SONOMA RESIDENCE

CONSTRUCTION NOTES

1. THE CONSTRUCTION SHALL NOT RESTRICT A 5-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITY (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, METERS, ETC.) OR THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND OR ADDITIONAL EXPENSES.

2. AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (SEPARATE PLUMBING PERMIT IS REQUIRED)

3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM

4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY

5. BATH TUB AND SHOWER FLOORS, WALLS ABOVE BATH TUBS WITH A SHOWER HEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON- ABSORBENT SURFACE. SUCH WALL SURFACES SHALL BE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.

6. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

7. UNIT SKYLIGHTS SHALL BE LABELED BY ICC APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME. PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING.

8. WATER HEATER MUST BE STRAPPED TO WALL.

9. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

10. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY.

11. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS, OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.

12. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

13. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK

14. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM N0. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENING INTO THE GARAGE

15. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.

16. NOT IN USE

17. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

18. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL.

19. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS

20. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE

21. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION 2406

A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS :
i) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
ii) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
iii) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
iv) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.

G. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.

H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.

22. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET.

23. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

24. MAXIMUM DRIVEWAY SLOPE SHALL NOT EXCEED 20% GRADE DETAILS AND TRANSITION SLOPES REQUIRED WHERE SLOPE EXCEEDS 12 1/2%. MAXIMUM DRIVEWAY CROSS SLOPE IS 10%. MAXIMUM SLOPE WITHIN PARKING AREA IS 5%.

25. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (11 LUX)

26. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 2303.1.8 BY USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

GENERAL NOTES

1. The contractor shall verify all dimensions prior to starting construction. The architect shall be notified of any discrepancies or inconsistencies.

2. The structural drawing herein represents only the finished structure. The engineer shall not be responsible for how the actual work is performed, methods of performing work, phasing of the work, sequence of construction, timelines of performance of the work, safety on or around the job site, and errors or omissions due to negligence of the general contractor or sub-contractors. The contractor shall provide all necessary measures to protect the building during construction. Such measures shall include, but not be limited to the following: Bracing, shoring for loads due to construction equipment and other loads etc. Contractor at his own expense shall engage properly qualified persons to determine field layout of all building elements. All work pertaining to structural assemblies and erection of the structural elements shall be executed by skilled worker.

3. The contractor shall be responsible for the shoring, bracing and support of all structural assemblies, components, wall and related framing during construction until the structure is completed and all material have been developed their ultimate design strength. The engineer shall not be responsible for the design and engineering of such temporary shoring, and bracing, nor shall the engineer be responsible for any structural failure due to any improperly braced or inadequate braced assemblies.

4. All work shall conform to the minimum standards of the applicable provisions of the governing building code, federal and state regulatory agencies, and local ordinance, as may apply. "Work" includes construction practices and materials. It shall be the responsibility of the general contractor to notify the engineer, for disposition, by the engineer, for any of the following Discrepancies or conflicts between structural aspects of the project herein and the requirements of the above mentioned codes, regulations, and ordinance prior to commencing work.

5. The engineer shall not be responsible for any aspects of the project that are not specifically related to the structural design such as, but not limited to, the following:
* Architectural design, new or existing
* Finishes
* Aesthetics
* Non-structural architectural framing
* Concealment of structural assemblies

6. The contractor shall review all elements of the structural design, construction drawing, and the specification as described herein for compatibility with the work of other disciplines on the project. All discrepancies, conflicts, errors and omissions shall be brought to the attention of the engineer prior to the fabrication of any component, procurement of material and, in general commencement of the work. Elements of the project that require special attention shall include but not be limited to the following:
* Conflicts between existing site and geological condition and the structural design.
* Conflicts between civil, architectural and structural dimensions
* Conflicts between structural drawing - detail and civil, mechanical, architectural and electrical drawing.

7. The contractor shall obtain written approval from the engineer of all proposed changes that may affect the structure, and of proposed alternate methods of construction that may deviate from the structural design prescribed by the construction drawings prior to commencement of the work, and be submitted to Building & Safety division of Los Angeles for review and approval.

8. Observation visits which may occur to the job by the engineer or his field representative shall be neither construed as an inspection or approval of the construction.

9. All material specifications indicated by ASTM designations shall be of the latest revision.

10. Continuous inspection shall mean inspection performed continuously by a registered deputy inspector currently licensed by the city, state or county of the job site, and approval by the engineer.

11. The contractor shall insure that all loads imposed on the structure during and after construction is completed are within the limits of the design loads.

12. Regarding the use of drawing:
- All notes listed under general notes shall apply, unless amended or otherwise superseded elsewhere on the drawings. Notes indicated elsewhere or specifically keyed to particular tabulated notes that conflict with the general notes shall be brought to the attention of the engineer prior to proceeding with the instructions given in said note or notes.
- Contractor shall check and verify all dimensions. See the architectural drawings for dimensions not specifically shown on the structural drawing. Field conditions of any existing structural dimensions that differ from architectural or structural drawing shall be brought to the attention of the engineer and resolved prior to proceeding with the construction.
- Connection and implied construction assemblies that are not specifically described or detailed in the drawing shall be constructed using standard accepted construction practices, in compliance with governing codes and ordinances.
- When details labeled "Typical" or "similar" are shown on the drawing, the contractor shall apply the intent of the detail to the specific condition.
- Written information and dimensions shall take precedence over graphic information. Do not scale drawing to determine this information. Information omitted from the drawing shall be brought to the attention of the engineer or architect.

Check and verify all dimensions and relationship to property lines and notify the Architect of any discrepancies before beginning the work.

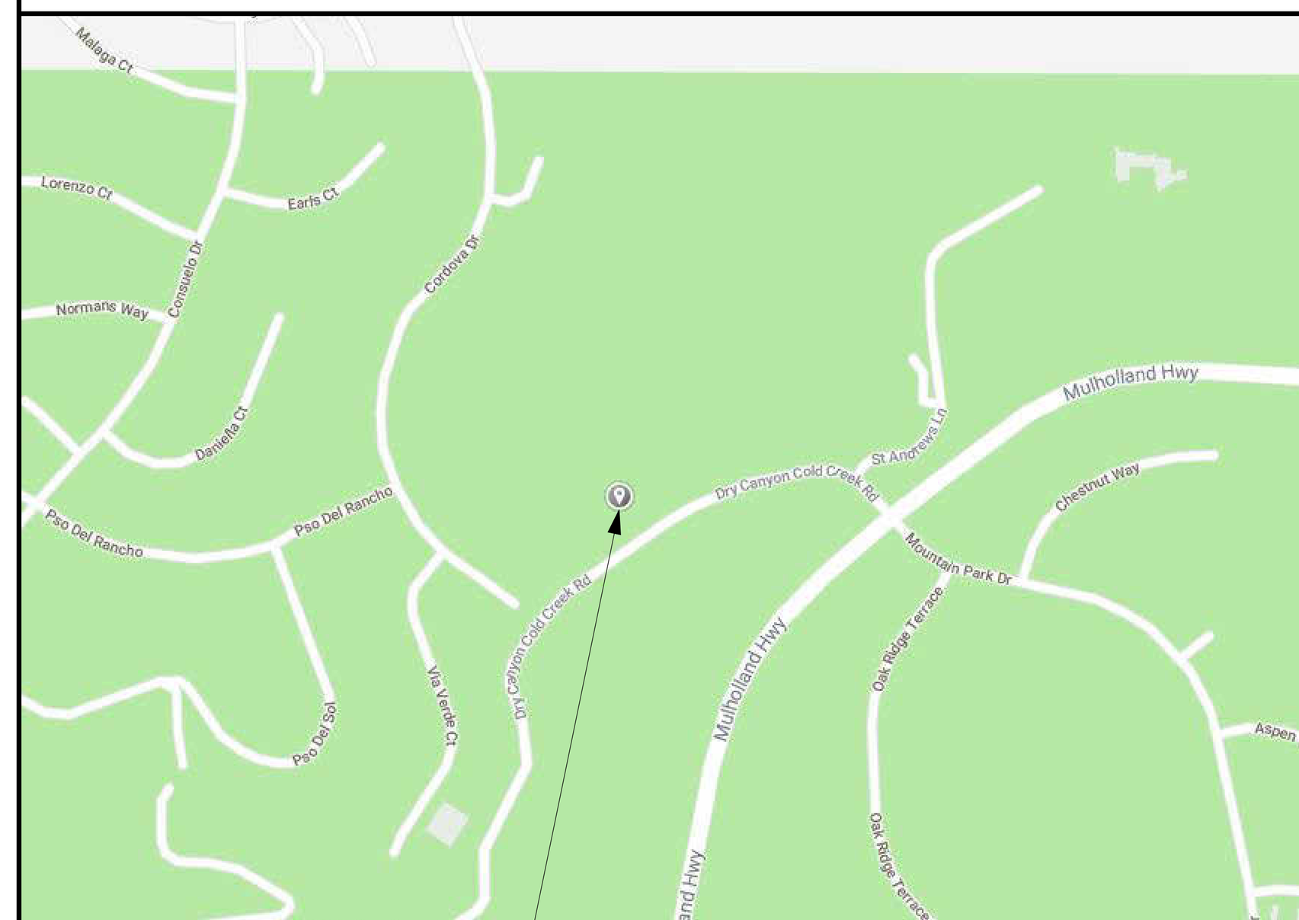
All work shall be in compliance with the Standard Building Code, recognized industry standards, craftsmanship standards in the area manufacturer's recommendations of all products installed, and all applicable codes.

Upon the use of these drawings, and in connection therewith, the Builder, his successors, and assigns, agrees to indemnify and hold harmless the Architect, of and from any and all liabilities, damages, losses, and expenses including attorney fees and costs arising from, or in any way connected with, the performance of the work performed by the Architect in connection with these drawings without regard to any negligence or fault on the part of the Architect.

These drawings, as instruments of service are and shall remain the property of the Architect. The Builder shall be permitted to retain copies of the drawings for information and reference in connection with his use on the building of this home on this specific site.

These drawings shall not be used by anyone on any other project without written permission from the Architect.

VICINITY MAP



SUBJECT PROPERTY
24101 DRY CANYON COLD CANYON ROAD
CALABASAS CA. 91302

AREA TABULATIONS

Area Schedule (Gross Area)

Level	Name	Area
Cabana		
Level 1	Cabana	576 SF
		576 SF
Covered Patio		
Level 1	Covered Patio	249 SF
		249 SF
Main Residence		
Level 1	R-3 Occupancy	7243 SF
Level 1	U Occupancy	1048 SF
Level 2	R-3 Occupancy	1631 SF
		9922 SF

Area Schedule (Pervious/Impervious Surfaces)

Name	Area
Impervious	
Building - Cabana	576 SF
Building - Covered Patio	249 SF
Building - Main Residence	8291 SF
Impervious Hardscape	4604 SF
	13720 SF
Pervious	
Landscape	11895 SF
Pervious Hardscape	5986 SF
Pool	1166 SF
	19047 SF

Area Schedule (Site Coverage - Bld'g Footprints)

Name	Area
Building - Cabana	576 SF
Building - Covered Patio	249 SF
Building - Main Residence	8291 SF
	9116 SF

Retaining Walls:

Retaining Wall Length - 190.5 lf

Retaining Wall Area - 1,039 sf

SHEET INDEX

PROJECT DATA

LEGAL DESCRIPTION:
Site Address 24101 Dry Canyon Cold Creek Road
ZIP Code 91302
Lot/Parcel Area (Calculated) 4.42 Acres / 3.9 Acre Easement
Assessor Parcel No. (APN) 4455-006-035
Tract 49594
Lot Lot 1 PM 373 / 94 - 95
Arb (Lot Cut Reference) None

Separate Permit is Required for the Following Items:

1) Grading Work
2) Swimming Pool & Spa
3) Fire Sprinkler Systems
4) Retaining Walls

DEFERRED SUBMITTALS:

1) Fire Sprinkler Plans
2) Manufactured Wood Roof Trusses
3) Prefabricated Metal Guardrails & Connections
4) Prefabricated Steel Stairs and Metal Stair Rails
5) Fire Dept. Fuel Modification, Site Plan Review for Access

SPECIAL INSPECTIONS:

1) Grading Inspection per Soil & Geology Reports
2) Structural Observations per Sht. SGN - 1
3) "HERS" Rater Verification as per T-24 (Submit CF-4R Prior to Final Inspection)
4) Radiant Barrier - per Section 3.3.3

Site Zoning and Density
Total Lot Area: 8.33 acres/ 362,886.35 sf

Lot Area to Have Conservations Easement: 3.90 acres/ 169,884 sf

New Developed Lot Area: 4.43 acres/ 192,970.8 sf

Site Coverage:
30% Allowable - 192,970.8 x 0.30% = 57,891 sf
Provided - 9,116 sf/ 192,970.8 = 4.72% O.K.

BLD'G Floor Area (See Gross Area Tabulation):
Main House - R2 Occ: 7,243 sf (Level 1)
+ R2 Occ: 1,631 sf (Level 2)
+ U Occ: 1,048 sf
9,922 sf total floor area
Other Areas - Covered Patio 249 sf + Cabana 523 sf

Buildable Site Area 146,312 sf (Net Site Area Minus Setbacks)

FAR: Building Floor Area / Net Site Area = 9,922 / 146,312 = 6.78%

Zoning: Rural Residential

Height Limit: 35' - 0"

Setbacks:
Front - 30' - 0"
Rear - 20' - 0"
Sides- 10' - 0"

SCOPE OF WORK:

1] Proposed 2-Story Single Family Dwelling (8,874 sf gross area) Type VA R-3 Occupany
w/ (2) Type VA Attached 2-Car Garage (1,048 sf total gross area)
(Fully Sprinklered w/ NFPA-13D)

2] Pool Cabana - 576 sf gross area

3] Retaining Wall - 1,039sf Wall Area, 190.5 Linear Feet, 5.46ft Average wall height

CODES REFERENCED:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA FIRE CODE

Stockton Architects Inc.
www.STOCKTONARCHITECTS.com

Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

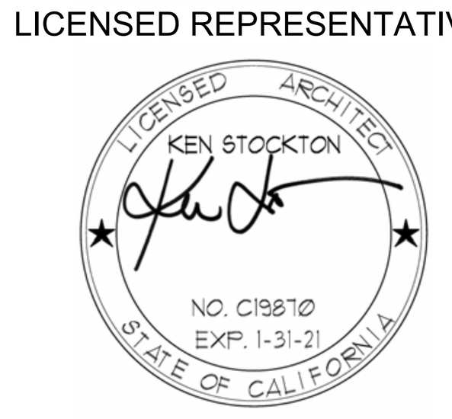
Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE



Permit Set

Cover Sheet

Date	10/20/2021
Drawn By	Author
Checked By	Checker

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Scale As indicated

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CITY OF CALABASAS
Standard Construction Notes
VERY HIGH FIRE HAZARD SEVERITY ZONE

2016 California Residential Code – Section R337
2016 California Building Code – Chapter 7A

Notes: **1)** Additional State Fire Marshal approved materials and methods may be found in California Referenced Standards Code, Part 12. **2)** Prior to permit final approval, the property shall be in compliance with the **vegetation management requirements**. **3)** The use of paints, coating, stains or other surface treatments are not an approved method of protection [R337.3.5.3/701A.5, 703A.5.3].

