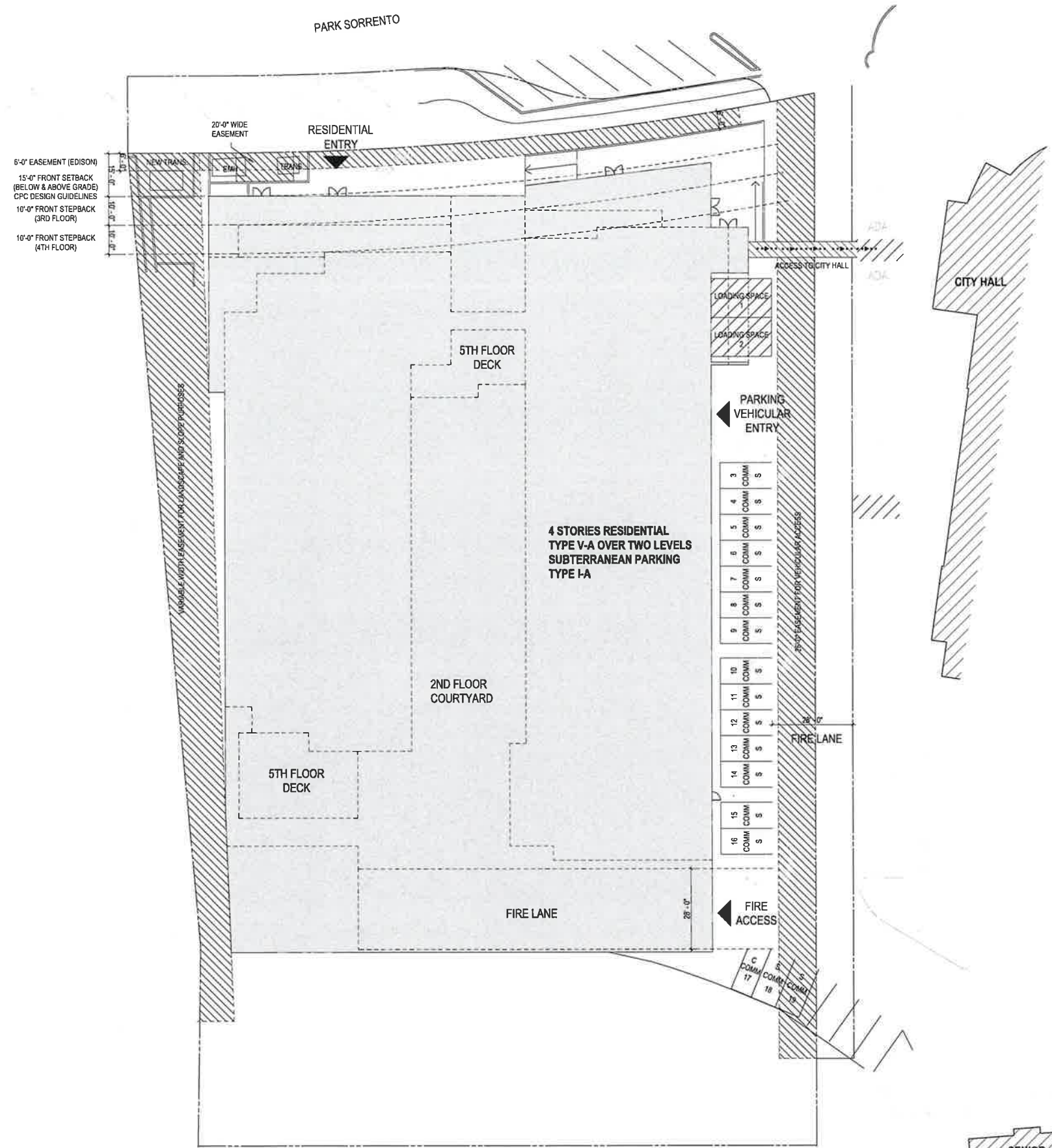
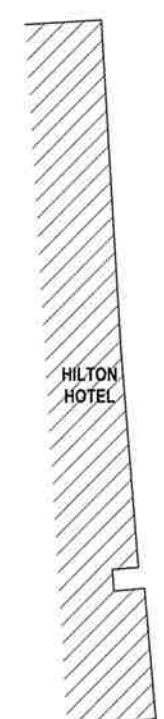
- ACCESSIBLE PATH OF TRAVEL
- GROUND FLOOR FOOTPRINT
- ▨ EXISTING EASEMENT

## ENTITLEMENT SET

DATE: 2019-029.00  
BY: 08.30.2022

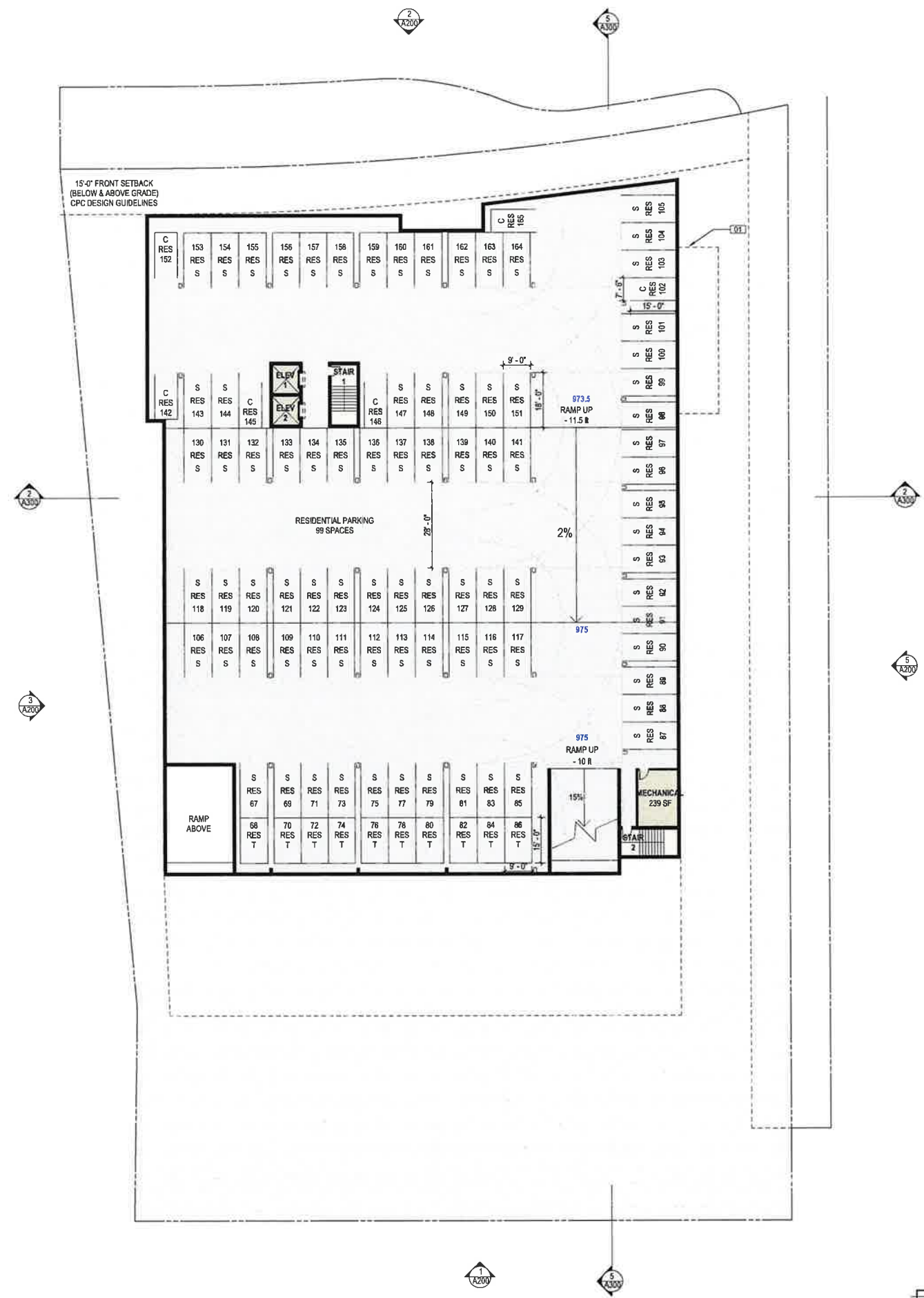
## SITE PLAN

A000



SITE PLAN  
1/16" = 1'-0"





NOTES

01 LINE OF BUILDING ABOVE



3573 HAYDEN AVENUE  
CULVER CITY, CA 90232  
310.359.7575  
KFA@LOSANGELES.COM

**THE PARK APARTMENTS**

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CRUZAN  
5171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOM UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYPICAL ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL, FLOOR & CEILING ASSEMBLIES.
- E. PROVIDE PIPE GUARDS AT ALL EXPOSED PIPES.

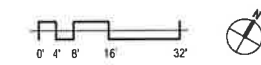
FOR EXAMINATION AND THE INFORMATION OF THE REVIEWING AGENCIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND THE INFORMATION PROVIDED ON THIS SHEET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND THE INFORMATION PROVIDED ON THIS SHEET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND THE INFORMATION PROVIDED ON THIS SHEET.

ENTITLEMENT SET

2019-029.00  
08.30.2022

LEGEND

- ▣ CONCRETE BLOCK WALL
- CONCRETE COLUMN
- ◇ SEE SHEET A900 FOR WALL TYPES
- ⊙ EMERGENCY DRAIN, SLOPE TO DRAIN



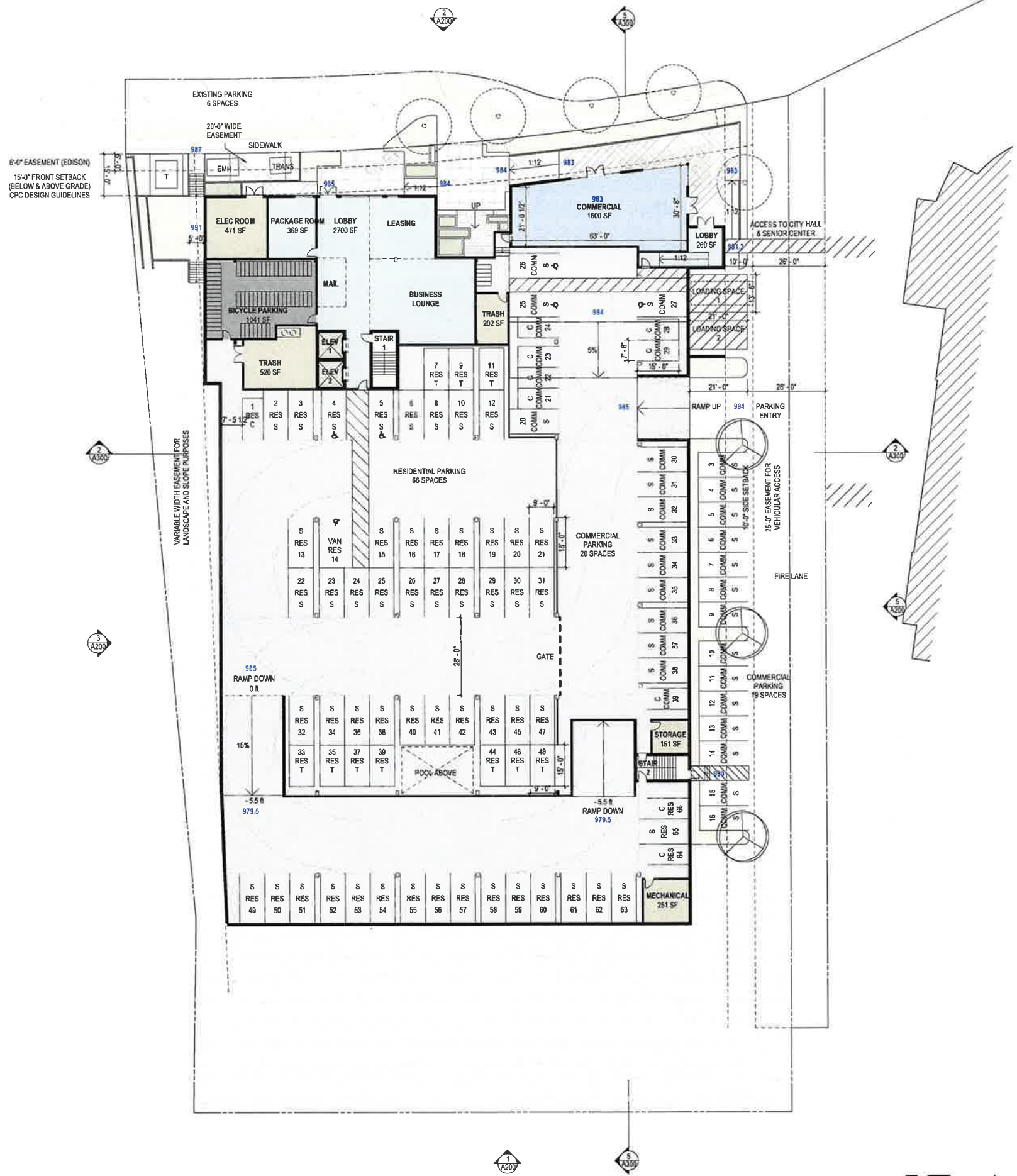
LEVEL P1 PLAN  
1/16" = 1'-0"

5

LEVEL P1 PLAN

SHEET NUMBER  
**A100**

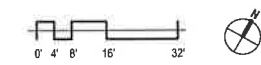




6'-0" EASEMENT (EDISON)  
15'-0" FRONT SETBACK  
(BELOW & ABOVE GRADE)  
CPC DESIGN GUIDELINES

VARIABLE WIDTH EASEMENT FOR  
LANDSCAPE AND SLOPE PURPOSES

1ST FLOOR PLAN  
1/16" = 1'-0"



NOTES

01

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.
- F. SEE SHEET A9XX FOR SOUND TRANSMISSION CONTROL DETAILS.
- G. SEE SHEET A970 FOR TYP FIRESTOPPING DETAILS.
- H. PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.
- I. PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

LEGEND

- 3-HOUR FIRE WALL
- 2-HOUR RATED WALL
- WOOD POST PER STRUCT DWGS
- SEE SHEET A900 FOR WALL TYPES
- WATER CURTAIN
- DOWNSPOUT
- SOFFIT ABOVE @ 7'-0" AFF
- AREA DRAIN. SLOPE TO DRAIN AT 1/4" PER FT MIN
- DECK DRAIN. SLOPE TO DRAIN AT 1/4" PER FT MIN
- PLANTER DRAIN. SLOPE TO DRAIN AT 1/4" PER FT MIN
- 30' X 48' CLEAR SPACE



3573 HAYDEN AVENUE  
CULVER CITY, CA 90232  
310.399.7975  
KFA@LOSANGELES.COM

**THE PARK APARTMENTS**  
APN: 2068-003-034  
PARK SORRENTO  
CALABASAS, CA, 91302

C/RUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

ENTITLEMENT SET

2019-029.00  
08.30.2022

FIRST FLOOR PLAN

A110





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# THE PARK APARTMENTS

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PARK SORRENTO  
CALABASAS, CA, 91302

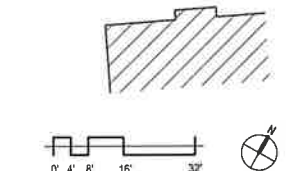
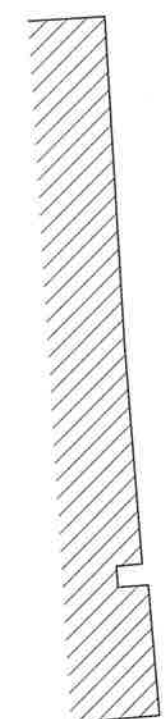
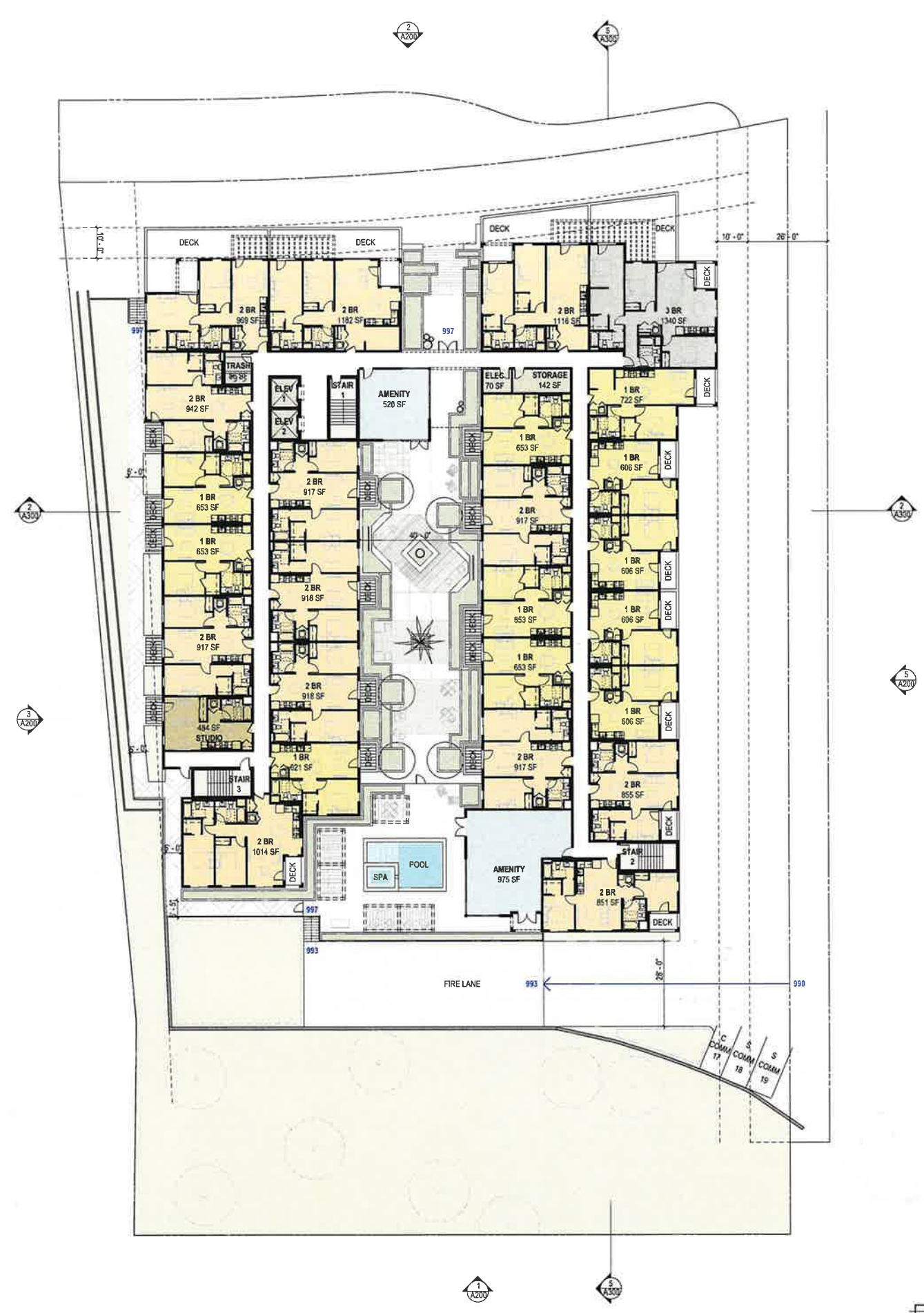
C/BUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

## ENTITLEMENT SET

BY PLAN NO.  
2019-029.00  
ON  
08.30.2022  
BY DEC 14

## SECOND FLOOR PLAN

A120



2ND FLOOR PLAN  
1/16" = 1'-0"

### SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.
- F. SEE SHEET A9XX FOR SOUND TRANSMISSION CONTROL DETAILS.
- G. SEE SHEET A970 FOR TYP FIRESTOPPING DETAILS.
- H. PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.
- I. PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

### LEGEND

- 3-HOUR FIRE WALL
- 2-HOUR RATED WALL
- WOOD POST PER STRUCT DWGS
- SEE SHEET A900 FOR WALL TYPES
- WATER CURTAIN
- DOWNSPOUT
- SOFFIT ABOVE @ 7'-0" AFF
- DECK DRAIN. SLOPE TO DRAIN AT 1/4" PER FT MIN
- PLANTER DRAIN. SLOPE TO DRAIN AT 1/4" PER FT MIN
- ELECTRICAL PANEL





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# THE PARK APARTMENTS

APN: 2068-003-034

PARK SORRENTO  
CALABASAS, CA 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

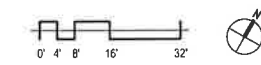
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### ENTITLEMENT SET

DATE: 2019-029.00  
BY: 08.30.2022

### THIRD FLOOR PLAN

A130



3RD FLOOR PLAN  
1/16" = 1'-0"

5

### SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLES.
- E. DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.
- F. SEE SHEET A9XX FOR SOUND TRANSMISSION CONTROL DETAILS.
- G. SEE SHEET A970 FOR TYP FIRESTOPPING DETAILS.
- H. PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.
- I. PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

### LEGEND

- 3-HOUR FIRE WALL
- 2-HOUR RATED WALL
- WOOD POST PER STRUCT DWGS
- SEE SHEET A900 FOR WALL TYPES
- WATER CURTAIN
- DOWNSPOUT
- SOFFIT ABOVE @ 7'-0" AFF
- DECK DRAIN. SLOPE TO DRAIN AT 1/4" PER FT MIN
- PLANTER DRAIN. SLOPE TO DRAIN AT 1/4" PER FT MIN
- ELECTRICAL PANEL









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# THE PARK APARTMENTS

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PARK SORRENTO  
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CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

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### ENTITLEMENT SET

DATE: 08.30.2022

14/2022

### FIFTH FLOOR PLAN

A150



10'-0" FRONT STEPBACK (3RD FLOOR)  
10'-0" FRONT STEPBACK (4TH & 5TH FLOOR)



5TH FLOOR PLAN  
1/16" = 1'-0"

### SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS 'CLR' ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.
- F. SEE SHEET A90X FOR SOUND TRANSMISSION CONTROL DETAILS.
- G. SEE SHEET A970 FOR TYP FIRESTOPPING DETAILS.
- H. PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.
- I. PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

### LEGEND

- 3-HOUR FIRE WALL
- 2-HOUR RATED WALL
- WOOD POST PER STRUCT DWGS
- SEE SHEET A900 FOR WALL TYPES
- WATER CURTAIN
- DOWNSPOUT
- SOFFIT ABOVE @ 7'-0" AFF
- DECK DRAIN. SLOPE TO DRAIN AT 1/4" PER FT MIN
- PLANTER DRAIN. SLOPE TO DRAIN AT 1/4" PER FT MIN
- ELECTRICAL PANEL

5





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# THE PARK APARTMENTS

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CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

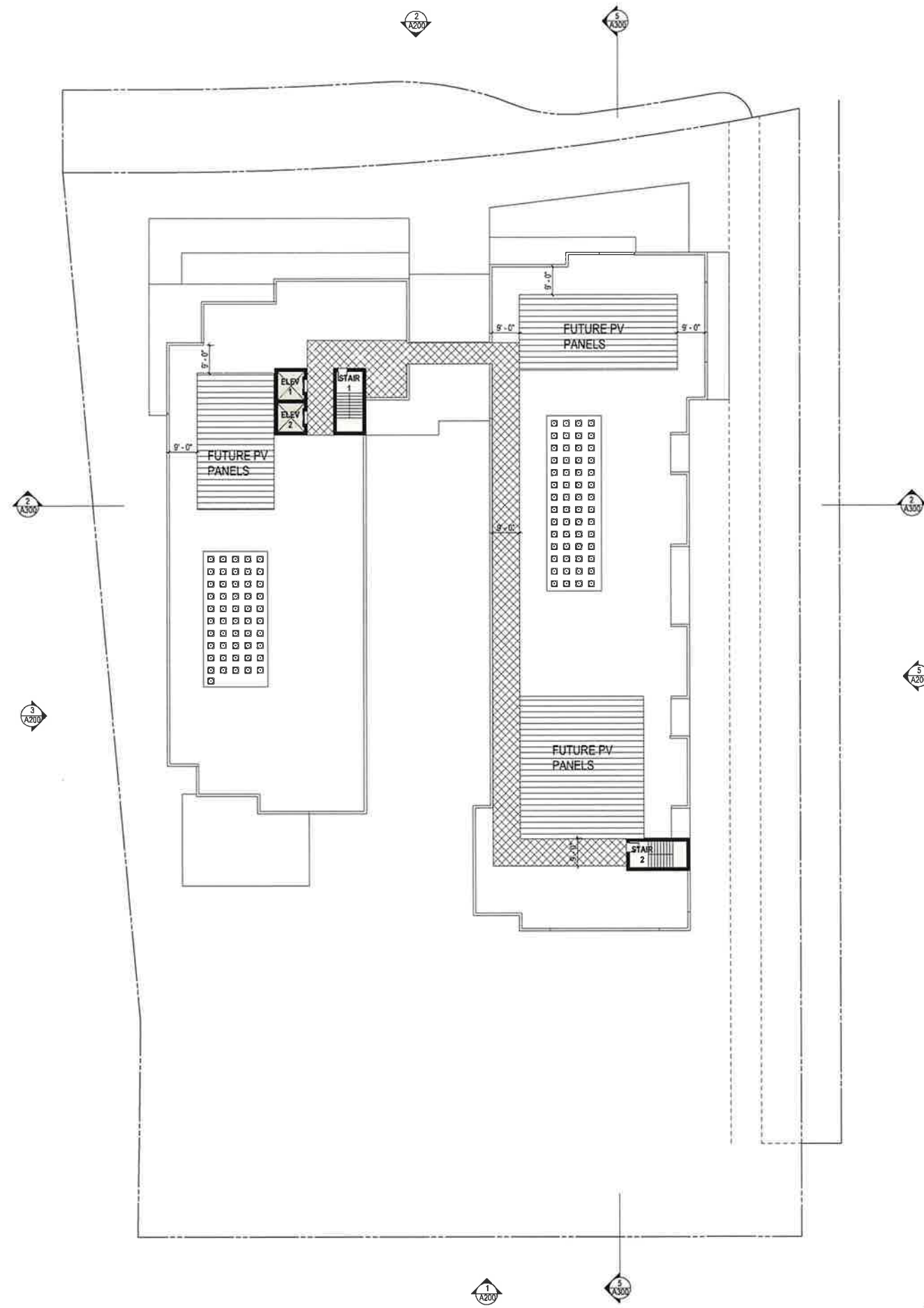
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### ENTITLEMENT SET