APPLICATION – [R337.1.3/701A]

1. **New buildings**.
2. **Detached Accessory Building Exceptions**:
   a. Not exceeding 120 sf when located at least 30 ft from an applicable building.
   b. Any size located at least 50 ft from an applicable building.

ROOFING - [R327.5/705A]:

3. Roofs shall have a roofing assembly installed in accordance with its listing and the manufacturer's installation instructions.
4. **Fire-retardant-treated wood shingles and shakes** shall be approved and listed by the California State Fire Marshal and have passed the weathering test. [R902.2/703A.5.2.2]
5. Roof covering shall be Class A [R902.1.1]:
   a. The entire roof covering of every existing structure where more than 50% of the total roof area is **replaced** within any one-year period,
   b. The entire roof covering of every **new structure**, or
   c. And any roof covering applied in the alteration, repair or replacement of the roof of every **existing** structure.
6. Where the roof profile allows a **space between the roof covering** and roof decking: [R337.5.2]
   a. The spaces shall be constructed to prevent the intrusion of flames and embers,
   b. Be fire-stopped with approved materials, or
   c. Have one layer of minimum 72 pound mineral-surfaced non-perforated cap sheet complying with AS I M D 3909 installed over the combustible decking.
7. Where **roof valley flashing** is installed [R337.5.3]:
   a. The flashing shall be not less than 0.019-inch No. 26 gage galvanized sheet installed over not less than on layer of minimum 72-pound mineral-surfaced non-perforated cap sheet complying with ASTM D 3909, at least 36-inch-wide running the full length of the valley.
8. **Roof gutters** shall be provided with the means to prevent the accumulation of leaves and debris in the gutter.

VENTS – [R337.6/706A]:

General – Sec. R337.6.1/706A.1

Where provided, ventilation openings for enclosed attics, enclosed eave soffit spaces, enclosed rafters space formed where ceiling are applied directly to the underside of roof rafters and under-floor ventilation shall be in accordance with CBC Sec. 1203.

Requirements – R337.6.2/706A.2:

9. **Ventilation openings** for the above enclosed areas, shall be fully covered with metal wire mesh, vents, other materials or other devices that meet the following:
   a. Openings shall be between 1/16th and 1/8th inch.
   b. The materials shall be noncombustible except vents located under the roof covering, along the ridge, with noncombustible wire mesh.
   c. The materials shall be corrosion resistant.

Ventilation openings on the underside of eaves and cornices – R337.6.3/706A.3

10. **Vents shall not be installed** on the underside of eaves and cornices, except vents meeting the above requirements when:
    a. The ventilated attic space is **fully protected** by an automatic sprinkler system installed in accordance with CBC Sec. 903.3.1.1 (NFPA 13), or
    b. The exterior wall covering and exposed underside of the eave are of noncombustible material or ignition-resistant-material (SFM Standard 12-7A-5 and the vent is located more than 12 feet from the ground or walking surface of a deck, porch, patio, etc.

EXTERIOR COVERING – Sec. R337.7/707A

Note: The following **exterior covering materials** shall conform to this section: Exterior wall covering or assembly, underside of roof eave overhangs or soffits, underside of exterior porch ceilings, underside of floor projections, and under-floor areas. **The following are exempt:** architectural trim, fascia and gutters; roof or wall projections; solid wood rafter tails and blocking having a minimum dimension of 2 inch nominal.

Exterior walls – R337.7.3/707A.3

11. Exterior wall covering or wall assembly shall be of:
    a. Noncombustible material.
    b. Ignition-resistant material.*
    c. Heavy-timber exterior wall assembly.
    d. Log wall construction.
    e. Wall assemblies meeting SFM Standard 12-7A-1.

    Exceptions: **1)** One layer of 5/8-inch Type X gypsum sheathing applied behind the exterior covering or cladding on the exterior side. **2)** The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.

Extent of Exterior Wall Coverings – R337.7.3.1/707A.3.1

12. Exterior wall coverings shall extend from the top of the foundation to
    a. the roof and terminate at 2 inch nominal solid wood blocking between rafters at all roof overhangs,
    b. or in the enclosed eaves, terminate at the enclosure.

Open (exposed) Roof Eaves – R337.7.4/707A.4

13. The **exposed roof deck** on the underside of unenclosed roof eaves shall consist of one of the following:
    a. Noncombustible material.
    b. Ignition-resistant material.*
    c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside exterior of the roof deck.
    d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.

    Exceptions: The following materials do not require protection: **1)** 2 inch minimal solid wood rafter tails on the exposed underside of open roof eaves; **2)** Solid wood blocking between rafter tails; **3)** Gable end overhangs and roof assembly projections beyond an exterior wall; **4)** Fascia and architectural trim boards.

Enclosed Roof Eaves and Roof Eave Soffits – R337.7.5/707A.5

14. The **exposed underside of enclosed roof eaves** having either a boxed-in roof eave soffit with a horizontal underside, or sloping rafter tails with an exterior covering applied to the underside of the rafter tails, shall be protected by one of the following:
    a. Noncombustible materials.
    b. Ignition-resistant materials.*
    c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside of the rafter tails or soffit.
    d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.
    e. Boxed-in roof cave soffits per SFM Standard 12-7A-3.

    Exceptions: 1) Gable end overhangs and roof assembly projections beyond an exterior wall other than at the lower end of the rafter tails; 2) Fascia and other architectural trim boards.

Exterior Porch Ceilings – R337.7.6/707A.6

15. The exposed underside of exterior porch ceilings shall be protected by one of the following:
    a. Noncombustible material.
    b. Ignition-resistant material.*
    c. One layer of 5/8-inch Type X gypsum sheathing applied behind the exterior covering on the underside of the ceiling.
    d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.
    e. Porch ceiling assemblies with a horizontal underside that meets SFM Standard 12-7A-3.

    Exception: Architectural trim boards.

Floor Projections – R337.7.7/707A.7

16. The exposed underside of a cantilevered floor projection where a floor assembly extends over an exterior wall shall be protected by one of the following:
    a. Noncombustible construction.
    b. Ignition-resistant material.*
    c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the under-side of the floor projection.

    d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.
    e. The underside of a floor projection assembly that meets SFM Standard 12-7A-3.

    Exception: Architectural trim boards.

Under-floor Protection – R337.7.8/707A.8

17. The under-floor area of elevated or overhanging building shall be enclosed (and fire-protected) to grade or the underside of the exposed under-floor shall be protected by one of the following:
    a. Noncombustible construction.
    b. Ignition-resistant material.*
    c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside of the floor projection.
    d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.
    e. The underside of a floor projection assembly that meets SFM Standard 12-7A-3.

    Exception: Heavy-timber structural columns and beams do not require protection.

Underside of Appendages – R337.7.9/707A.8

18. The underside of appendages shall be finished per the above sections.

EXTERIOR WINDOWS AND DOORS – R337.8/708A

Exterior Glazing – R337.8.2/708A.2

Note: The following exterior glazing materials shall comply: windows, glazed doors, glazed opening within exterior doors, glazed opening within exterior garage doors, exterior structural glass veneer.

Exterior Windows and Exterior Glazed Door Assembly Requirements – R337.8.2.1/708A.2.1

19. Exterior windows and exterior glazed door assemblies shall comply with one of the following:
    a. Multi-pane glazing with a minimum of one tempered pane meeting the Safety Glazing requirements of CBC Sec.2406.
    b. Glass block units.
    c. 20-minute fire-resistance rating.
    d. Meet SFM Standard 12-7A-2.

Structural Glass Veneer – R337.8.2.2/708A.2.2

20. The wall assembly behind structural glass veneer shall comply with the wall requirement of Sec. R337.7.3/707A.3.

Exterior Doors – R337.8.3/708A.3

21. Exterior doors shall comply with the following:
    a. The exterior surface or cladding shall be of noncombustible or ignition-resistant material, or
    b. Shall be constructed of solid core wood that complies with the following:
       i. Stiles and rails shall not be less than 1-3/8 inches thick.
       ii. Raised panels shall not be less than 1-1/4 inch thick, except for perimeter of the raised panel that may taper to a tongue not less than 3/8 inch think.
    c. Shall have a fire-resistance rating of not less than 20 minutes.
    d. Meet SFM Standard 12-7A-1.

Exterior Door Glazing – R337.8.3.1/708A.3.1

22. Shall meet the requirements of R337.8.2.1/708A.2.1 above.

DECKING – R337.9/709A

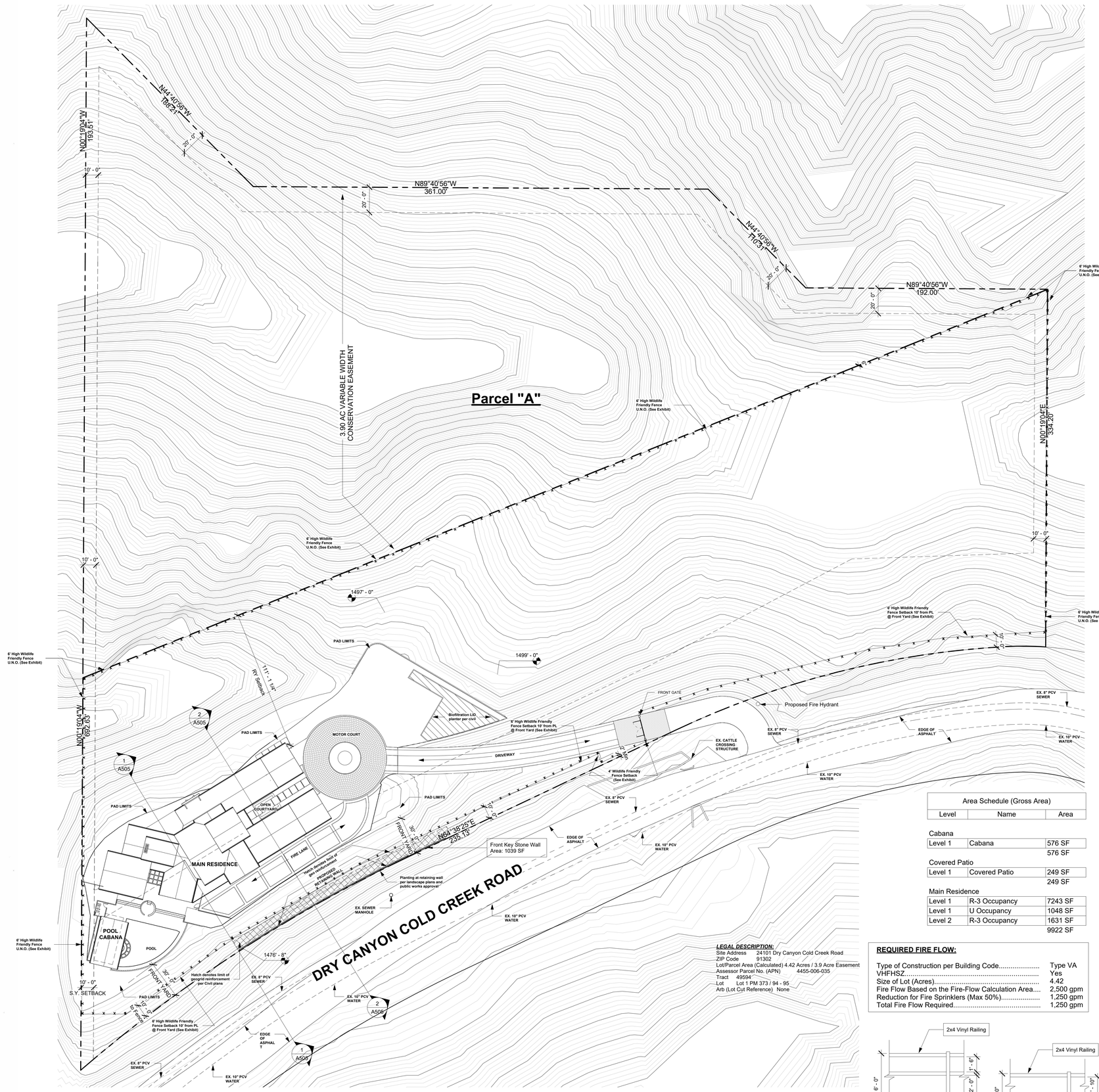
23. The **walking surface material** of decks, porches, balconies and stairs when any portion of such surface is within 10 ft of the building shall comply with the following:
    a. Ignition-resistant material complying with SFM Standard 12-7A-4 and 5.
    b. Exterior fire retardant treated wood.
    c. Noncombustible material.
    d. Materials meeting SFM Standard 12-7A-4A may be used when the attached exterior wall covering is also either noncombustible or ignition-resistant material.

ACCESSORY STRUCTURES – R337.10/710A

Note: Ignition Resistant Protection is required for the following: trellises, arbor, patio covers, carport, gazebos and similar structures.

24. Accessory structures not exempt per item #1, shall be reviewed and approved by the Fire Marshal prior to construction.

*__Ignition-resistant material__ shall be: **1)** determined in accordance with the test procedures in SFM Standard 12-7A-5, or **2)** Noncombustible material, or **3)** Fire-retardant-treated wood identified for exterior use (CBC Sec. 2303.2).



1 Site
1/32" = 1'-0"

LEGAL DESCRIPTION:

Site Address	24101 Dry Canyon Cold Creek Road
ZIP Code	91302
Lot/Parcel Area (Calculated)	4.42 Acres / 3.9 Acre Easement
Assessor Parcel No. (APN)	4455-006-035
Tract	49594
Lot	Lot 1 PM 373 / 94 - 95
Arb (Lot Cut Reference)	None

Note: The discharge of pollutants to any storm drainage system is prohibited. No solid waste, retroleum by products, soil particulates, construction waste materials, or waste water generated on construction site or by construction activities shall be placed, conveyed, or discharged into the street, gutter or storm drain system.