DATE: 2019-029.00  
BY: 08.30.2022  
KFA/004

### ROOF PLAN

1611 NUMBER  
**A160**



ROOF PLAN  
1/16" = 1'-0"

5

### SHEET NOTES

- A. ROOF SLOPES CONTINUOUS TO DOWNSPOUT OR ROOF DRAIN. SLOPES TO BE A MINIMUM OF 1/4" PER FOOT.
- B. OVERFLOW DRAINS SHALL BE THE SAME SIZE AS THE ROOF DRAIN WITH INLET 2" ABOVE THE LOW POINT OF THE ROOF AND SHALL NOT BE CONNECTED TO THE ROOF DRAIN LINES.
- C. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNLESS NOTED OTHERWISE.
- D. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.

### LEGEND

- 2-HOUR FIRE WALL
- FIRE WALL. NO PENETRATIONS THROUGH THE ROOF IN THIS AREA
- DOWNSPOUT
- DOWNSPOUT WITH SPLASH PAD
- EXHAUST FAN VENT THROUGH ROOF
- VENT THROUGH ROOF
- ROOF DRAIN WITH OVER FLOW DRAIN 2" ABOVE ROOF DRAIN
- INDICATES ROOF SLOPE DIRECTION. ALL ROOF SLOPES TO HAVE A 2% SLOPE MIN UND





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# THE PARK APARTMENTS

APN: 2068-003-034

PARK SORRENTO  
CALABASAS, CA, 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

### SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS 'CLR' ARE FROM FINISH TO FINISH.
- C. OUTSIDE AIR WALL LOUVERS TO BE 10'-0" AWAY FROM ALL EXHAUSTS.
- D. EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

### ENTITLEMENT SET

03/04/2019  
2019-029.00  
08.30.2022  
1/1/2024

### LEGEND

- PL1 ACRYLIC PLASTER, COLOR WHITE, SMOOTH FINISH
- PL2 ACRYLIC PLASTER, COLOR BEIGE, SMOOTH FINISH
- PL3 ACRYLIC PLASTER, COLOR TERRACOTTA, TEXTURED FINISH
- MTL1 PERFORATED METAL SCREEN, COLOR WHITE
- MTL2 PERFORATED METAL SCREEN, COLOR TERRACOTTA
- MTL3 STEEL RAILING, COLOR BLACK
- ST1 STEEL TRELLIS
- V1 STONE VENEER SIDING

### ELEVATIONS

02/11/2022  
**A200**







COURTYARD ELEVATION WEST  
1/16" = 1'-0" ①



COURTYARD ELEVATION EAST  
1/16" = 1'-0" ②

NOTES

01



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**THE PARK APARTMENTS**

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PARK SORRENTO  
CALABASKAS, CA 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. OUTSIDE AIR WALL LOUVERS TO BE 10'-0" AWAY FROM ALL EXHAUSTS.
- D. EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET.

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ENTITLEMENT SET

2019-029.00  
08.30.2022

LEGEND

- PL1 ACRYLIC PLASTER, COLOR WHITE, SMOOTH FINISH
- PL2 ACRYLIC PLASTER, COLOR BEIGE, SMOOTH FINISH
- PL3 ACRYLIC PLASTER, COLOR TERRACOTTA, TEXTURED FINISH
- MTL1 PERFORATED METAL SCREEN, COLOR WHITE
- MTL2 PERFORATED METAL SCREEN, COLOR TERRACOTTA
- MTL3 STEEL RAILING, COLOR BLACK
- ST1 STEEL TRELIS
- V1 STONE VENEER SIDING

ELEVATIONS

A201

















NOTES



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# THE PARK APARTMENTS

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CALABASKAS, CA, 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILLS, CA 90210

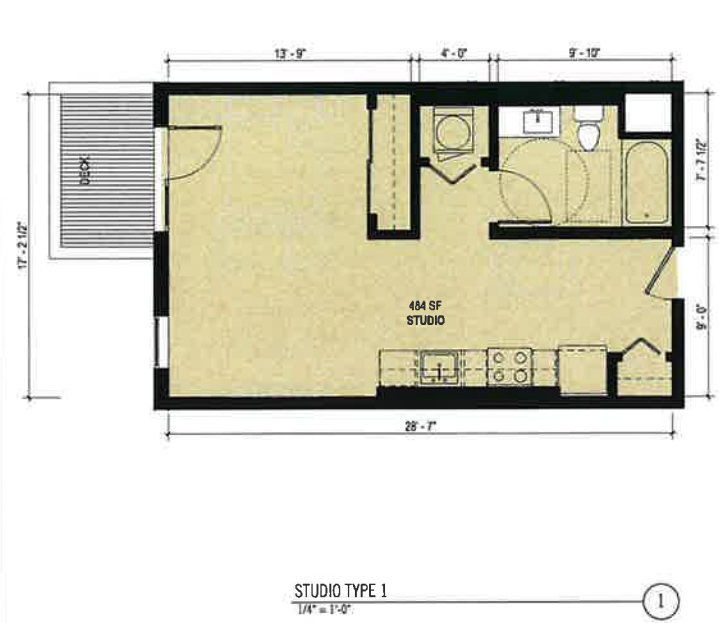
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ENTITLEMENT SET

PROJECT NO. 2019-029.00  
DATE 08.30.2022  
KFA

SCALE  
ENLARGED UNIT  
PLANS

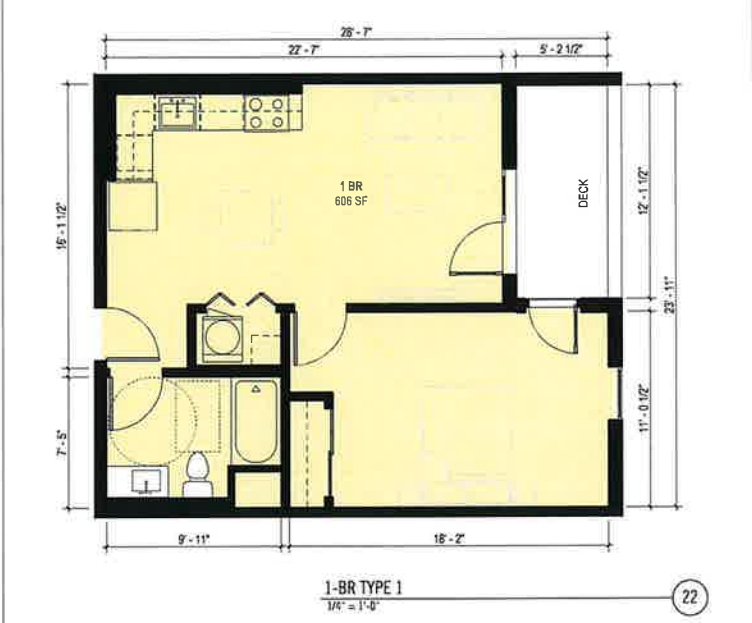
PROJECT NO.  
**A600**



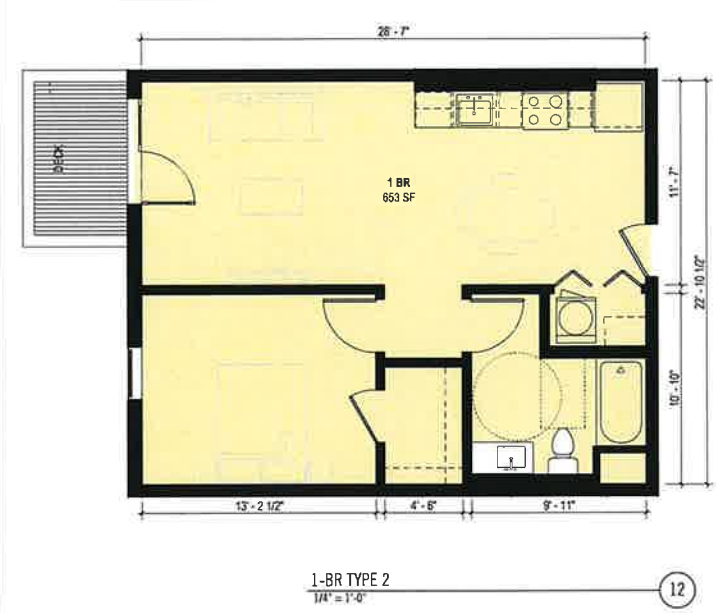
STUDIO TYPE 1  
1/4" = 1'-0" 1



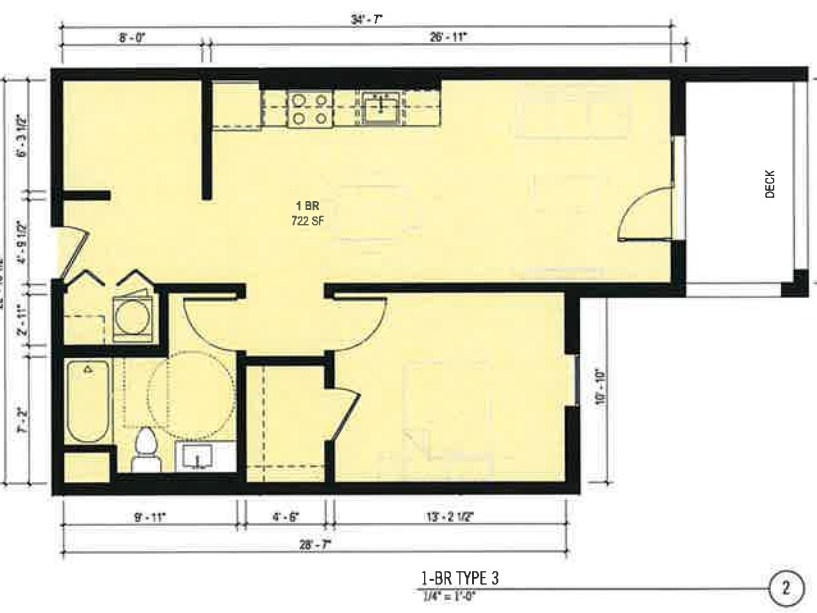
STUDIO TYPE 2  
1/4" = 1'-0" 3



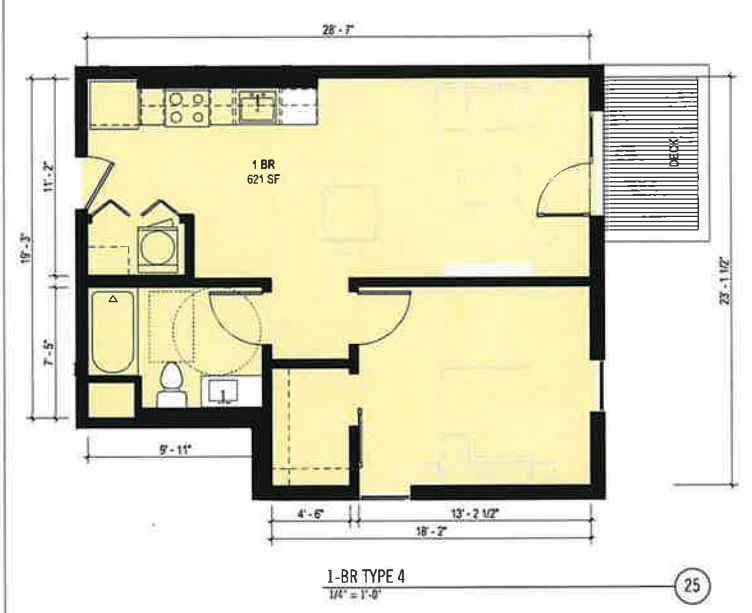
1-BR TYPE 1  
1/4" = 1'-0" 22



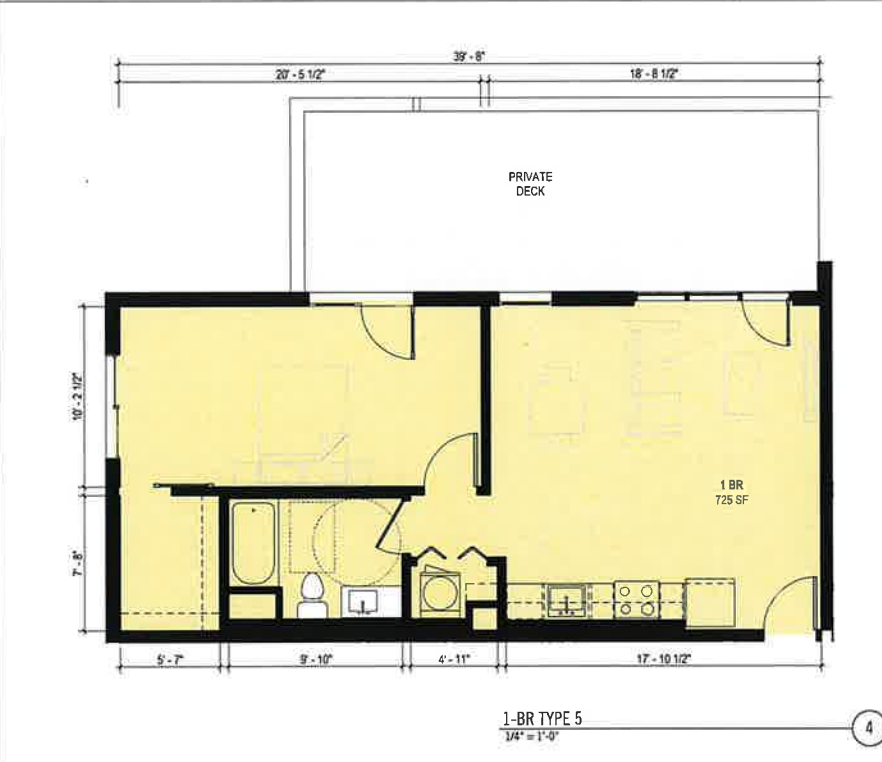
1-BR TYPE 2  
1/4" = 1'-0" 12



1-BR TYPE 3  
1/4" = 1'-0" 2



1-BR TYPE 4  
1/4" = 1'-0" 25



1-BR TYPE 5  
1/4" = 1'-0" 4



2-BR TYPE 1  
1/4" = 1'-0" 5



2-BR TYPE 2  
1/4" = 1'-0" 6

















# CITY of CALABASAS

## CONCEPTUAL GRADING AND DRAINAGE PLAN

### PARK SORRENTO APARTMENTS

#### ABBREVIATIONS:

- 1F - first floor  
 abnd - abandoned  
 ap - angle point  
 a.p.n. - assessor plan number  
 bcr - begin curb return  
 b.f.p. - back flow preventor  
 bldg. - building  
 bsmt. - basement  
 bw - back of walk  
 cc - radius point of curve  
 c.b. - catch basin  
 c.m.c - cement mortar coated  
 cip - cast iron pipe  
 cmp - corrugated metal pipe  
 clf - chain link fence  
 C/L - center line  
 c.o. - clean out  
 conc. - concrete  
 cor - corner  
 DCDA - double check detector assembly  
 dia - diameter  
 d/w - driveway  
 ec - edge of concrete  
 ecr - end curb return  
 eg - edge of gutter  
 emh - electrical man hole  
 eqp - edge of pavement  
 elec - electrical  
 epb - electrical pull box  
 esmt - easement  
 Ex./ex./E - existing  
 fd - found  
 FF - finish floor  
 fg - finish ground  
 fh - fire hydrant  
 fl - flow line  
 f.s. - finish surface  
 fl - feet  
 GA - garage elevation  
 g.b. - grade break  
 gm - gas meter  
 grd - ground  
 gv - gas valve  
 H - height  
 hc - handicap space  
 hdpe - high density polyethylene
- hp - high point  
 inv - invert  
 m.b. - map book  
 mh - manhole (utility)  
 mon. - monument  
 N.T.S. - not to scale  
 oh - overhead  
 o/pl - off property line  
 o/s - offset centerline  
 (P) - proposed  
 p.a. - planter area  
 pb - pull box (utility)  
 pc - beginning of curve/point of curvature  
 pi - tangent/tangent intersect  
 P/L - property line  
 p.o.c. - point on curve  
 pp - power pole  
 prop. - proposed  
 pt - curve/tangent intersect/point of tangency  
 PVI - point of vertical intersection/grade break  
 pwr. - power  
 r.c.p. - reinforced conc. pipe  
 ref. - reference  
 rim - rim elevation  
 r.o.w. - right of way  
 sd - storm drain  
 sdmh - storm drain man hole  
 sl - street light  
 slpb - street light pull box  
 smh - sewer man hole  
 sppwc - standard plans for public work construction  
 Std. - standard(s)  
 t.c. - top of curb  
 tg - top of grate  
 l.p. - telephone pole  
 tmh - telephone man hole  
 t.w. - top of wall  
 (typ) - typical  
 U.G. - underground  
 unkn - unknown  
 vcp - vitrified clay pipe  
 vlt - vault  
 wm - water meter  
 wir - water  
 ww - water valve

#### LEGEND:

- 98.00 SPOT ELEVATION  
 F.S. DESCRIPTION OF ELEVATION  
 (98.00) EXISTING SPOT ELEVATION  
 F.G. DESCRIPTION OF ELEVATION  
 1.0% PROPOSED GRADIENT AND DIRECTION OF FLOW  
 (1.0%) EXISTING GRADIENT AND DIRECTION OF FLOW  
 1 SITE PLAN NOTE  
 1150 PROPOSED CONTOUR  
 EXISTING CONTOUR  
 98.4 X EXISTING SPOT ELEVATION
- PROPOSED STEP  
 PROPOSED DRAIN  
 EXISTING TREE
- A.C. PAVEMENT  
 BUILDING SHADING  
 CONCRETE  
 LANDSCAPING
- PERVIOUS PAVEMENT  
 WALKWAY  
 TRUNCATED DOMES  
 LID PLANTER
- Existing Right-of-Way  
 Property Line  
 Existing Parcels  
 Existing Easements  
 Existing Street Centerlines  
 Building Setback  
 Proposed Building  
 Existing Retaining Wall  
 Proposed Retaining Wall  
 Proposed Fence  
 Proposed Curb  
 Grade Break  
 Storm Drain (Existing)  
 Storm Drain (Proposed)  
 Sanitary Sewer (Existing)  
 Sanitary Sewer (Proposed)  
 Water (Existing)  
 Water (Proposed)  
 Recycled Water (Existing)  
 Recycled Water (Proposed)  
 Natural Gas (Existing)  
 Natural Gas (Proposed)

**OWNER:**  
 RREF II CALABASAS PARK CENTER LLC  
 236 SOUTH SIERRA AVE. SUITE 100  
 SOLANA BEACH, CA 92075

**ARCHITECT:**  
 KFA, LLP  
 3573 HAYDEN AVENUE  
 CULVER CITY, CA 90232  
 (310)-339-7975

**CIVIL ENGINEER:**  
 DIAMOND WEST, INC.  
 23801 CALABASAS ROAD, SUITE 1034  
 CALABASAS, CA 91302  
 (818)-591-1050

**LANDSCAPE ARCHITECTURE:**  
 LAND IMAGES  
 6605 HOLLYWOOD BOULEVARD SUITE 210,  
 LOS ANGELES CA 90028  
 (323)-466-4707

**SURVEYOR:**  
 JRN  
 232 AVENIDA FABRICANTE, STE. 107  
 SAN CLEMENTE, CA 92672  
 (949)-248-4687

**BENCH MARK:**  
 BENCH MARK NUMBER: DY10410  
 DOW BM TAG IN E CB 3' S/O BCR @ SE COR  
 CALABASAS RD & PKWY CALABASAS 91' S & 44'  
 E/O C/L  
 ELEV: 1003.845 (1988)

**LEGAL DESCRIPTION:**  
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED CALABASAS IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

**PARCEL A:**  
 THAT PORTION OF LOT 8 AND LOT 10 OF TRACT NO. 37824, IN THE CITY OF CALABASAS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1192, PAGES 81 TO 86 INCLUSIVE OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT A POINT ON THE CURVED SOUTHERLY RIGHT-OF-WAY OF PARK SORRENTO, 84 FEET WIDE, AS SHOWN ON SAID MAP, DISTANT EASTERLY 26.99 FEET ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 1° 29' 03" FROM THE NORTHERLY COMMON CORNER OF SAID LOTS 8 AND 10, SAID CURVE BEING CONCAVE NORTHERLY AND HAVING A RADIUS OF 1042.00 FEET, THENCE LEAVING SAID CURVED SOUTHERLY RIGHT-OF-WAY, SOUTH 27° 11' 48" EAST 365.96 FEET; THENCE SOUTH 62° 48' 12" WEST 215.94 FEET TO A LINE WHICH BEARS NORTH 26° 19' 51" WEST AND WHICH PASSES THROUGH A POINT IN THE SOUTHERLY LINE OF SAID LOT 10, DISTANT SOUTH 86° 37' 34" EAST 52.82 FEET FROM THE ANGLE POINT IN SAID SOUTHERLY LINE; THENCE NORTH 26° 19' 51" WEST 69.83 FEET TO A POINT DISTANT NORTH 26° 19' 51" WEST 265.81 FEET FROM SAID POINT IN THE SOUTHERLY LINE OF SAID LOT 10, THENCE NORTH 32° 21' 38" WEST 276.54 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF SAID PARK SORRENTO; THENCE NORTH 62° 38' 19" EAST 37.24 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY TO THE BEGINNING OF A CURVE, CONCAVE NORTHERLY AND HAVING A RADIUS OF 1042.00 FEET; THENCE NORTHEASTERLY 203.91 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11° 12' 44"; ALONG THE CURVED SOUTHERLY RIGHT-OF-WAY OF PARK SORRENTO TO THE POINT OF BEGINNING.

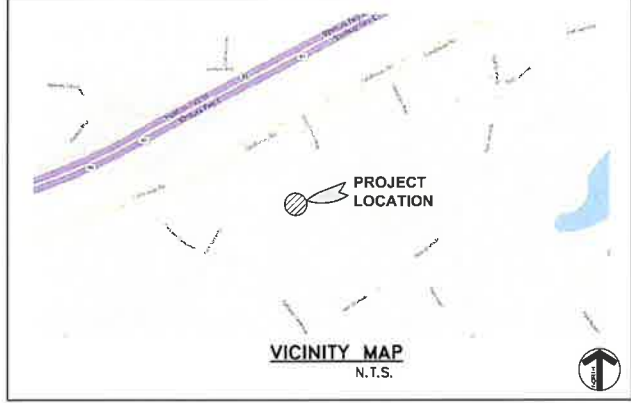
SAID PARCEL A IS SHOWN AS PARCEL C (PROPOSED) IN THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT CERTIFICATE NO. 99-02, RECORDED FEBRUARY 17, 1999 AS INSTRUMENT NO. 99-250904 OF OFFICIAL RECORDS.

**PARCEL B:**  
 TOGETHER WITH THAT PORTION OF SORRENTO STREET AS VACATED BY RESOLUTION NO. 99-555 RECORDED DECEMBER 14, 1999 AS INSTRUMENT NO. 99-02298785 OF OFFICIAL RECORDS THAT WOULD PASS THROUGH LEGAL CONVEYANCE OF SAID LAND, EXCEPT THAT PORTION LYING SOUTHWESTERLY OF THE SOUTHWESTERLY LINE OF THE ABOVE PARCEL A.