Area Schedule (Gross Area)

Level	Name	Area
Cabana		
Level 1	Cabana	576 SF
		576 SF
Covered Patio		
Level 1	Covered Patio	249 SF
		249 SF
Main Residence		
Level 1	R-3 Occupancy	7243 SF
Level 1	U Occupancy	1048 SF
Level 2	R-3 Occupancy	1631 SF
		9922 SF

REQUIRED FIRE FLOW:

Type of Construction per Building Code	Type VA
VHFHSZ	Yes
Size of Lot (Acres)	4.42
Fire Flow Based on the Fire-Flow Calculation Area	2,500 gpm
Reduction for Fire Sprinklers (Max 50%)	1,250 gpm
Total Fire Flow Required	1,250 gpm

Max fence wall height (10' Setback) - See Site Plan

Wildlife Friendly Fence Exhibit
1/4" = 1'-0"

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Client

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23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
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Project

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26500 W. Agoura Road #663
Calabasas, CA 91302
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MEP
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Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT KEN STOCKTON NO. C18670 EXP. 1-31-21 STATE OF CALIFORNIA

Permit Set

Overall Site Plan

Date	10/20/2021
Drawn By	KSA
Checked By	K. STOCKTON

A100

Scale: As indicated

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CITY OF CALABASAS
Standard Construction Notes
VERY HIGH FIRE HAZARD SEVERITY ZONE

2016 California Residential Code – Section R337
2016 California Building Code – Chapter 7A

Notes: **1)** Additional State Fire Marshal approved materials and methods may be found in California Referenced Standards Code, Part 12. **2)** Prior to permit final approval, the property shall be in compliance with the **vegetation management requirements**. **3)** The use of paints, coating, stains or other surface treatments are not an approved method of protection [R337.3.5.3/701A.5, 703A.5.3].

APPLICATION – [R337.1.3/701A]

1. **New buildings**.
2. **Detached Accessory Building Exceptions**:
   a. Not exceeding 120 sf when located at least 30 ft from an applicable building.
   b. Any size located at least 50 ft from an applicable building.

ROOFING - [R327.5/705A]:

3. Roofs shall have a roofing assembly installed in accordance with its listing and the manufacturer's installation instructions.
4. **Fire-retardant-treated wood shingles and shakes** shall be approved and listed by the California State Fire Marshal and have passed the weathering test. [R902.2/703A.5.2.2]
5. Roof covering shall be Class A [R902.1.1]:
   a. The entire roof covering of every existing structure where more than 50% of the total roof area is **replaced** within any one-year period,
   b. The entire roof covering of every **new structure**, or
   c. And any roof covering applied in the alteration, repair or replacement of the roof of every **existing** structure.
6. Where the roof profile allows a **space between the roof covering** and roof decking: [R337.5.2]
   a. The spaces shall be constructed to prevent the intrusion of flames and embers,
   b. Be fire-stopped with approved materials, or
   c. Have one layer of minimum 72 pound mineral-surfaced non-perforated cap sheet complying with AS I M D 3909 installed over the combustible decking.
7. Where **roof valley flashing** is installed [R337.5.3]:
   a. The flashing shall be not less than 0.019-inch No. 26 gage galvanized sheet installed over not less than on layer of minimum 72-pound mineral-surfaced non-perforated cap sheet complying with ASTM D 3909, at least 36-inch-wide running the full length of the valley.
8. **Roof gutters** shall be provided with the means to prevent the accumulation of leaves and debris in the gutter.

VENTS – [R337.6/706A]:

General – Sec. R337.6.1/706A.1

Where provided, ventilation openings for enclosed attics, enclosed eave soffit spaces, enclosed rafters space formed where ceiling are applied directly to the underside of roof rafters and under-floor ventilation shall be in accordance with CBC Sec. 1203.

Requirements – R337.6.2/706A.2:

9. **Ventilation openings** for the above enclosed areas, shall be fully covered with metal wire mesh, vents, other materials or other devices that meet the following:
   a. Openings shall be between 1/16th and 1/8th inch.
   b. The materials shall be noncombustible except vents located under the roof covering, along the ridge, with noncombustible wire mesh.
   c. The materials shall be corrosion resistant.

Ventilation openings on the underside of eaves and cornices – R337.6.3/706A.3

10. **Vents shall not be installed** on the underside of eaves and cornices, except vents meeting the above requirements when:
    a. The ventilated attic space is **fully protected** by an automatic sprinkler system installed in accordance with CBC Sec. 903.3.1.1 (NFPA 13), or
    b. The exterior wall covering and exposed underside of the eave are of noncombustible material or ignition-resistant-material (SFM Standard 12-7A-5 and the vent is located more than 12 feet from the ground or walking surface of a deck, porch, patio, etc.

EXTERIOR COVERING – See. R337.7/707A

Note: The following **exterior covering materials** shall conform to this section: Exterior wall covering or assembly, underside of roof eave overhangs or soffits, underside of exterior porch ceilings, underside of floor projections, and under-floor areas. **The following are exempt:** architectural trim, fascia and gutters; roof or wall projections; solid wood rafter tails and blocking having a minimum dimension of 2 inch nominal.

Exterior walls – R337.7.3/707A.3

11. Exterior wall covering or wall assembly shall be of:
    a. Noncombustible material.
    b. Ignition-resistant material.*
    c. Heavy-timber exterior wall assembly.
    d. Log wall construction.
    e. Wall assemblies meeting SFM Standard 12-7A-1.

    Exceptions: **1)** One layer of 5/8-inch Type X gypsum sheathing applied behind the exterior covering or cladding on the exterior side. **2)** The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.

Extent of Exterior Wall Coverings – R337.7.3.1/707A.3.1

12. Exterior wall coverings shall extend from the top of the foundation to
    a. the roof and terminate at 2 inch nominal solid wood blocking between rafters at all roof overhangs,
    b. or in the enclosed eaves, terminate at the enclosure.

Open (exposed) Roof Eaves – R337.7.4/707A.4

13. The **exposed roof deck** on the underside of unenclosed roof eaves shall consist of one of the following:
    a. Noncombustible material.
    b. Ignition-resistant material.*
    c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside exterior of the roof deck.
    d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.

    Exceptions: The following materials do not require protection: **1)** 2 inch minimal solid wood rafter tails on the exposed underside of open roof eaves; **2)** Solid wood blocking between rafter tails; **3)** Gable end overhangs and roof assembly projections beyond an exterior wall; **4)** Fascia and architectural trim boards.

Enclosed Roof Eaves and Roof Eave Soffits – R337.7.5/707A.5

14. The **exposed underside of enclosed roof eaves** having either a boxed-in roof eave soffit with a horizontal underside, or sloping rafter tails with an exterior covering applied to the underside of the rafter tails, shall be protected by one of the following:
    a. Noncombustible materials.
    b. Ignition-resistant materials.*
    c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside of the rafter tails or soffit.
    d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.
    e. Boxed-in roof cave soffits per SFM Standard 12-7A-3.

    Exceptions: 1) Gable end overhangs and roof assembly projections beyond an exterior wall other than at the lower end of the rafter tails; 2) Fascia and other architectural trim boards.

Exterior Porch Ceilings – R337.7.6/707A.6

15. The exposed underside of exterior porch ceilings shall be protected by one of the following:
    a. Noncombustible material.
    b. Ignition-resistant material.*
    c. One layer of 5/8-inch Type X gypsum sheathing applied behind the exterior covering on the underside of the ceiling.
    d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.
    e. Porch ceiling assemblies with a horizontal underside that meets SFM Standard 12-7A-3.

    Exception: Architectural trim boards.

Floor Projections – R337.7.7/707A.7

16. The exposed underside of a cantilevered floor projection where a floor assembly extends over an exterior wall shall be protected by one of the following:
    a. Noncombustible construction.
    b. Ignition-resistant material.*
    c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the under-side of the floor projection.

    d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.
    e. The underside of a floor projection assembly that meets SFM Standard 12-7A-3.

    Exception: Architectural trim boards.

Under-floor Protection – R337.7.8/707A.8

17. The under-floor area of elevated or overhanging building shall be enclosed (and fire-protected) to grade or the underside of the exposed under-floor shall be protected by one of the following:
    a. Noncombustible construction.
    b. Ignition-resistant material.*
    c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside of the floor projection.
    d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire exposure.
    e. The underside of a floor projection assembly that meets SFM Standard 12-7A-3.

    Exception: Heavy-timber structural columns and beams do not require protection.

Underside of Appendages – R337.7.9/707A.8

18. The underside of appendages shall be finished per the above sections.

EXTERIOR WINDOWS AND DOORS – R337.8/708A

Exterior Glazing – R337.8.2/708A.2

Note: The following exterior glazing materials shall comply: windows, glazed doors, glazed opening within exterior doors, glazed opening within exterior garage doors, exterior structural glass veneer.

Exterior Windows and Exterior Glazed Door Assembly Requirements – R337.8.2.1/708A.2.1

19. Exterior windows and exterior glazed door assemblies shall comply with one of the following:
    a. Multi-pane glazing with a minimum of one tempered pane meeting the Safety Glazing requirements of CBC Sec.2406.
    b. Glass block units.
    c. 20-minute fire-resistance rating.
    d. Meet SFM Standard 12-7A-2.

Structural Glass Veneer – R337.8.2.2/708A.2.2

20. The wall assembly behind structural glass veneer shall comply with the wall requirement of Sec. R337.7.3/707A.3.

Exterior Doors – R337.8.3/708A.3

21. Exterior doors shall comply with the following:
    a. The exterior surface or cladding shall be of noncombustible or ignition-resistant material, or
    b. Shall be constructed of solid core wood that complies with the following:
       i. Stiles and rails shall not be less than 1-3/8 inches thick.
       ii. Raised panels shall not be less than 1-1/4 inch thick, except for perimeter of the raised panel that may taper to a tongue not less than 3/8 inch think.
    c. Shall have a fire-resistance rating of not less than 20 minutes.
    d. Meet SFM Standard 12-7A-1.

Exterior Door Glazing – R337.8.3.1/708A.3.1

22. Shall meet the requirements of R337.8.2.1/708A.2.1 above.

DECKING – R337.9/709A

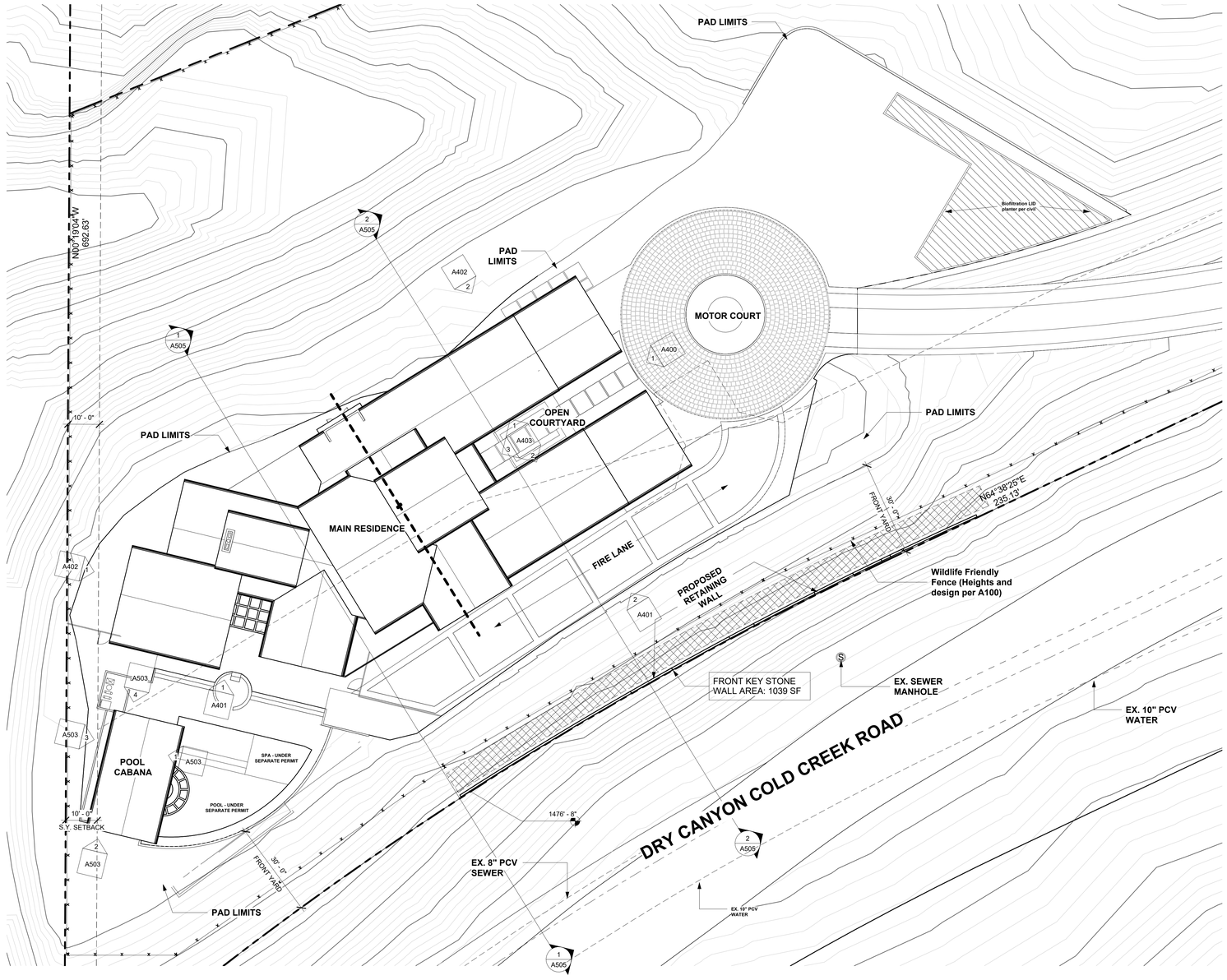
23. The **walking surface material** of decks, porches, balconies and stairs when any portion of such surface is within 10 ft of the building shall comply with the following:
    a. Ignition-resistant material complying with SFM Standard 12-7A-4 and 5.
    b. Exterior fire retardant treated wood.
    c. Noncombustible material.
    d. Materials meeting SFM Standard 12-7A-4A may be used when the attached exterior wall covering is also either noncombustible or ignition-resistant material.