**PARCEL C:**  
 AN EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS PURPOSES OVER THAT PORTION OF LAND DESCRIBED IN EXHIBIT "C" ATTACHED TO THAT CERTAIN GRANT OF RECIPROCAL EASEMENT AND MAINTENANCE AGREEMENT BY AND BETWEEN THE CITY OF CALABASAS AND KILROY REALTY, L.P., RECORDED JUNE 3, 2003 AS INSTRUMENT NO. 03-1571732 OF OFFICIAL RECORDS.

EXCEPTING THEREFROM ANY PORTION THEREOF INCLUDED WITHIN THE LINES OF PARCEL 1B DESCRIBED ABOVE.

APN: 2068-003-034



INDEX OF SHEETS	
NO.	DESCRIPTION
C1	TITLE SHEET
C2	EXISTING CONDITIONS PLAN-1
C3	EXISTING CONDITIONS PLAN-2
C4	CONCEPTUAL GRADING AND DRAINAGE PLAN
C5	CONCEPTUAL GRADING AND DRAINAGE PLAN
C6	SECTIONS

**PUBLIC UTILITY AUTHORIZATION FOR OPERATION**

**WATER:**  
 LAS VIRGENES MUNI W DIST  
 4232 LAS VIRGENES RD  
 CALABASAS, CA 91302  
 (818) 251-2200

**SEWER:**  
 CITY OF CALABASAS  
 100 CIVIC CENTER WAY,  
 CALABASAS, CA 91302  
 (818) 224-1600

**GAS:**  
 SOUTHERN CALIFORNIA GAS COMPANY  
 9400 OAKDALE AVENUE  
 CHATSWORTH, CA  
 (800) 427-2200

**ELECTRIC:**  
 SOUTHERN CALIFORNIA  
 EDISON P.O. BOX 600  
 ROSEMead, CA 91771  
 (800) 611-1911

EARTHWORK QUANTITIES	
CUT = 28,000 CU. YDS.	OVEREXCAVATION = TBD
FILL = 40 CU. YDS.	REMEDIAL GRADING = TBD
EXPORT = 25,960 CU. YDS.	BUTTRESS STABILITY FILLS, SHEAR KEYS, ETC.

**CITY of CALABASAS**  
 PUBLIC WORKS DEPARTMENT  
 100 Civic Center Way  
 CALABASAS, CA 91302  
 818.224.1600  
 FAX 818.225.7338  
 WWW.CITYOFCALABASAS.COM

PREPARED BY:  
  
 civil engineering • land surveying • land planning  
 23801 Calabasas Road, Suite 1034  
 Calabasas, CA 91302  
 Phone: (818) 591-1050  
 www.diamondwest.net

PREPARED FOR:  
 RREF II CALABASAS PARK  
 CENTER LLC

SHEET TITLE:  
 TITLE SHEET

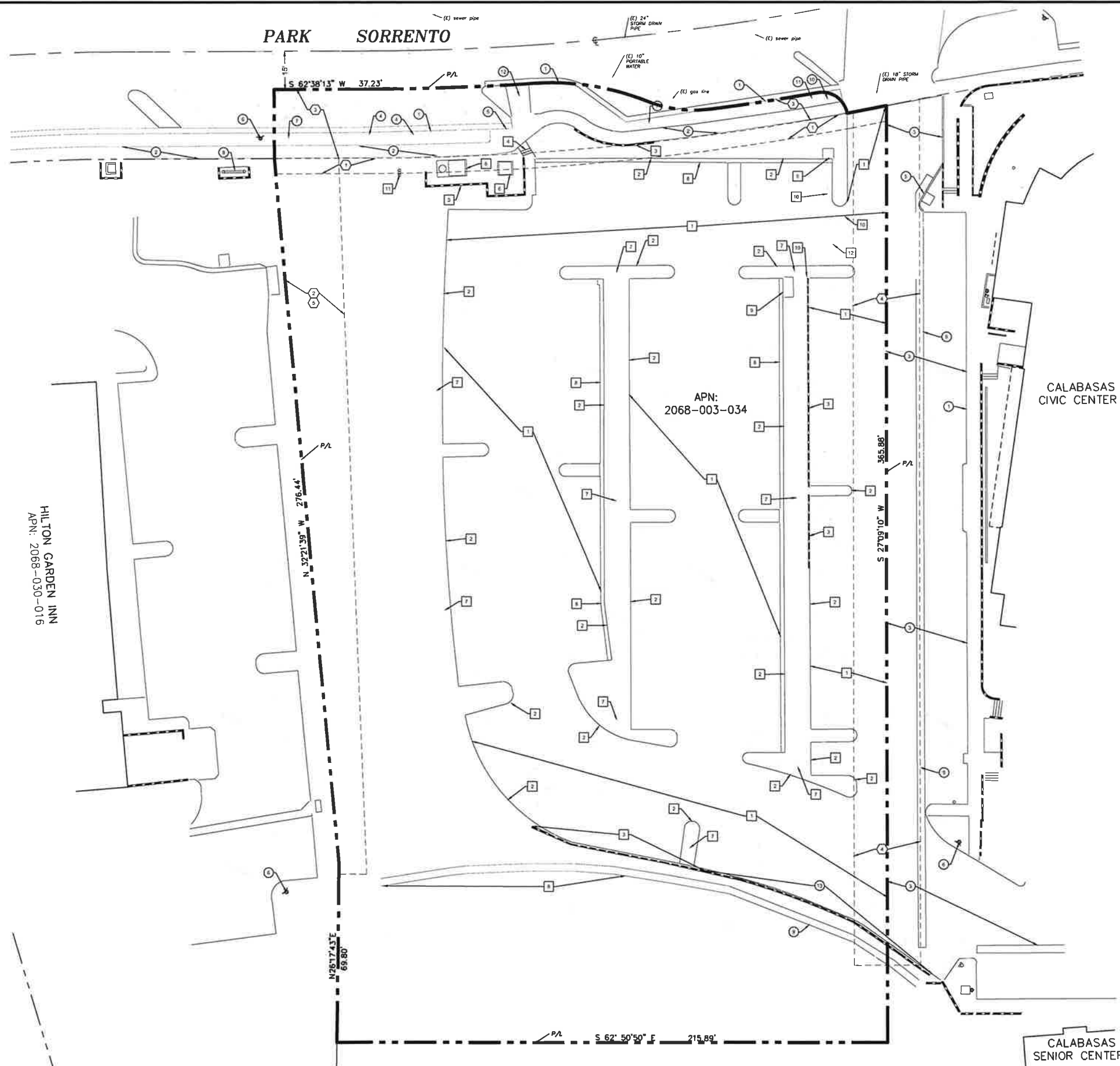
PARK SORRENTO  
 CALABASAS, CA 91302  
 (APN) 2068-003-034

DESIGNED BY:	
CHECKED BY:	
DRAWN BY:	
SCALE:	N/A
SHEET NO.:	C-1
DATE:	08-31-2022

FOR CONCEPTUAL APPROVAL ONLY

03/21/2022 - Current - Plan - Sorrento - Mdl: FormA-230-Entirement - PlanNo:0321-1020-230-1-Title\_Sheet.dwg  
 03/21/22 5:10pm - JMAN





**LEGEND:**

- ① SITE PLAN NOTE
- ⑨ DEMOLITION KEY NOTE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TREE
- Existing Right-of-Way Property Line
- Existing Parcels
- Existing Easements
- Existing Street Centerlines
- Storm Drain (Existing)
- Sanitary Sewer (Existing)
- Water (Existing)
- Recycled Water (Existing)
- Natural Gas (Existing)
- Communications (Existing)
- Telephone (Existing)

**SITE PLAN NOTES:**

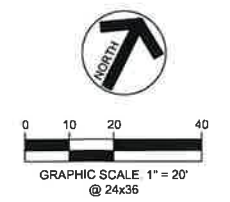
- ① EXISTING CURB TO REMAIN.
- ② EXISTING SIDEWALK TO REMAIN.
- ③ EXISTING AC PAVEMENT TO REMAIN.
- ④ EXISTING WATER METERS AND LATERALS TO REMAIN.
- ⑤ EXISTING CATCH BASIN TO REMAIN.
- ⑥ EXISTING FIRE HYDRANT TO REMAIN.
- ⑦ EXISTING STREET LIGHT TO REMAIN.
- ⑧ EXISTING WATER BACKFLOW PREVENTER TO REMAIN.
- ⑨ EXISTING CONCRETE SWALE TO REMAIN.
- ⑩ EXISTING UTILITY PULL BOX TO REMAIN.
- ⑪ EXISTING TRAFFIC SIGNAL PULL BOX TO REMAIN.
- ⑫ EXISTING RAMP TO REMAIN.
- ⑬ EXISTING RETAINING WALL TO REMAIN.
- ⑭ EXISTING UTILITY MANHOLE TO REMAIN.

**SITE DEMOLITION KEY NOTES:**

- ① REMOVE EXISTING AC PAVEMENT.
- ② REMOVE EXISTING CURB.
- ③ REMOVE EXISTING RET. WALL.
- ④ REMOVE EXISTING STEP.
- ⑤ REMOVE EXISTING CONC. GUTTER.
- ⑥ RELOCATE EXISTING ELEC. TRANSFORMER.
- ⑦ REMOVE EXISTING LIGHT.
- ⑧ REMOVE EXISTING CONCRETE DRAINAGE SWALE.
- ⑨ REMOVE EXISTING CATCH BASIN.
- ⑩ REMOVE EXISTING STORM DRAIN PIPE.
- ⑪ REMOVE/RELOCATE EXISTING BACKFLOW PREVENTER.
- ⑫ REMOVE EXISTING STORM DRAIN INTERCEPTOR.

**EASEMENT NOTES:**

- ① EASEMENT(S) FOR PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN DOCUMENT, AND AS SHOWN ON THE SURVEY, GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION PURPOSE: PUBLIC UTILITIES RECORDING DATE: JULY 26, 1993 RECORDING BI: AS INSTRUMENT NO. 93-1424420 OF OFFICIAL RECORDS AFFECTS: A STRIP OF LAND 6 FEET IN WIDTH WITHIN LOT 10 AND SHOWN ON THE SURVEY, REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. A PORTION OF SAID EASEMENT HAS BEEN QUITCLAIMED BY DOCUMENT RECORDED NOVEMBER 13, 2000 AS INSTRUMENT NO. 00-1771370 OFFICIAL RECORDS
- ② MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: SLOPE AGREEMENT DATED: FEBRUARY 27, 1998 EXECUTED BY: KILROY CALABASAS ASSOCIATES, A CALIFORNIA LIMITED PARTNERSHIP AND HOMESTEAD VILLAGE INCORPORATED. A MARYLAND CORPORATION RECORDING DATE: FEBRUARY 27, 1998 RECORDING NO. AS INSTRUMENT NO. 98-325938 OF OFFICIAL RECORDS AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT AND SHOWN ON THE SURVEY.
- ③ THE EFFECT OF A NOTICE STREET VACATION, RECORDED DECEMBER 14, 1999 AS INSTRUMENT NO. 99-2298785 OF OFFICIAL RECORDS, WHICH AFFECTS A PORTION OF PARK SORRENTO STREET ABUTTING PARCELS 1 AND 3, AS SHOWN ON THE SURVEY.
- ④ MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: GRANT OF RECIPROCAL EASEMENT AND MAINTENANCE AGREEMENT DATED: MAY 16, 2003 EXECUTED BY: THE CITY OF CALABASAS, A MUNICIPAL CORPORATION AND KILROY REALTY, L.P. A DELAWARE LIMITED PARTNERSHIP RECORDING DATE: JUNE 3, 2003 RECORDING NO: AS INSTRUMENT NO: 03-1571732 OF OFFICIAL RECORDS.
- ⑤ MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: QUITCLAIM DEED DATED: FEBRUARY 27, 1998 EXECUTED BY: KILROY CALABASAS ASSOCIATES, A CALIFORNIA LIMITED PARTNERSHIP RECORDING DATE: FEBRUARY 27, 1998 RECORDING NO: AS INSTRUMENT NO: 98-325940 OF OFFICIAL RECORDS.

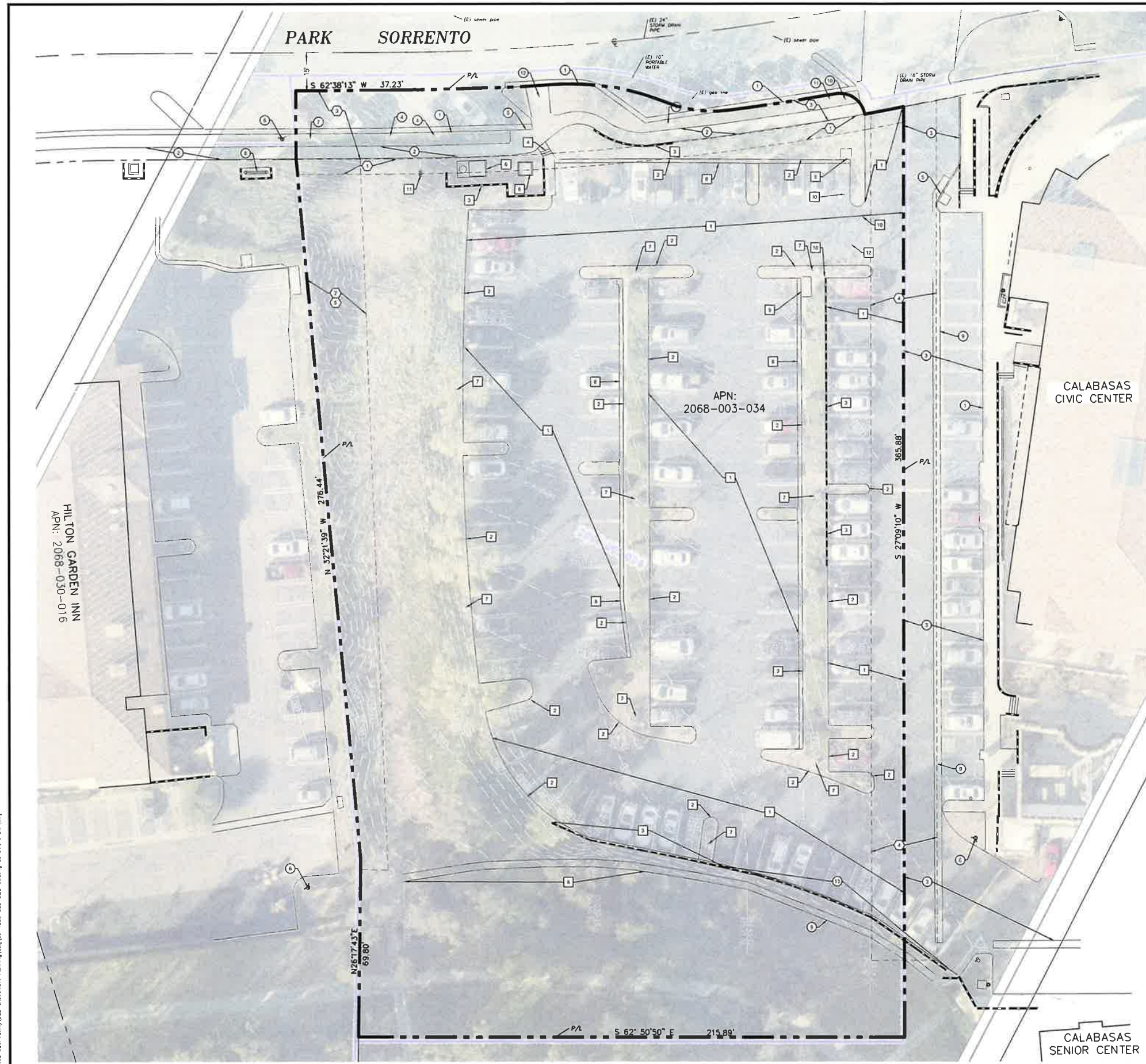


**FOR CONCEPTUAL APPROVAL ONLY**

 <p><b>CITY of CALABASAS</b> PUBLIC WORKS DEPARTMENT 100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338 WWW.CITYOF.CALABASAS.COM</p>	<p>PREPARED BY:</p>  <p>civil engineering • land surveying • land planning 23801 Calabasas Road, Suite 1034 Calabasas, CA 91302 Phone: (818) 591-1050 www.diamondwest.net</p>	<p>PREPARED FOR:</p> <p>RREF II CALABASAS PARK CENTER LLC</p>	<p>SHEET TITLE:</p> <p>EXISTING CONDITIONS PLAN-1</p>
<p><b>PARK SORRENTO</b> CALABASAS, CA 91302 (APN) 2068-003-034</p>		<p>DESIGNED BY: _____ CHECKED BY: _____ SCALE: AS SHOWN SHEET NO. C-2 DATE: 08-11-2007</p>	

P:\37-1009 - Duran de Park Sorrento Multi-Family\230-Entirement Planning\Map\37-1009-230-283-Ceiling Conditions plan.dwg  
 08/11/07 2:35pm-BAH





**LEGEND:**

- ① SITE PLAN NOTE
- ⑨ DEMOLITION KEY NOTE
- EXISTING CONTOUR
- 986.4 X EXISTING SPOT ELEVATION
- EXISTING TREE
- Existing Right-of-Way
- Property Line
- Existing Parcels
- Existing Easements
- Existing Street Centerlines
- Storm Drain (Existing)
- Sanitary Sewer (Existing)
- Water (Existing)
- Recycled Water (Existing)
- Natural Gas (Existing)
- Communications (Existing)
- Telephone (Existing)

**SITE PLAN NOTES:**

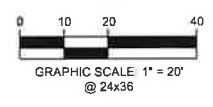
- ① EXISTING CURB TO REMAIN.
- ② EXISTING SIDEWALK TO REMAIN.
- ③ EXISTING AC PAVEMENT TO REMAIN.
- ④ EXISTING WATER METERS AND LATERALS TO REMAIN.
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- ⑫ EXISTING RAMP TO REMAIN.
- ⑬ EXISTING RETAINING WALL TO REMAIN.
- ⑭ EXISTING UTILITY MANHOLE TO REMAIN.

**SITE DEMOLITION KEY NOTES:**

- ① REMOVE EXISTING AC PAVEMENT.
- ② REMOVE EXISTING CURB.
- ③ REMOVE EXISTING RET. WALL.
- ④ REMOVE EXISTING STEP.
- ⑤ REMOVE EXISTING CONC. GUTTER.
- ⑥ RELOCATE EXISTING ELEC. TRANSFORMER.
- ⑦ REMOVE EXISTING LIGHT.
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- ⑫ REMOVE EXISTING STORM DRAIN INTERCEPTOR.

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**FOR CONCEPTUAL APPROVAL ONLY**

**CITY of CALABASAS**  
PUBLIC WORKS DEPARTMENT  
100 Civic Center Way  
CALABASAS, CA 91302  
818.224.1600  
FAX 818.225.7338  
WWW.CITYOFCALABASAS.COM

PREPARED BY:  
**DW**  
DIAMOND WEST  
civil engineering • land surveying • land planning  
23801 Calabasas Road, Suite 1034  
Calabasas, CA 91302  
Phone: (818) 591-1050  
www.diamondwest.net

PREPARED FOR:  
**RREF II CALABASAS PARK CENTER LLC**

SHEET TITLE:  
**EXISTING CONDITIONS PLAN WITH AERIAL PHOTO**

**PARK SORRENTO CALABASAS, CA 91302**  
(APN) 2068-003-034

DESIGNED BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
SCALE: AS SHOWN  
SHEET NO: **C-3**  
DATE: 08-11-2017

17-1229 - Curbs of Park Sorrento, Mule Farm, V230-Entitlement Planning Map 17-1229-230-243-Existing Conditions plan.dwg  
 05/17/17 1:00pm-18AW



PARK SORRENTO

LEGEND:

- 98.00 F.S. SPOT ELEVATION
- 98.00 F.S. DESCRIPTION OF ELEVATION
- 1.0% PROPOSED GRADIENT AND DIRECTION OF FLOW
- 1.0% EXISTING GRADIENT AND DIRECTION OF FLOW
- 1150 PROPOSED CONTOUR
- 1150 EXISTING CONTOUR
- 986.4 X EXISTING SPOT ELEVATION
- A.C. PAVEMENT
- BUILDING SHADING
- CONCRETE
- LANDSCAPING
- PERVIOUS PAVEMENT
- WALKWAY
- TRUNCATED DOMES
- LID PLANTER
- Existing Right-of-Way
- Property Line
- Existing Parcels
- Existing Easements
- Existing Street Centerlines
- Building Setback
- Proposed Building
- Existing Retaining Wall
- Proposed Retaining Wall
- Proposed Fence
- Proposed Curb
- Grade Break
- Storm Drain (Existing)
- Storm Drain (Proposed)
- Sanitary Sewer (Existing)
- Sanitary Sewer (Proposed)
- Water (Existing)
- Water (Proposed)
- Recycled Water (Existing)
- Recycled Water (Proposed)
- Natural Gas (Existing)
- Natural Gas (Proposed)

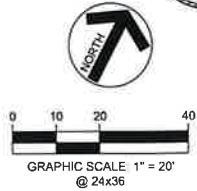
SITE PLAN NOTES:

- 1 PROPOSED PERVIOUS PAVER.
- 2 PROPOSED HARDSCAPE, PER LANDSCAPE PLAN.
- 3 PROPOSED RETAINING WALL.
- 4 PROPOSED CONC. SWALE.
- 5 PROPOSED RAMP.
- 6 PROPOSED CURB.
- 7 PROPOSED WALKWAY.
- 8 PROPOSED LANDSCAPE AREA, PER LANDSCAPE PLAN.
- 9 PROPOSED WATER LINE.
- 10 PROPOSED DRAIN INLET.
- 11 PROPOSED STORM DRAIN LINE.
- 12 PROPOSED LID PLANTER.
- 13 PROPOSED STAIR.
- 14 PROPOSED SEWER LINE.
- 15 PROPOSED BACKFLOW ASSEMBLY.
- 16 PROPOSED ASPHALT PAVEMENT.
- 17 CONNECT TO EXISTING STORM DRAIN LINE.
- 18 PROPOSED PERFORATED PIPE.