ACCESSORY STRUCTURES – R337.10/710A

Note: Ignition Resistant Protection is required for the following: trellises, arbor, patio covers, carport, gazebos and similar structures.

24. Accessory structures not exempt per item #1, shall be reviewed and approved by the Fire Marshal prior to construction.

*__Ignition-resistant material__ shall be: **1)** determined in accordance with the test procedures in SFM Standard 12-7A-5, or **2)** Noncombustible material, or **3)** Fire-retardant-treated wood identified for exterior use (CBC Sec. 2303.2).



1 Enlarged Site
1/16" = 1'-0"

View 1

View 2

View 3

Site Photo Key Plan

Stockton Architects Inc.
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Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT KEN STOCKTON NO. C18870 EXP. 1-31-23 STATE OF CALIFORNIA

Permit Set

Enlarged Site Plan

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A101

Scale 1/16" = 1'-0"

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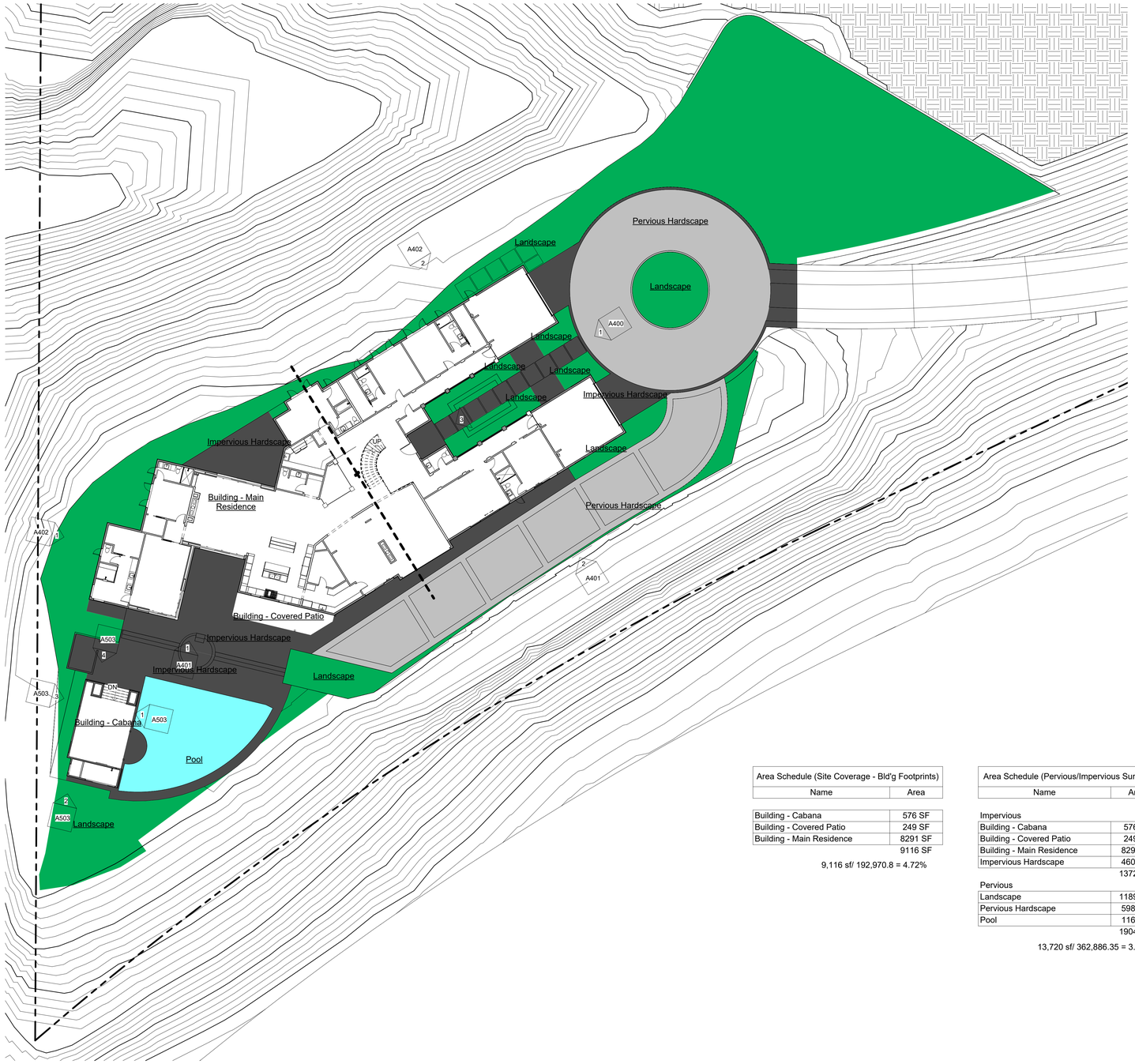

1 Level 1
1/16" = 1'-0"

Area Schedule (Site Coverage - Bld'g Footprints)	
Name	Area
Building - Cabana	576 SF
Building - Covered Patio	249 SF
Building - Main Residence	8291 SF
	9116 SF

9,116 sf/ 192,970.8 = 4.72%

Area Schedule (Pervious/Impervious Surfaces)	
Name	Area
Impervious	
Building - Cabana	576 SF
Building - Covered Patio	249 SF
Building - Main Residence	8291 SF
Impervious Hardscape	4604 SF
	13720 SF
Pervious	
Landscape	11895 SF
Pervious Hardscape	5986 SF
Pool	1166 SF
	19047 SF

13,720 sf/ 362,886.35 = 3.78%

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Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

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Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
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Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT KEN STOCKTON NO. C19870 EXP. 1-31-21 STATE OF CALIFORNIA

Permit Set

Site Coverage & Pervious Surfaces

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A102

Scale 1/16" = 1'-0"

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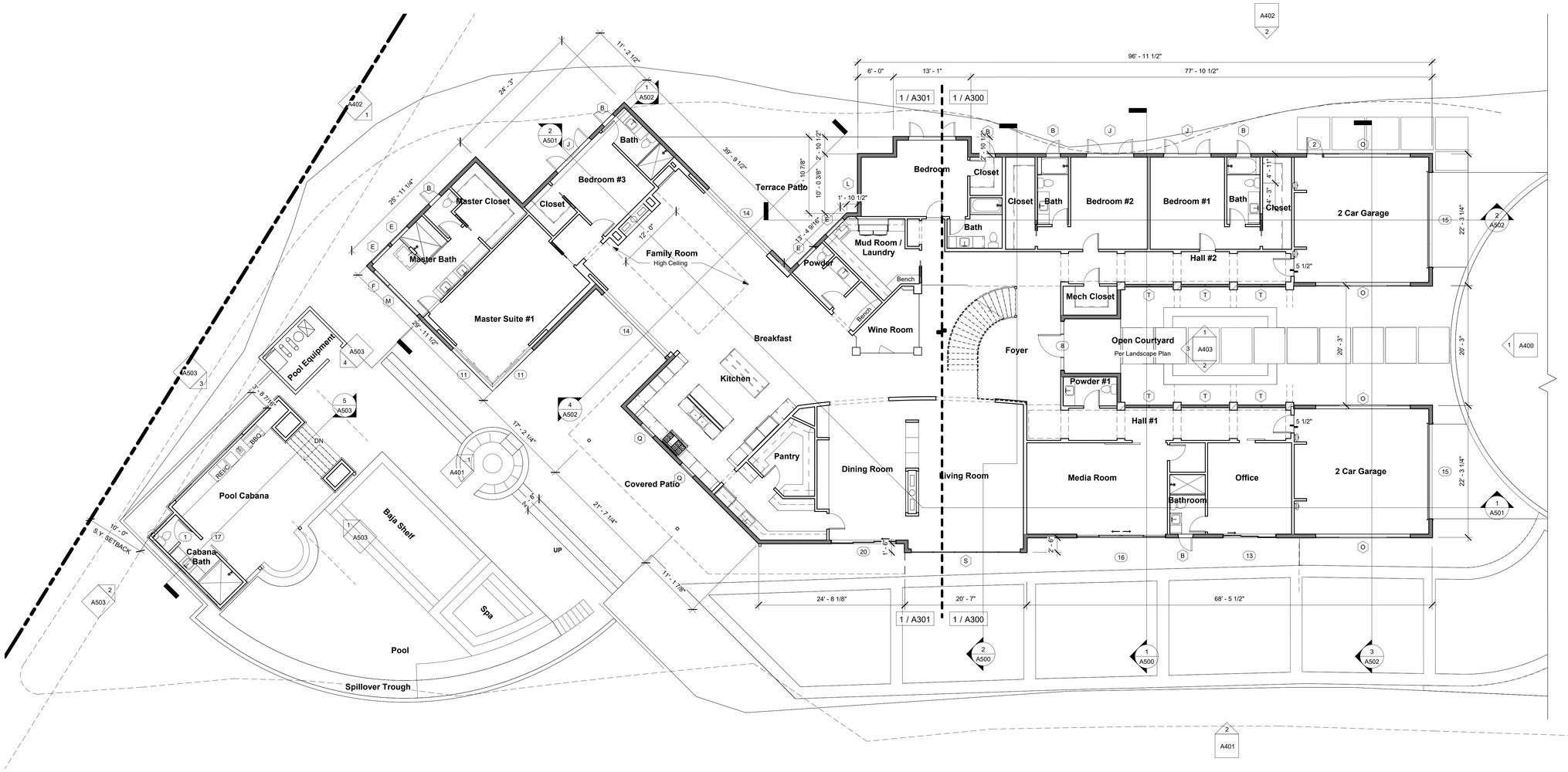

1 1st Story Plan
1/8" = 1'-0"

* See Sheet #A300 & #A301 for 1/4" Enlarged Floor Plans

* See Sheet #A600 & #A601 for Reflected Ceiling Plan

WALL LEGEND

-

Denotes 2x4 Typical Interior Walls

Denotes 2x6 Typical Interior Walls

Denotes 2x6 Typical Exterior Walls - See Details # 3, 4 & 5 / AD1

NOTE:

1) THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

2) THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

3) THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC" (4.211.4, ENERGY CODE 110.10, LAFD REQUIREMENT NO. 96)

4) FACTORY-BUILT FIREPLACES TO MEET THE FOLLOWING REQUIREMENTS:
i) HAVE A CLOSABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX.
ii) A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE WHICH IS AT LEAST 6 SQUARE INCHES IN AREA AND IS EQUIPPED WITH A READILY ACCESSIBLE OPERABLE AND TIGHT-FITTING DAMPER OR COMBUSTION CONTROL DEVICE.
iii) HAVE A FLUE DEMPER WITH A READILY ACCESSIBLE CONTROL. EXCEPTION: WHEN A GAS LOG, LOG LIGHTER OR DEORATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE BLOCKED OPEN

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Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT
KEN STOCKTON
NO. C18610
EXP. 1-31-23
STATE OF CALIFORNIA

Permit Set

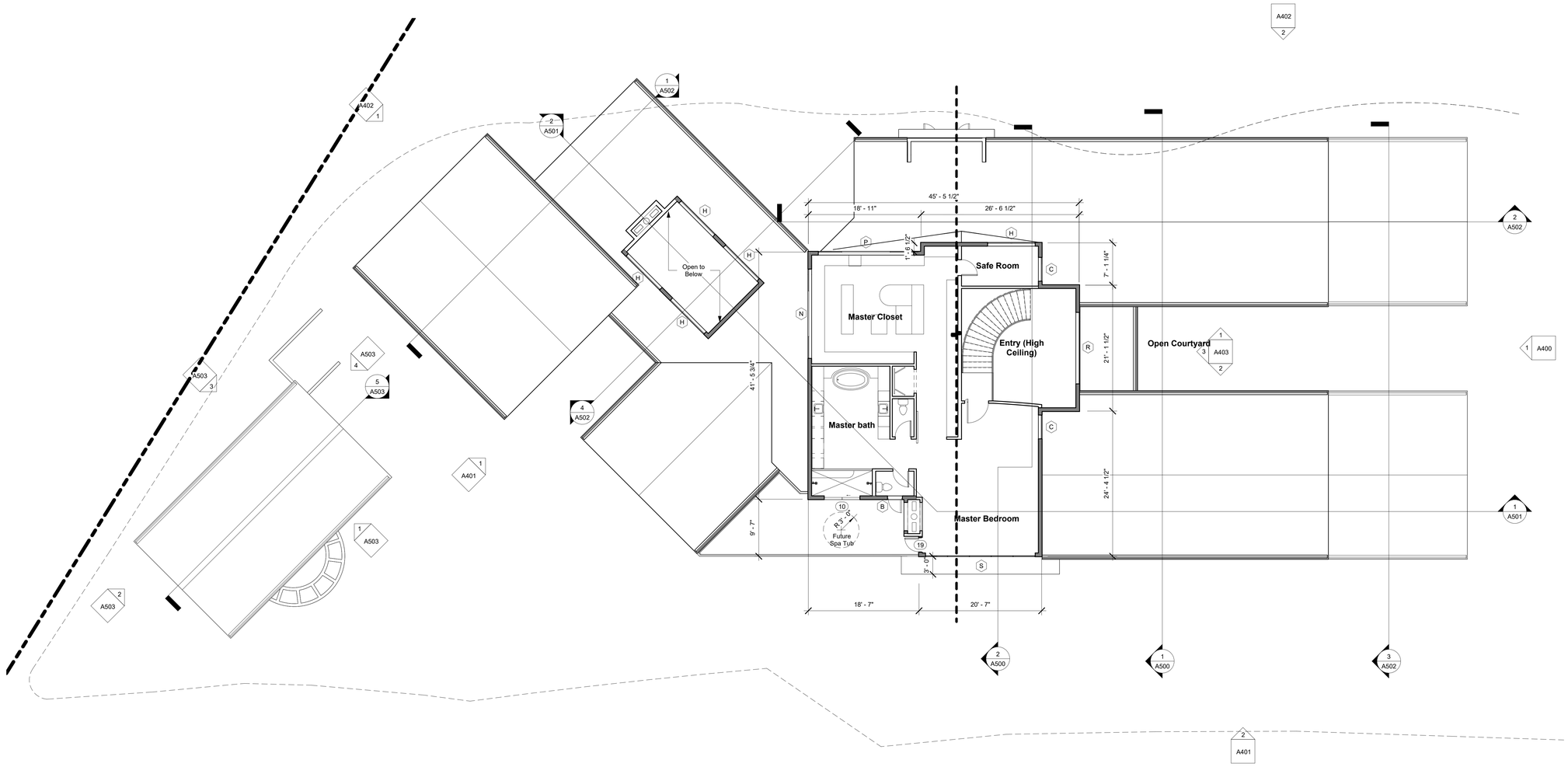
1st Story Floor Plan

Date	10/20/2021
Drawn By	KSA
Checked By	K. STOCKTON

A200

Scale: As indicated

4/11/2022 3:35:38 PM



1 2nd Story Plan
1/8" = 1'-0"

* See Sheet #A302 for 1/4" Enlarged Floor Plans

* See Sheet #A602 for Reflected Ceiling Plan

WALL LEGEND

-

Denotes 2x4 Typical Interior Walls

Denotes 2x6 Typical Interior Walls

Denotes 2x6 Typical Exterior Walls - See Details # 3, 4 & 5 / AD1

NOTE:

1) THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

2) THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

3) THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC" (4.211.4, ENERGY CODE 110.10, LAFD REQUIREMENT NO. 96)

4) FACTORY-BUILT FIREPLACES TO MEET THE FOLLOWING REQUIREMENTS:
   i) HAVE A CLOSABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX
   ii) A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE WHICH IS AT LEAST 6 SQUARE INCHES IN AREA AND IS EQUIPPED WITH A READILY ACCESSIBLE OPERABLE AND TIGHT-FITTING DAMPER OR COMBUSTION CONTROL DEVICE.
   iii) HAVE A FLUE DEMPER WITH A READILY ACCESSIBLE CONTROL. EXCEPTION: WHEN A GAS LOG, LOG LIGHTER OR DECRATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE BLOCKED OPEN

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(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT
KEN STOCKTON
NO. C18870
EXP. 1-31-21
STATE OF CALIFORNIA

Permit Set

2nd Story Floor Plan

Date	10/20/2021
Drawn By	KSA
Checked By	K. STOCKTON

A201

Scale: As indicated

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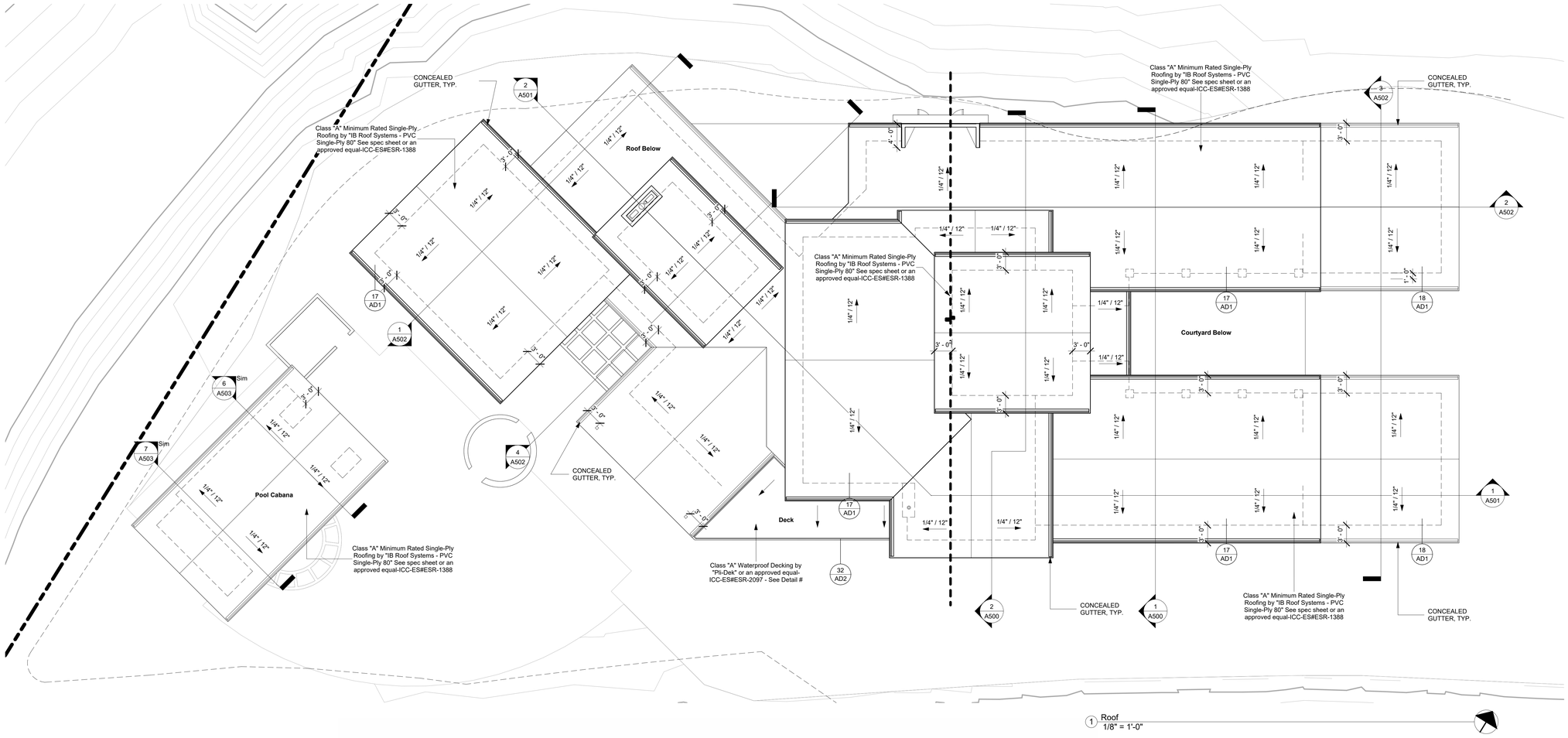

1 Roof
1/8" = 1'-0"

EverGuard® PVC 80 mil

Miami-Dade
(/Roofing/Commercial/Products/Single_Ply_Roofing/EverGuard_PVC_Single_Ply_Membranes/EverGuard_PVC_80_Membrane_Miami-Dade) | Color Options (/Roofing/Commercial/Products/Single_Ply_Roofing/EverGuard_PVC_Single_Ply_Membranes/EverGuard_PVC_80_Membrane_Miami-Dade)

Why PVC

- Heat-welded seams
- White reflective color
- Tear/puncture resistance
- Increased chemical resistance
- Excellent flexibility
- UV and ozone resistance

Why GAF EverGuard® PVC

- GAF has 130+ years of experience in the roofing industry
- Guarantees are available up to 25 years when using EverGuard® PVC 80 mil Smooth Membrane*
- Heat-welded seams for greater reliability
- Easy, three-step installation to reduce the chance of application errors
- High reflectivity for greater energy savings
- Simple repair to reduce your ongoing maintenance costs

Installation

EverGuard® PVC 80 mil Smooth Membrane is suitable for all types of single-ply systems:

- **Mechanically Attached Application...** for a quick and cost-effective system that can be installed practically year-round.
- **Rhinobond® Application...** achieves the look and performance of a fully adhered roof at nearly the cost of a mechanically attached system. Qualifies for the same guarantee length as an adhered system.*
- **Adhered Application...** installed with EverGuard® 2331 Bonding Adhesive (solvent based), which results in a smooth appearance and a low VOC compliant. Provides excellent wind uplift performance and qualifies for the longest guarantee available.*

Accessories

Field fabrication of PVC accessories is time-consuming, costly, and inconsistent, and can lead to unreliable details that compromise a watertight roofing system. EverGuard® PVC prefabricated accessories deliver consistent quality and eliminate the worry and problems often associated with field fabrication. They can also boost productivity up to 200%, ** while reducing installed cost by up to 12%.

Applicable Standards

UL Listed, FM Approved, ASTM D4434, Title 24 Compliant, Miami-Dade County Product Control Approved, Florida Building Code Approved, and ENERGY STAR® Qualified.*

Physical Properties	Test Method	ASTM Minimum	EverGuard® PVC 80 mil Smooth Membrane Typical Test Data
Nominal Thickness	ASTM D751	.047" (1.14 mm)	0.08 in (2 mm)
Thickness over Scrim	ASTM D5635	0.016" (0.40 mm)	0.03 in (0.76 mm)
Breaking Strength	ASTM D751	200 lbf (298 kg/in)(MD & CMD)	> 325 lbf (484 kg/in)
Elongation at Break	ASTM D751	15% (MD & CMD)	25%
Seam Strength	ASTM D751	75% (Percentage of tensile or breaking strength)	Pass
Tear Strength	ASTM D751	45 lbf (MD & CMD) (67 kg/in)	Pass
Low Temperature Bend	ASTM D2136	-40°C	Pass
Accelerated Weathering	ASTM G154	Pass	>28,240 KJ/m2
Dimensional Stability	ASTM D1204	±0.50%	0.30%
Change in Weight after Water Immersion	ASTM D570	+/-3%	Pass
Static Puncture Resistance	ASTM D5602	Pass	Pass
Dynamic Puncture Resistance	ASTM D5635	Pass	Pass
Breaking Strength after Heat Aging	ASTM D2045	90%	Pass
Elongation at Break after Heat Aging	ASTM D2045	90%	Pass
Solar Reflective Index (SRI)	ASTM E903	N/A	110
Solar Reflectivity	ASTM C1549	N/A	0.87
Emissivity	ASTM E903	N/A	0.88

Product Data

Roll Size — **Note: Product sizes, dimensions, and widths are nominal values and are subject to normal manufacturing/packaging tolerance and variation.**

Colors	Full Sheet	Full-Roll Weight	Half Sheet	Half-Roll Weight
White	120" x 100' (3.05 m x 30.5 m)	422.5 lb. (191.6 kg)	60" x 100' (1.52 m x 30.5 m)	213.25 lb. (95.8 kg)

Storage — None. Membranes rolls shipped horizontally on pallets, stacked in a pyramid.

Safety Warning — Membrane rolls are heavy. Position and install by at least two people.

ROOF NOTES :

1. ALL FLAT ROOF SLOPES SHALL BE 1/4" PER FOOT (U.N.O.) ALL DECKS SHALL HAVE A SLOPE OF 1/4" PER FOOT.(FLAT ROOFS SHALL BE "CERTAINTEED" MODEL # FLINTLASTIC GTA-FR COOLSTAR OR AN APPROVED EQUAL. ICC-ES# ESR-1388 - SOLAR REFLECTIVE INDEX OF 92.8 AS TESTED BY ASTM E1980.

2. PROVIDE G.I. GUTTERS AND DOWN SPOUTS AS REQUIRED ON LOCATIONS AS DIRECTED BY OWNER. CONDUCT ALL WATER TO THE STREET VIA A NON-EROSIVE DEVICE. PROVIDE GUTTERS W/ "SMART SCREEN" ALUMINUM GUTTER GUARDS FOR LEAF PROTECTION.

3. PROVIDE DRAFT STOPS OF NOT LESS THAN 1/2" GYPSUM BOARD ON (1) SIDE OF THE TRUSS/RAFTERS/BLOCKING CONTAINED WITHIN THE CONCEALED SPACE OF THE MANSARD ROOF. DRAFT STOPS SHALL ALIGN WITH THE COMMON 1-HOUR UNIT SEPARATION WALLS BELOW.

4. A FIRE RETARDANT ROOF COVERING IS REQUIRED. CLASS "A" MINIMUM RATED ROOF COVERING SHALL BE INSTALLED ON ALL FLAT ROOFS AND SLOPED ROOFS. SHALL BE ICC - ES OR U.L. LISTED AND SHALL COMPLY WITH ASTME 108 OR U.L. 790 AND ATTACHMENT SHALL BE ADEQUATE FOR 85 MPH WIND LOADS.

5. ROOFS SHALL BE UNVENTED PROVIDED THEY COMPLY WITH ROOF ASSEMBLY PER DETAIL #

Keynote Legend	
#	Keynote Text
1	Class "A" Minimum Rated Single-Ply Roofing by "IB Roof Systems - PVC Single-Ply 80" See spec sheet or an approved equal-ICC-ES#ESR-1388

32 / AD2

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www.STOCKTONARCHITECTS.com

Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT — KEN STOCKTON — NO. C18870 — EXP. 1-31-21 — STATE OF CALIFORNIA