CALABASAS CIVIC CENTER

CALABASAS SENIOR CENTER



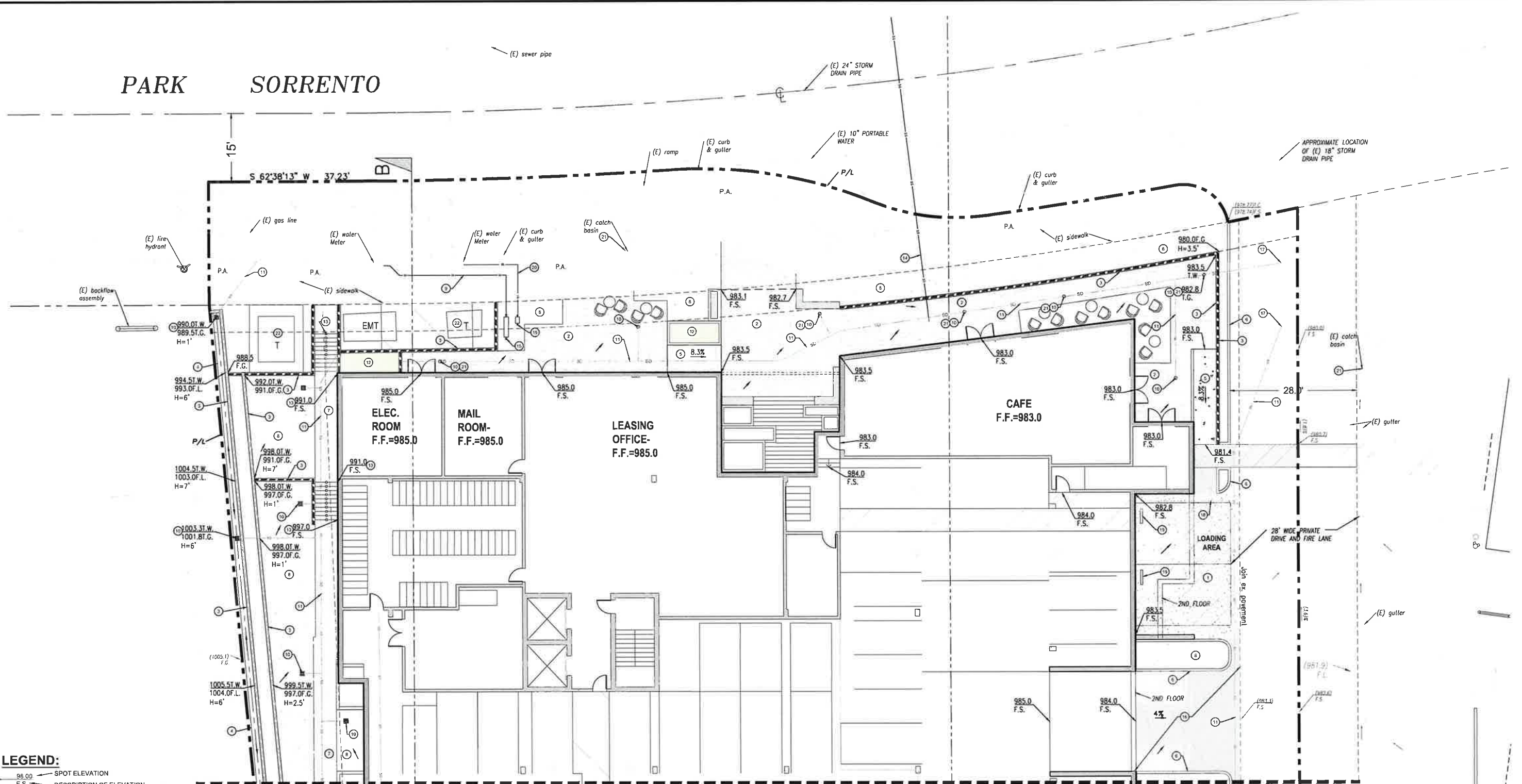
FOR CONCEPTUAL APPROVAL ONLY

<p><b>CITY of CALABASAS</b> PUBLIC WORKS DEPARTMENT 100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338 WWW.CITYOFCALABASAS.COM</p>	<p>PREPARED BY:</p> <p>civil engineering • land surveying • land planning 23801 Calabasas Road, Suite 1034 Calabasas, CA 91302 Phone: (818) 591-1050 www.diamondwest.net</p>	<p>PREPARED FOR:</p> <p>RREF II CALABASAS PARK CENTER LLC</p>	<p>SHEET TITLE:</p> <p>CONCEPTUAL GRADING AND DRAINAGE PLAN</p>	<p>DESIGNED BY: _____ CHECKED BY: _____ SCALE: AS SHOWN SHEET NO: C-4 DATE: 08-31-2022</p>	<p>PROJECT:</p> <p>PARK SORRENTO CALABASAS, CA 91302 (APN) 2068-003-034</p>
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08/31/2022 - Chapter 16 Park Sorrento, Mail: Emily, 23801 Calabasas Road, Suite 1034 - 1034-1034 - Conceptual Grading plan.dwg  
 08/31/22 2:53pm - EAM



# PARK SORRENTO



**LEGEND:**

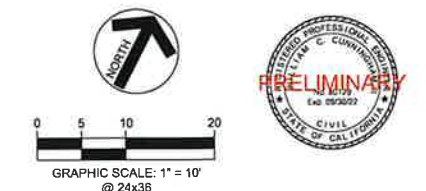
98.00	SPOT ELEVATION
F.S.	DESCRIPTION OF ELEVATION
(98.00)	EXISTING SPOT ELEVATION
F.G.	DESCRIPTION OF ELEVATION
1.0%	PROPOSED GRADIENT AND DIRECTION OF FLOW
(1.0%)	EXISTING GRADIENT AND DIRECTION OF FLOW
1	SITE PLAN NOTE
1150	PROPOSED CONTOUR
---	EXISTING CONTOUR
986.4	EXISTING SPOT ELEVATION
---	PROPOSED STEP
---	EXISTING TREE
---	PROPOSED DRAIN
---	A.C. PAVEMENT
---	BUILDING SHADING
---	CONCRETE
---	LANDSCAPING
---	PERVIOUS PAVEMENT
---	WALKWAY
---	TRUNCATED DOMES
---	LID PLANTER

**EXISTING RIGHT-OF-WAY**

---	Property Line
---	Existing Parcels
---	Existing Easements
---	Existing Street Centerlines
---	Building Setback
---	Proposed Building
---	Existing Retaining Wall
---	Proposed Retaining Wall
---	Proposed Fence
---	Proposed Curb
---	Grade Break
---	Storm Drain (Existing)
---	Storm Drain (Proposed)
---	Sanitary Sewer (Existing)
---	Sanitary Sewer (Proposed)
---	Water (Existing)
---	Water (Proposed)
---	Recycled Water (Existing)
---	Recycled Water (Proposed)
---	Natural Gas (Existing)
---	Natural Gas (Proposed)

- SITE PLAN NOTES:**
- ① PROPOSED PERVIOUS PAVER.
  - ② PROPOSED HARDSCAPE, PER LANDSCAPE PLAN.
  - ③ PROPOSED RETAINING WALL.
  - ④ PROPOSED CONC. SWALE.
  - ⑤ PROPOSED RAMP.
  - ⑥ PROPOSED CURB.
  - ⑦ PROPOSED WALKWAY.
  - ⑧ PROPOSED LANDSCAPE AREA, PER LANDSCAPE PLAN.
  - ⑨ PROPOSED WATER LINE.
  - ⑩ PROPOSED DRAIN INLET.
  - ⑪ PROPOSED STORM DRAIN LINE.
  - ⑫ PROPOSED LID PLANTER.
  - ⑬ PROPOSED STAIR.
  - ⑭ PROPOSED SEWER LINE.
  - ⑮ PROPOSED BACKFLOW ASSEMBLY.
  - ⑯ PROPOSED ASPHALT PAVEMENT.
  - ⑰ CONNECT TO EXISTING STORM DRAIN LINE.
  - ⑱ PROPOSED PERFORATED PIPE.
  - ⑳ PROPOSED WHEEL STOPS.
  - ㉑ PROPOSED IRRIGATION LINE.
  - ㉒ INSTALL CATCH BASIN POLLUTANT FILTER.
  - ㉓ PROPOSED ELECTRIC TRANSFORMER.

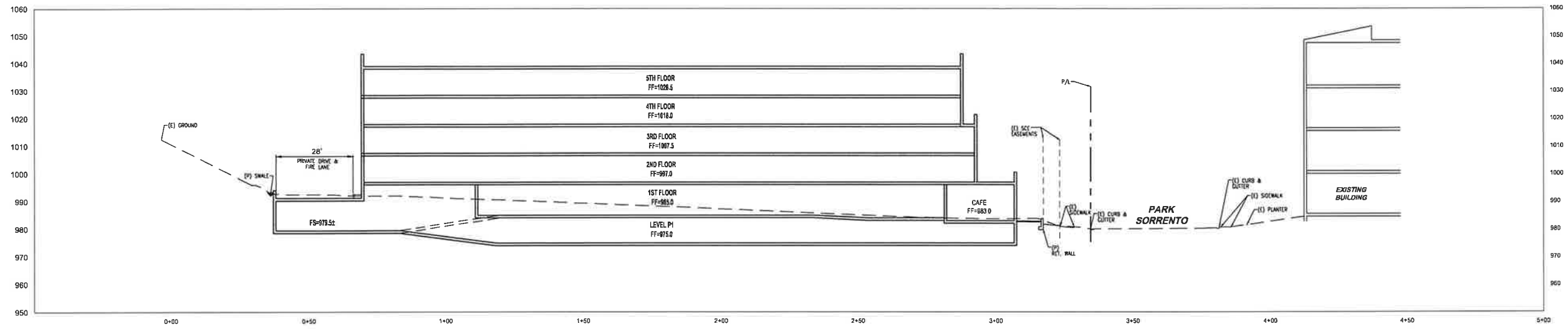
SEE SHEET 4



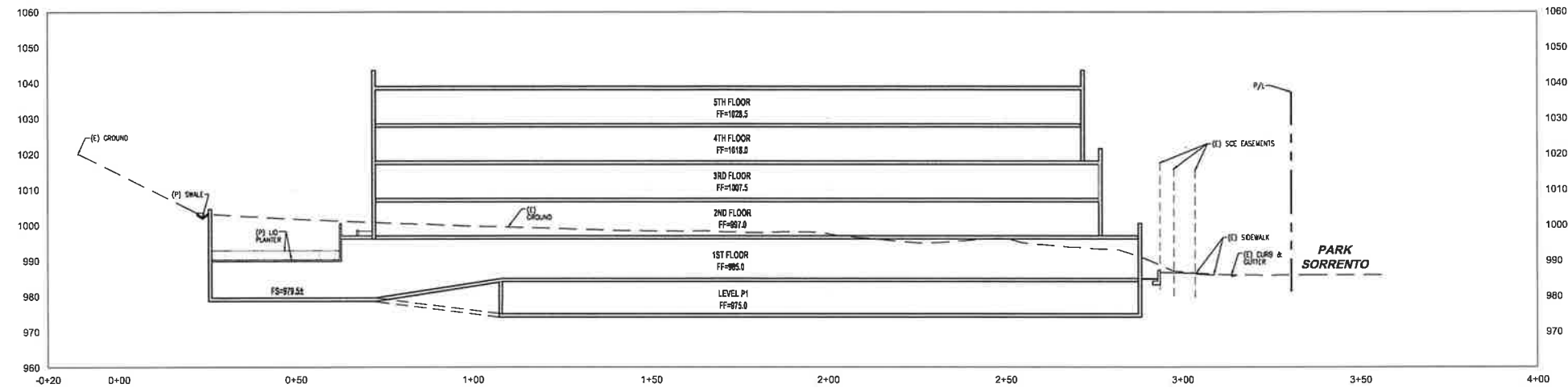
**FOR CONCEPTUAL APPROVAL ONLY**

<p><b>CITY of CALABASAS</b> PUBLIC WORKS DEPARTMENT</p> <p>100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338 WWW.CITYOFCALABASAS.COM</p>	<p>PREPARED BY:</p> <p><b>DW</b> DIAMOND WEST</p> <p>civil engineering • land surveying • land planning</p> <p>23801 Calabasas Road, Suite 1034 Calabasas, CA 91302 Phone: (818) 591-1050 www.diamondwest.net</p>	<p>PREPARED FOR:</p> <p><b>RREF II CALABASAS PARK CENTER LLC</b></p>	<p>SHEET TITLE:</p> <p><b>CONCEPTUAL GRADING AND DRAINAGE PLAN</b></p>
<p><b>PARK SORRENTO</b> CALABASAS, CA 91302 (APN) 2068-003-034</p>		<p>DESIGNED BY: _____ CHECKED BY: _____ DRAWN BY: _____ SCALE: AS SHOWN SHEET NO. <b>C-5</b> DATE: 08-11-2022</p>	

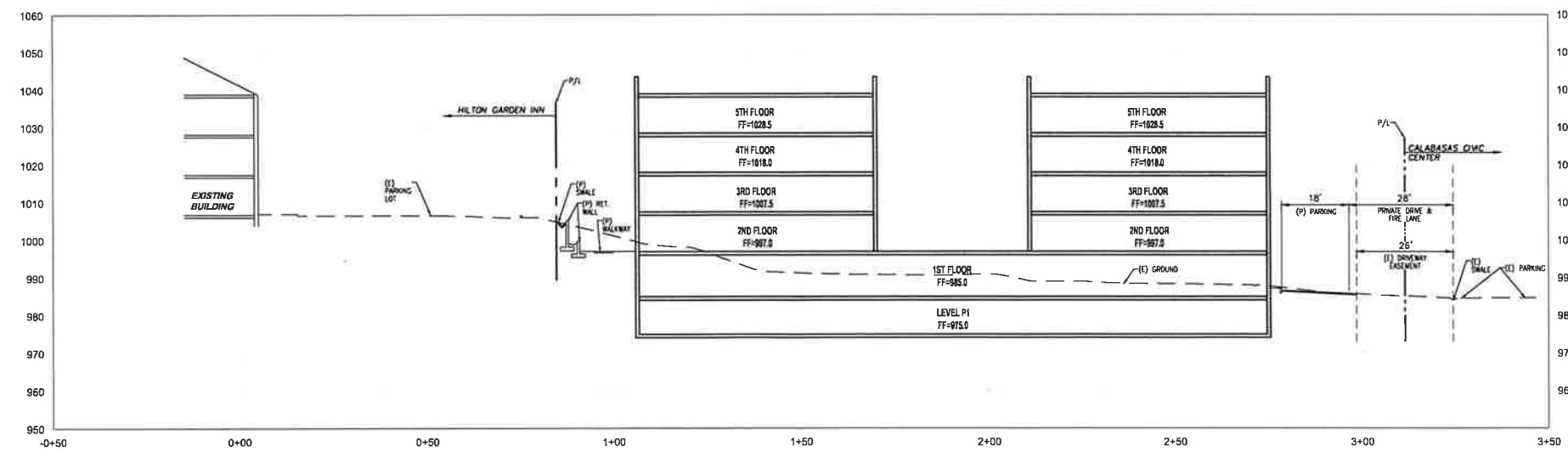




SECTION A-A

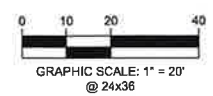


SECTION B-B



SECTION C-C

FOR CONCEPTUAL APPROVAL ONLY



<p><b>CITY of CALABASAS</b> PUBLIC WORKS DEPARTMENT 100 Civic Center Way CALABASAS, CA 91302 818.224.1600 FAX 818.225.7338 WWW.CITYOFCALABASAS.COM</p>	<p>PREPARED BY:</p> <p>chil engineering • land surveying • land planning 23801 Calabasas Road, Suite 1034 Calabasas, CA 91302 Phone: (818) 591-1050 www.diamondwest.net</p>	<p>PREPARED FOR:</p> <p>RREF II CALABASAS PARK CENTER LLC</p>	<p>SHEET TITLE:</p> <p>SECTIONS</p>	<p>PARK SORRENTO CALABASAS, CA 91302 (APN) 2068-003-034</p>	<p>DESIGNED BY: _____</p> <p>CHECKED BY: _____</p> <p>DRAWN BY: _____</p> <p>SCALE: AS SHOWN</p> <p>SHEET NO: C-6</p> <p>DATE: 08-31-2011</p>