Permit Set

Roof Plan

Date	10/20/2021
Drawn By	KSA
Checked By	K. STOCKTON

A202

Scale: As indicated

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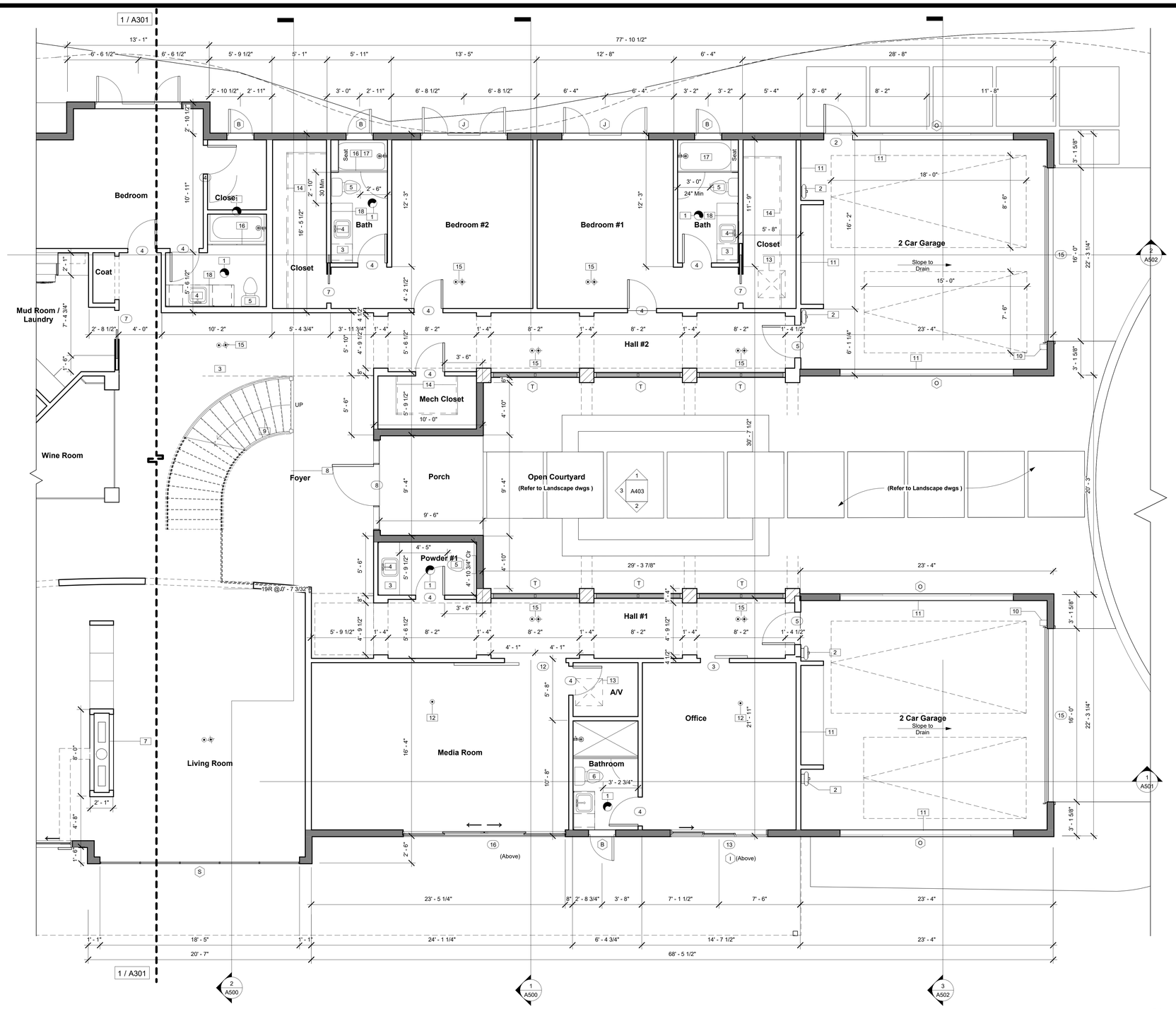
Keynote Legend	
#	Keynote Text
1	Exhaust Fan (Energy Star rated) Vent to outside air (50 cfm) with humidistat controls
2	Future Electric Vehicle charging station provide a minimum 1'" inside diameter listed raceway is installed for each unit to accommodate a 208/240V branch circuit and sufficient conductor sizing plus service capacity to install LEVEL 2 EVSE shall be provided. A label stating EV CAPABLE shall be posted in a conspicuous place at the service panel or subpanel and at the eve charging space (Elect. Eq. Installed per Calif. Electrical Code)
3	24" Deep Lower Cabinets w/ countertop per owner's selection - (See Interior Elevations for Removable Base Cabinet & Finished Floor Extended to Wall Below Location)
4	Lavatory Sink - Verify style with ower-See Sht GN1 for Max Fixture Flow Rate
5	Water Closet: Ultra Low Flush Toilet (See Sht. GN1 for Max Fixture Flow Rate)
6	Water Closet: Dual Flush Toilet (See Sht. GN1 for Max Fixture Flow Rate)
7	Fireplace "Flare-ST-70-E30 / AD2 (1 hour enclosure under stairs)
8	Steel Stair - See Detail # 30,38 / AD2
9	42" high Guardrail - See Detail #
10	Wall Mounted Garage Door Opener by "Lift Master" LM8500 w/ Jackshaft Series
11	5/8" type "X" gypsum board @ all ceilings, walls & dropped beams per 1-hour fire resistive construction
12	Smoke Detectors-Hardwired w/ battery backup and low battery signal
13	Attic Access 30" x 30" - Attic area to have a clear headroom of 30"
14	Shelf & Pole
15	Combination Smoke/Carbon Monoxide alarm hard-wired w/ battery backup (Interconnected in a manner that activation of one alarm shall activate all alarms in the unit
16	Shatter Resistant enclosure
17	Tub: 36"x60"-Verify Style, Make, & Model with owner
18	Mirror per owner's selection



1 Level 1 Partial Plan a
1/4" = 1'-0"

See Sheet #A600 for Reflected Ceiling Plan

LEGEND
- Smoke Detector
- Carbon Monoxide Detector
- Exhaust Fan

WALL LEGEND

-
- Denotes 2x4 Typical Interior Walls
- Denotes 2x6 Typical Interior Walls
- Denotes 2x6 Typical Exterior Walls - See Details # 3, 4 & 5 / AD1

Note: Listed decorative appliance for installation in a vented fireplace or vented gas fireplaces shall be installed in accordance w/ their listing and mannufacturer's instructions.

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www.STOCKTONARCHITECTS.COM

Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon
Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

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LICENSED REPRESENTATIVE

LICENSED ARCHITECT KEN STOCKTON NO. C18670 EXP. 11-31-21 STATE OF CALIFORNIA

Permit Set

1st Story Partial Plan A

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A300

Scale: As indicated

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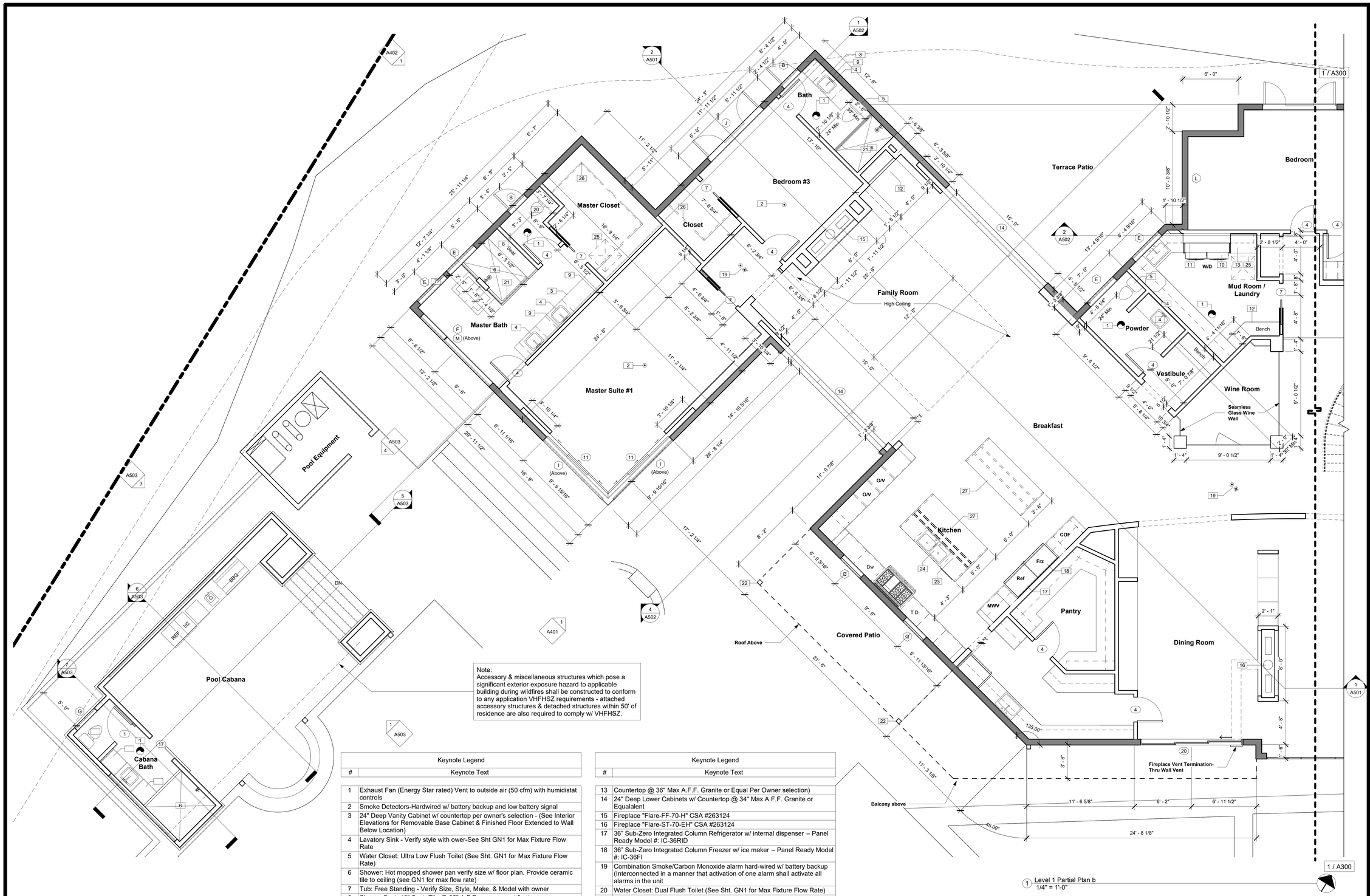

1 Level 1 Partial Plan b
1/4" = 1'-0"

Note:
Accessory & miscellaneous structures which pose a significant exterior exposure hazard to applicable building during wildfires shall be constructed to conform to any application VHFHSZ requirements - attached accessory structures & detached structures within 50' of residence are also required to comply w/ VHFHSZ.

Keynote Legend	
#	Keynote Text
1	Exhaust Fan (Energy Star rated) Vent to outside air (50 cfm) with humidistat controls
2	Smoke Detectors-Hardwired w/ battery backup and low battery signal
3	24" Deep Vanity Cabinet w/ countertop per owner's selection - (See Interior Elevations for Removable Base Cabinet & Finished Floor Extended to Wall Below Location)
4	Lavatory Sink - Verify style with ower-See Sht GN1 for Max Fixture Flow Rate
5	Water Closet: Ultra Low Flush Toilet (See Sht. GN1 for Max Fixture Flow Rate)
6	Shower: Hot mopped shower pan verify size w/ floor plan. Provide ceramic tile to ceiling (see GN1 for max flow rate)
7	Tub: Free Standing - Verify Size, Style, Make, & Model with owner
8	Shower Seat: 16" Seat: Tile @ 22" A.F.F. over cement float
9	Wall mounted Mirror above bathroom countertop (Splash)
10	Side-by-Side Washer&Dryer: Washer Space w/pan & drain (LG WM2250CW 3.6cu.ft. Extra Large Capacity Front Loading) Dryer Space- Vent to outside air thru ext.wall OR Roof & Flash as required (Model#LG DLGX3371W 7.4CU.FT. Ultra Large Capacity Dryer) (Energy Star Rated, If unit is provided)
11	12" Deep Upper Cabinets w/ 2x solid backing
12	Built-in cabinetry and/or shelving per owner's selection

Keynote Legend	
#	Keynote Text
13	Countertop @ 36" Max A.F.F. Granite or Equal Per Owner selection)
14	24" Deep Lower Cabinets w/ Countertop @ 34" Max A.F.F. Granite or Equalalent
15	Fireplace "Flare-FF-70-H" CSA #263124
16	Fireplace "Flare-ST-70-EH" CSA #263124
17	36" Sub-Zero Integrated Column Refrigerator w/ internal dispenser – Panel Ready Model #: IC-36RID
18	36" Sub-Zero Integrated Column Freezer w/ ice maker – Panel Ready Model #: IC-36FI
19	Combination Smoke/Carbon Monoxide alarm hard-wired w/ battery backup (Interconnected in a manner that activation of one alarm shall activate all alarms in the unit
20	Water Closet: Dual Flush Toilet (See Sht. GN1 for Max Fixture Flow Rate)
21	Shatter Resistant enclosure
22	Steel Post as Per Structural Drawings
23	24" Miele Fully-integrated dishwasher Model #: G6665 SCVi AM (next to main sink)
24	Double Sink with Garbage Disposal-verify style with owner (See Sht. GN1 for max flow rate)
25	Attic Access 30" x 30" - Attic area to have a clear headroom of 30"
26	Shelf & Pole
27	42" high breakfast bar with wood countertop

See Sheet #A601 for Reflected Ceiling Plan

LEGEND
- Smoke Detector
- Carbon Monoxide Detector
- Exhaust Fan

WALL LEGEND

-
- Denotes 2x4 Typical Interior Walls
- Denotes 2x6 Typical Interior Walls
- Denotes 2x6 Typical Exterior Walls - See Details # 3, 4 & 5 / AD1

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www.STOCKTONARCHITECTS.COM

Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT KEN STOCKTON NO. C18870 EXP. 1-31-21 STATE OF CALIFORNIA

Permit Set

1st Story Partial Plan B

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A301

Scale: As indicated

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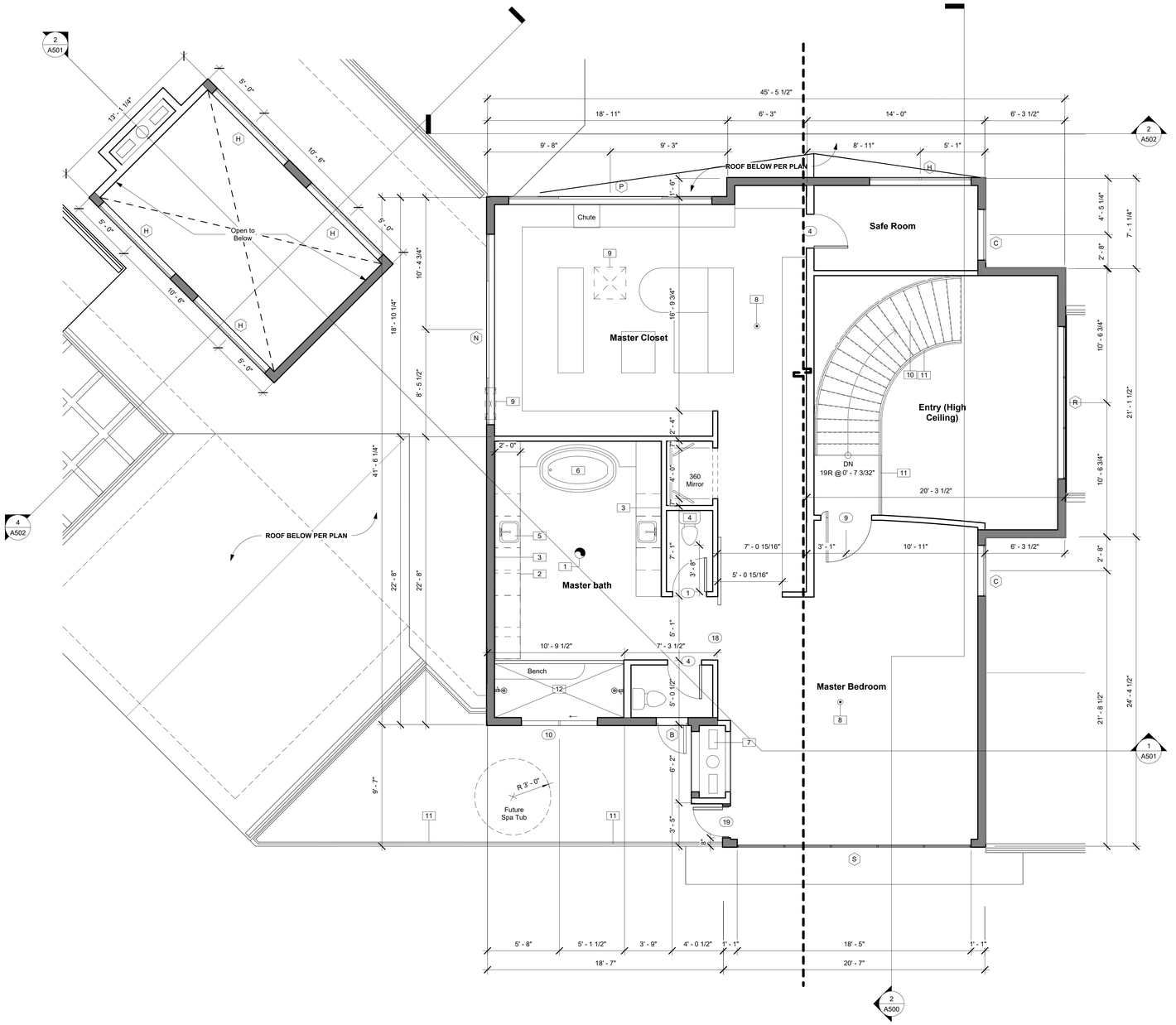