03/22/1008 - Courin & Park Sorrento - Mail: Emily.230-Ex@ciocalab.com - 000-235-6-Sections.dwg  
 03/17/12 2:33pm - SLM







DECORATIVE SCREENS

WOOD (COLOR) PERGOLA  
WARM TONES



VIEW THROUGH COURTYARD  
TO HILL BEYOND

TERRACED PLANTERS  
AT STEPS

**THE PARK APARTMENTS**  
APN: 2066-003-034

PARK SURRENT  
CALABASSAS, CA 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILL, CA 90210

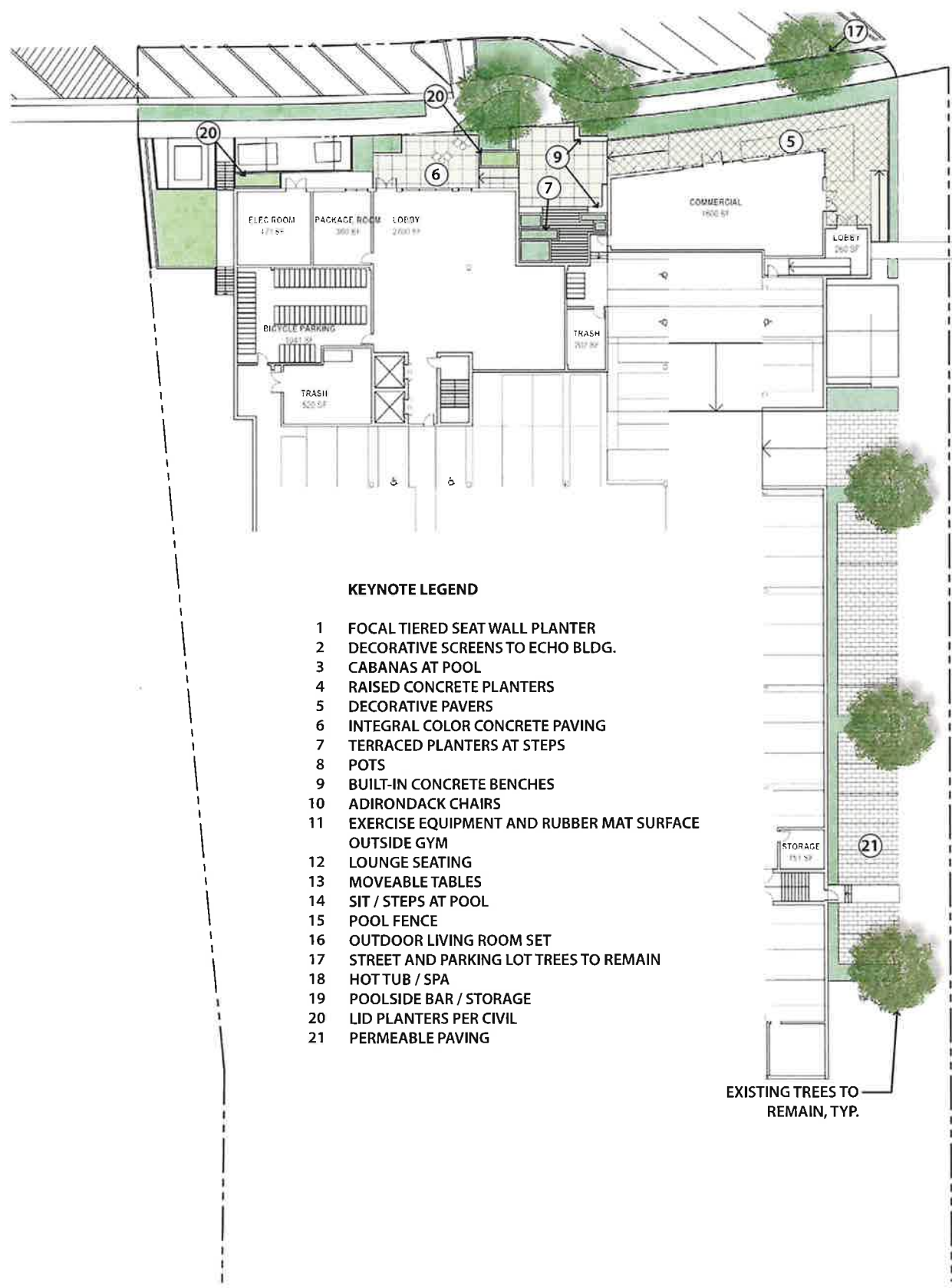
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**ENTITLEMENT SET**

DATE: 2019-029.00  
DATE: 08.30.2022  
BY: [REDACTED]


**INSPIRATION**

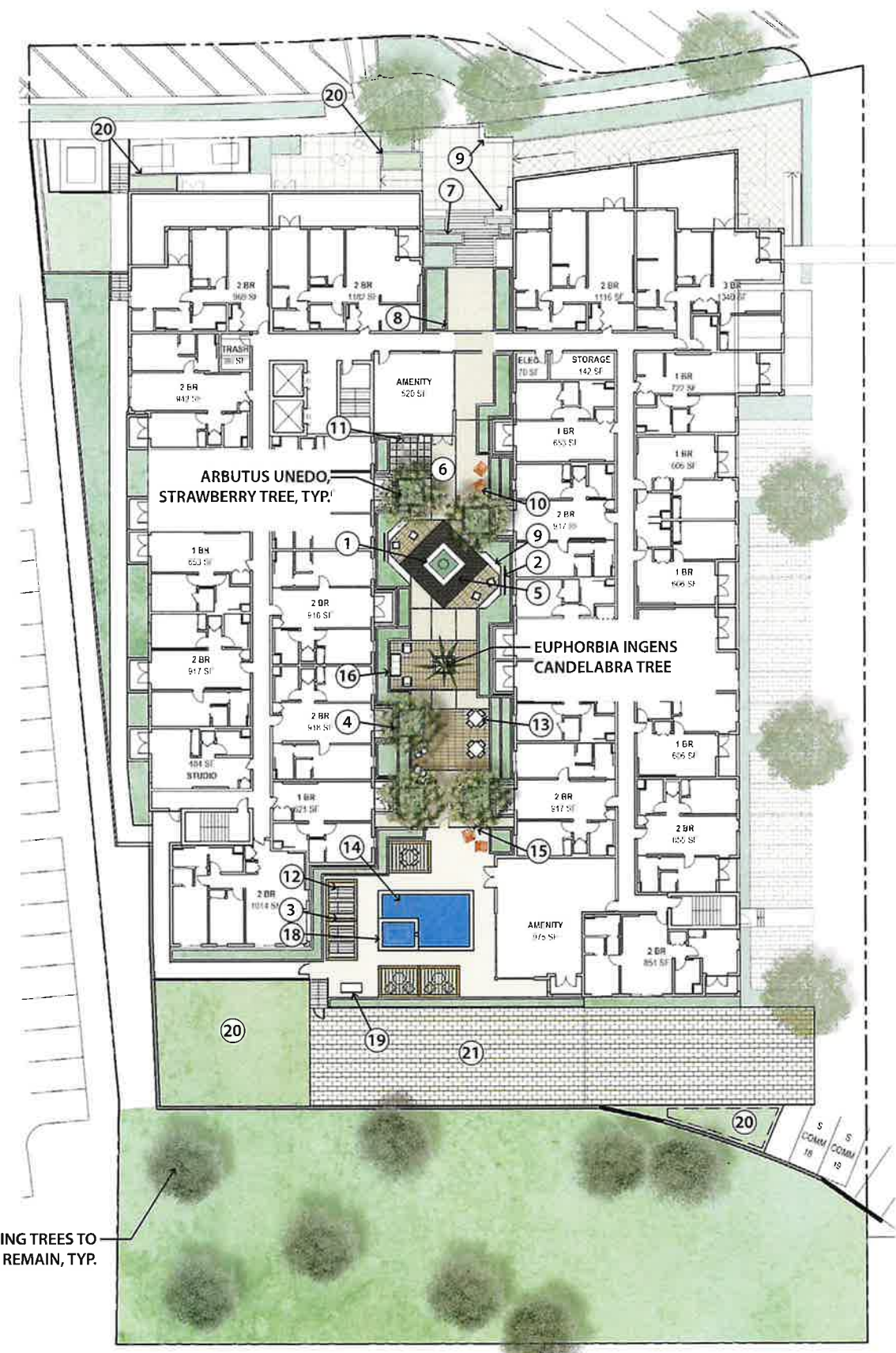




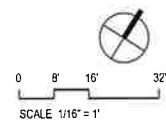
**KEYNOTE LEGEND**

- 1 FOCAL TIERED SEAT WALL PLANTER
- 2 DECORATIVE SCREENS TO ECHO BLDG.
- 3 CABANAS AT POOL
- 4 RAISED CONCRETE PLANTERS
- 5 DECORATIVE PAVERS
- 6 INTEGRAL COLOR CONCRETE PAVING
- 7 TERRACED PLANTERS AT STEPS
- 8 POTS
- 9 BUILT-IN CONCRETE BENCHES
- 10 ADIRONDACK CHAIRS
- 11 EXERCISE EQUIPMENT AND RUBBER MAT SURFACE OUTSIDE GYM
- 12 LOUNGE SEATING
- 13 MOVEABLE TABLES
- 14 SIT / STEPS AT POOL
- 15 POOL FENCE
- 16 OUTDOOR LIVING ROOM SET
- 17 STREET AND PARKING LOT TREES TO REMAIN
- 18 HOT TUB / SPA
- 19 POOLSIDE BAR / STORAGE
- 20 LID PLANTERS PER CIVIL
- 21 PERMEABLE PAVING

**Level 1**



**Level 2**



**THE PARK APARTMENTS**  
APN: 20668-003-034

PARK SURENTO  
CALABASS, CA 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILL, CA 90210

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DATE: 08.30.2022

PROJECT: 2019-029.00  
DATE: 08.30.2022

NO.	DATE	DESCRIPTION
1	08.30.2022	ENTITLEMENT SET

1ST & 2ND FLOOR  
LANDSCAPE  
CONCEPT

**L100**









# TREES



PALO VERDE 'DESERT MUSEUM'  
DESERT MUSEUM PALO VERDE



ARBUTUS LINEDO  
STRAWBERRY TREE



EUPHORBIA INGENS  
CANDELABRA TREE

# SHRUBS & GROUND COVER



STENOCEREUS THURBERI  
ORGANPIPE CACTUS



DALEA GREGGII  
TRAILING INDIGO BUSH



RHAPHIOLEPIS UMBELLETA MINOR  
DWARF YEDDO HAWTHORN



ROSMARINUS OFFICINALIS 'BLUE SPIRES'  
BLUE SPIRES ROSEMARY



ACCA SELLOWIANA  
PINEAPPLE GUAVA



SANTOLINA NEAPOLITANA  
NEAPOLITAN LAVENDER COTTON



YUCCA FILOMENTOSA 'GOLDEN SWORD'



TRACHELOSPERMUM JASMINOIDES  
STAR JASMINE



ILEX CORNUTA 'CARISSA'  
CARISSA HOLLY



AGAVE ATTENUATA 'RAY OF LIGHT'  
RAY OF LIGHT AGAVE



WESTRINGIA FRUTICOSA LOW HORIZON  
LOW HORIZON COAST ROSEMARY



BACCHARIS PILLULARIS 'PIGEON POINT'  
DWARF COYOTE BRUSH



CASUARINA GLAUCA 'COUSIN IT'

THE PARK APARTMENTS  
APN: 2066-003-034

PARK SERRANO  
CALABAS, CA 91302

CRUZAN  
9171 WILSHIRE BLVD  
BEVERLY HILL, CA 90210

ENTITLEMENT SET

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PLANT PALETTE

L300