1 Level 2 Partial Plan c
1/4" = 1'-0"

See Sheet #A602 for Reflected Ceiling Plan

LEGEND

- Smoke Detector
- Carbon Monoxide Detector
- Exhaust Fan

WALL LEGEND

-

Denotes 2x4 Typical Interior Walls

Denotes 2x6 Typical Interior Walls

Denotes 2x6 Typical Exterior Walls - See Details # 3, 4 & 5 / AD1

Keynote Legend	
#	Keynote Text
1	Exhaust Fan (Energy Star rated) Vent to outside air (50 cfm) with humidistat controls
2	22" Deep Vanity Cabinet w/ countertop per owner's selection
3	Wall mounted Mirror above bathroom countertop (Splash)
4	Water Closet: Ultra Low Flush Toilet (See Sht. GN1 for Max Fixture Flow Rate)
5	Lavatory Sink - Verify style with ower-See Sht GN1 for Max Fixture Flow Rate
6	Built-in Tub: Verify Size, Style, Make, & Model with owner
7	Fireplace "Montebello DLX45" Direct Vent Complies to CSA 9.4.1-2015 & PFS Report # F14-106
8	Smoke Detectors-Hardwired w/ battery backup and low battery signal
9	Attic Access 30" x 30" - Attic area to have a clear headroom of 30"
10	Steel Stair - See Detail #30 / AD2 (1 hour enclosure under stairs)
11	42" high Guardrail - See Detail #30,38 / AD2
12	Shower: Hot mopped shower pan verify size w/ floor plan. Provide ceramic tile to ceiling (see GN1 for max flow rate)

COMBUSTION AIR CALCULATION

The required volume in accordance with CMC Section 701.4 (for gas appliance in bedroom) 50 C.F. min. per 1,000 BTU/HR is required. Gas fireplace unit has max 57,000 BTU/HR rating.

(57,000 / 1000) x 50 = 2850 C.F. (Min)

Bedroom Volume = 4,086.5 C.F.

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Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

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LICENSED ARCHITECT KEN STOCKTON NO. C18870 EXP. 1-31-21 STATE OF CALIFORNIA

Permit Set

2nd Story Partial Plan C

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A302

Scale: As indicated

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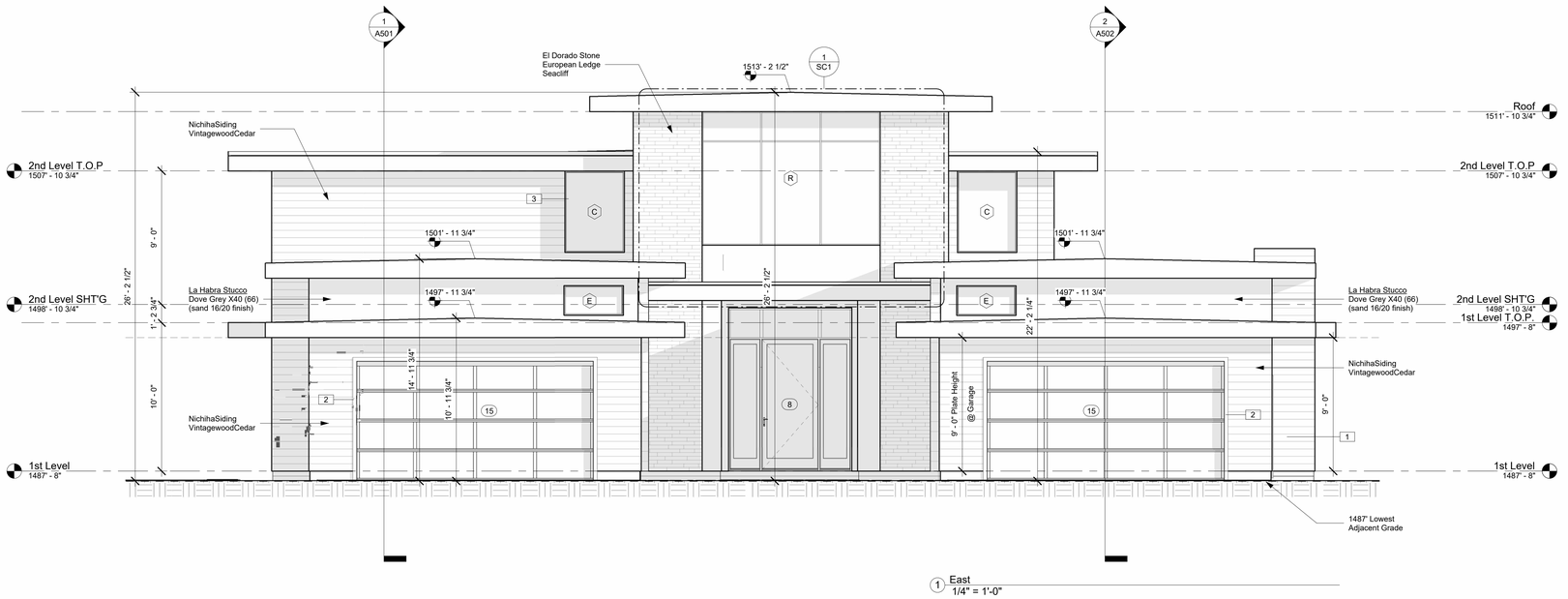
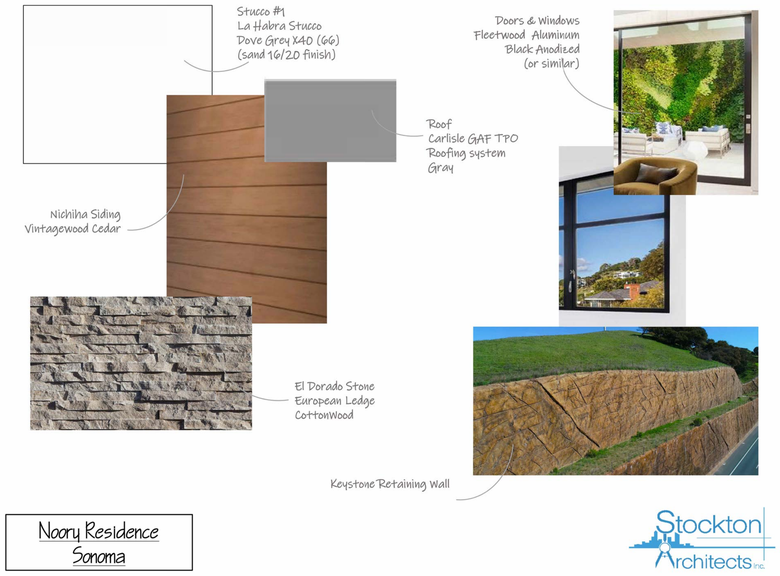


1 East
1/4" = 1'-0"

Keynote Legend	
#	Keynote Text
1	Hardieplank Lap Siding "Select Cedarmill" (Cementitious Siding) ICC-ES#ESR-2290 or an approved equal-Typical
2	2x Trim @ all windows and doors- See Elevation for locations - See Detail #
3	Flash all windows and doors-typ - See Detail #



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Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon
Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

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LICENSED REPRESENTATIVE

LICENSED ARCHITECT
KEN STOCKTON
NO. C18870
EXP. 1-31-21
STATE OF CALIFORNIA

Permit Set

Elevations

Date	10/20/2021
Drawn By	KSA
Checked By	K. STOCKTON

A400

Scale 1/4" = 1'-0"

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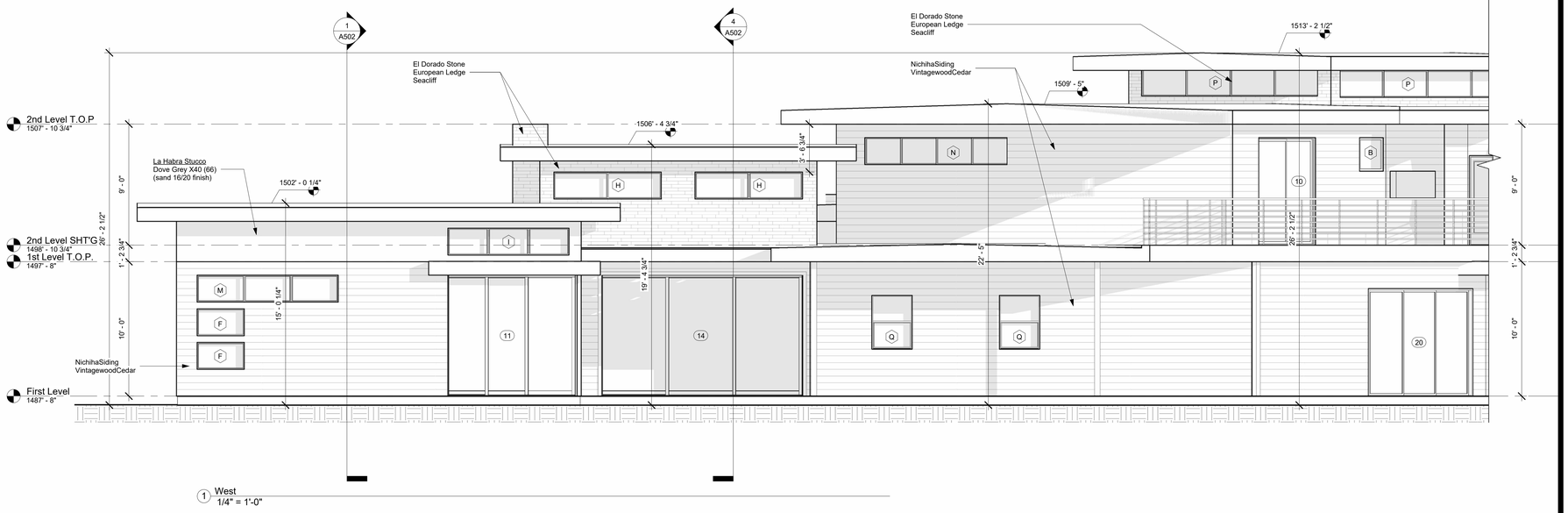

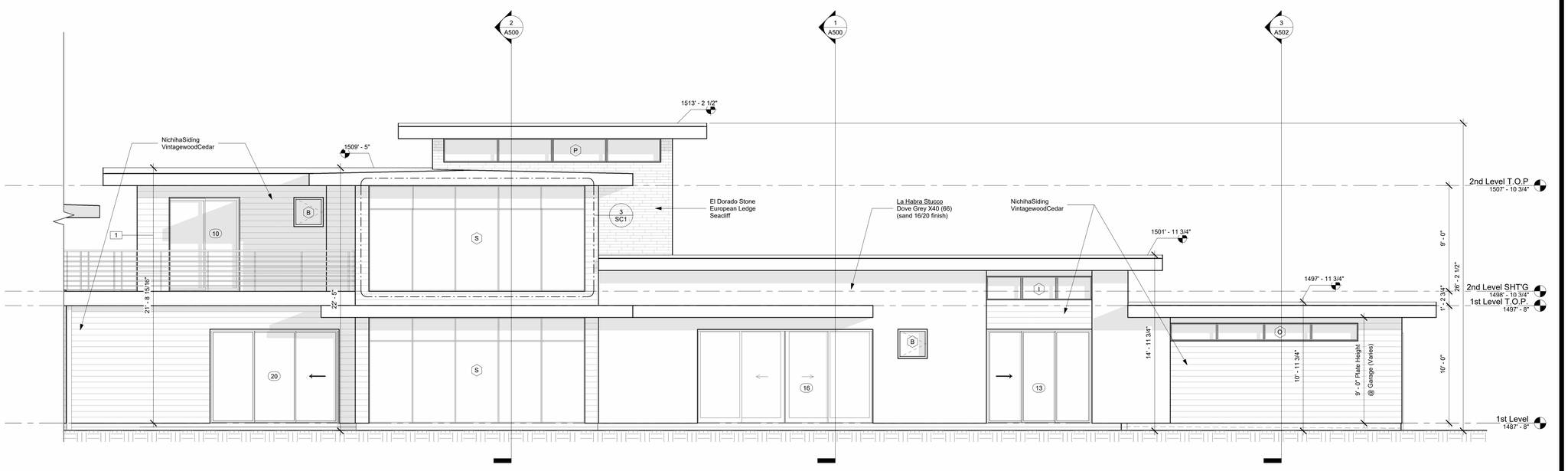

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San Fernando, CA 91340
(818) 832-1710

MEP
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216 S Jackson St, Suite 101
Glendale, CA 91205
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LICENSED ARCHITECT
KEN STOCKTON
NO. C18810
EXP. 1-31-21
STATE OF CALIFORNIA

Permit Set

Elevations

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A401

Scale 1/4" = 1'-0"

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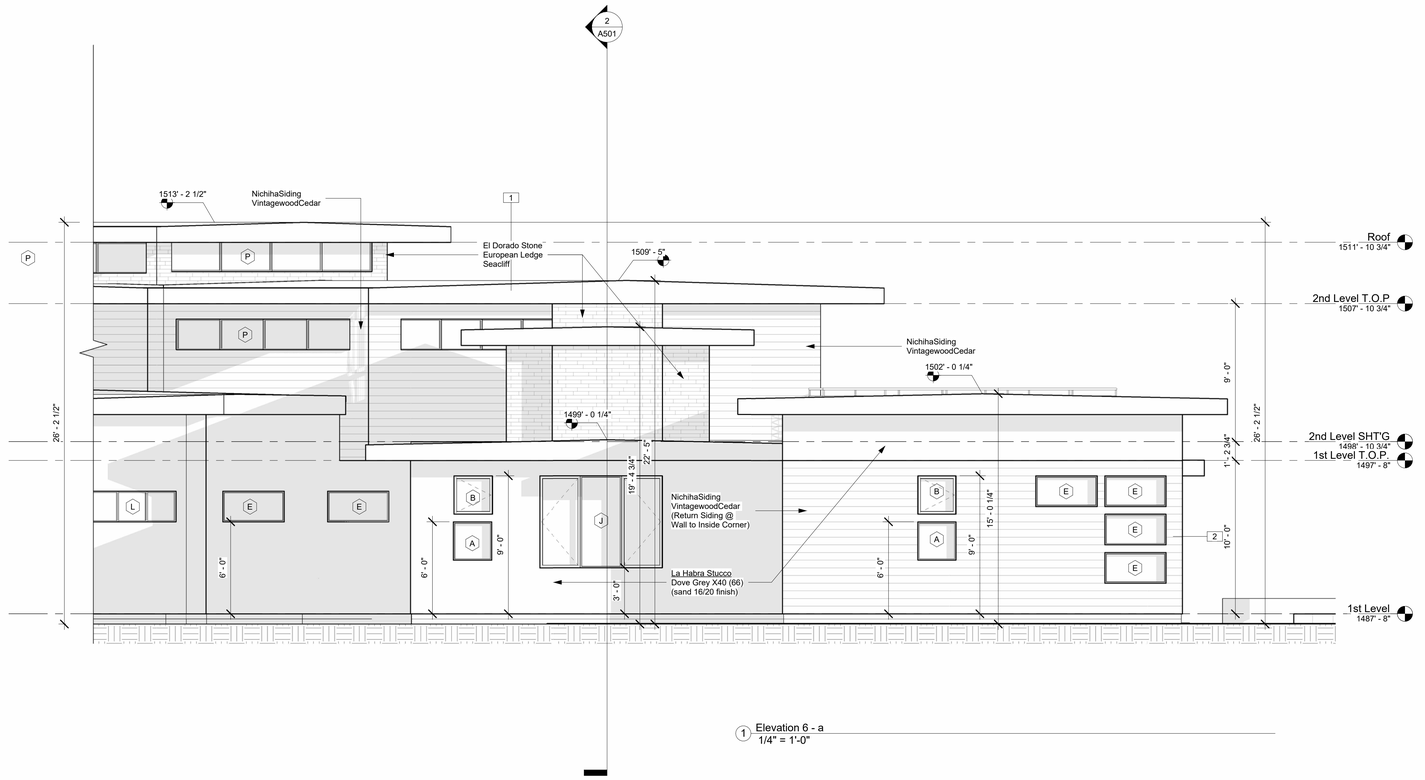
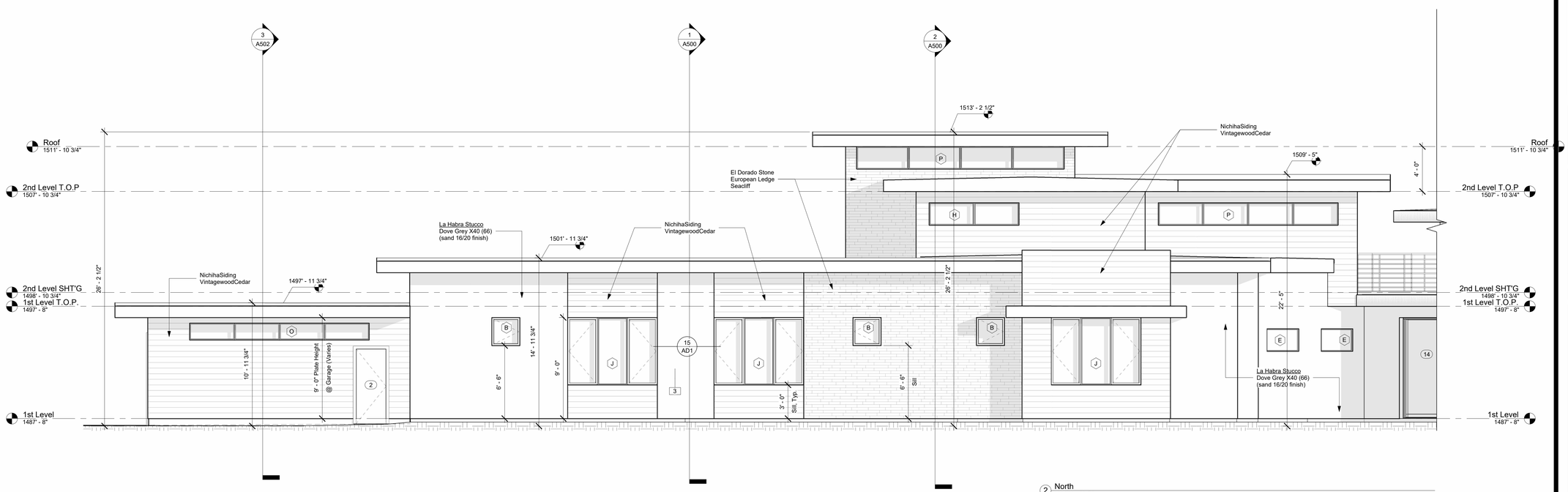


1 Elevation 6 - a
1/4" = 1'-0"

Keynote Legend	
#	Keynote Text
1	Hardieplank Lap Siding "Select Cedarmill" (Cementitious Siding) ICC-ES#ESR-2290 or an approved equal-Typical 4 / AD1
2	Flash all windows and doors-typ - See Detail #
3	- See Details #19-29 / AD1 33 / AD2



2 North
1/4" = 1'-0"

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Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon
Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT KEN STOCKTON NO. C18870 EXP. 1-31-21 STATE OF CALIFORNIA

Permit Set

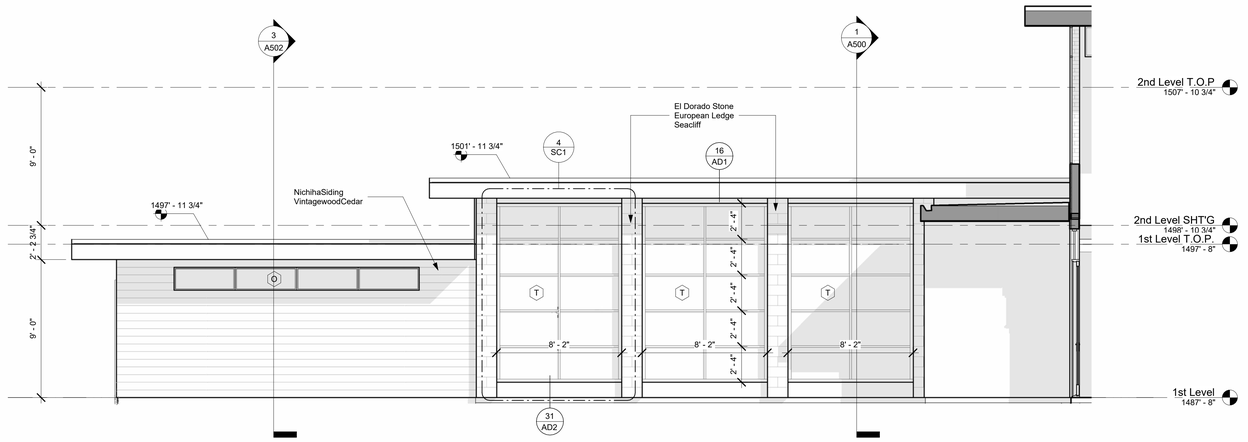
Elevations

Date	10/20/2021
Drawn By	Author
Checked By	Checker

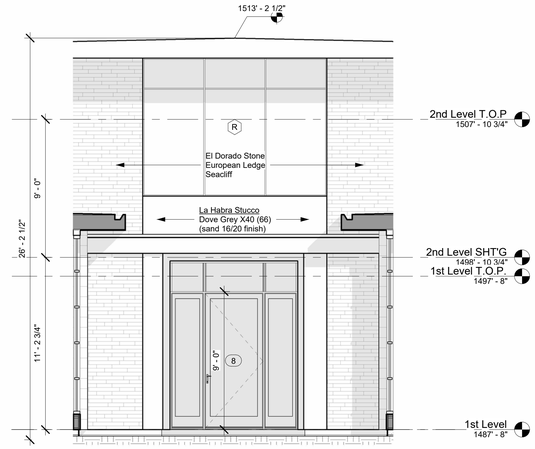
A402

Scale 1/4" = 1'-0"

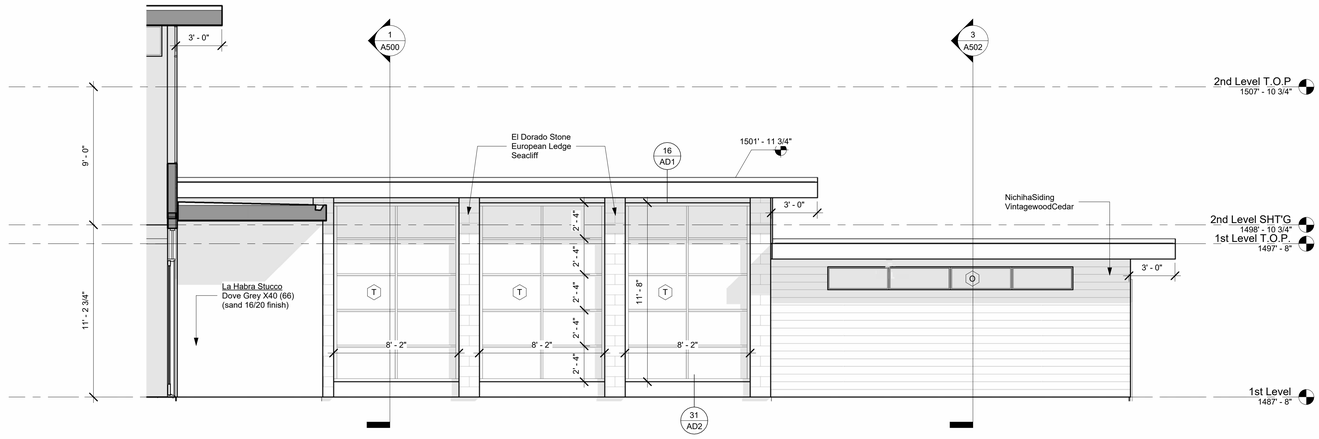
4/11/2022 3:36:18 PM



2 Courtyard South Elevation
1/4" = 1'-0"



3 Courtyard Entry Elevation
1/4" = 1'-0"



1 Courtyard North
1/4" = 1'-0"

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Calabasas, CA 91302
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Architect
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Calabasas, CA 91302
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595 W. Lambert Rd. #104
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Susan Mc Eowen
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Castaic, Ca. 91384
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Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

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Permit Set

Elevations

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A403

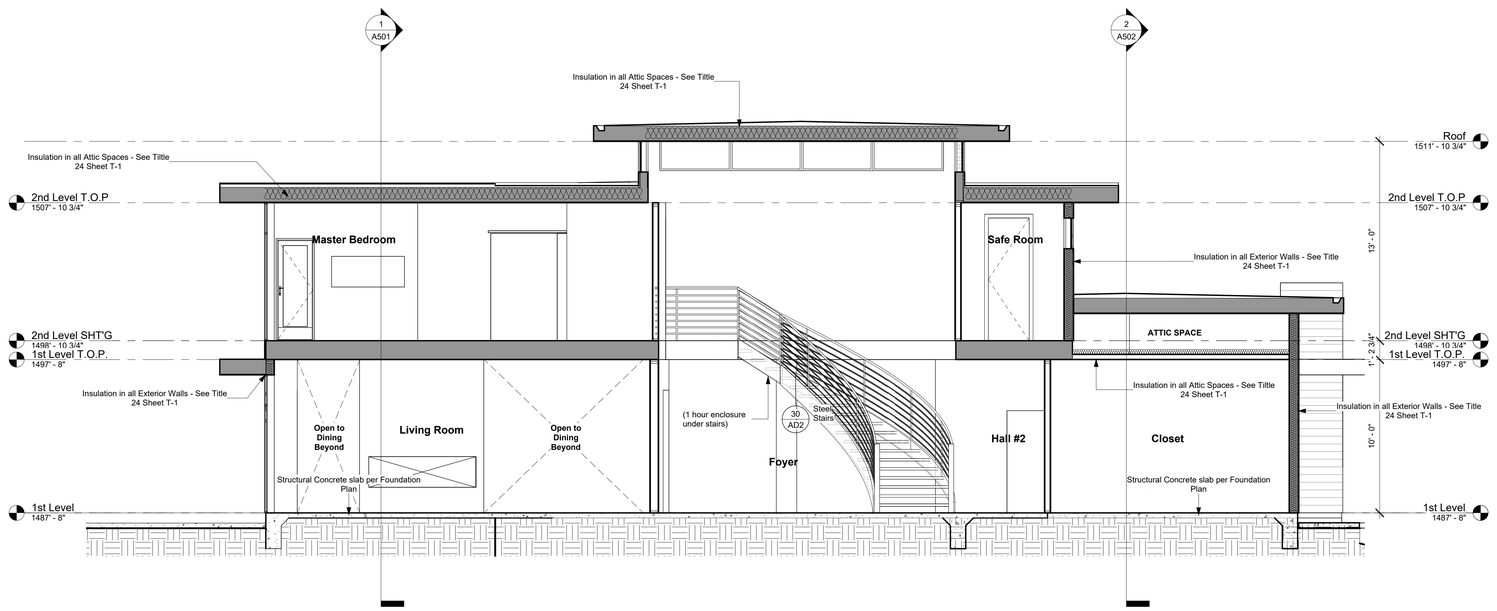
Scale 1/4" = 1'-0"

4/11/2022 3:36:25 PM

1 Cross Section
1/4" = 1'-0"

NOTE:

Provide 30" min. clr. head height above all attic access panels.



2 Cross Section
1/4" = 1'-0"

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Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon
Cold Creek Road

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Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

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595 W. Lambert Rd. #104
Brea, Ca. 92821
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Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT KEN STOCKTON NO. C18870 EXP. 1-31-21 STATE OF CALIFORNIA

Permit Set

Building Sections

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A500

Scale 1/4" = 1'-0"

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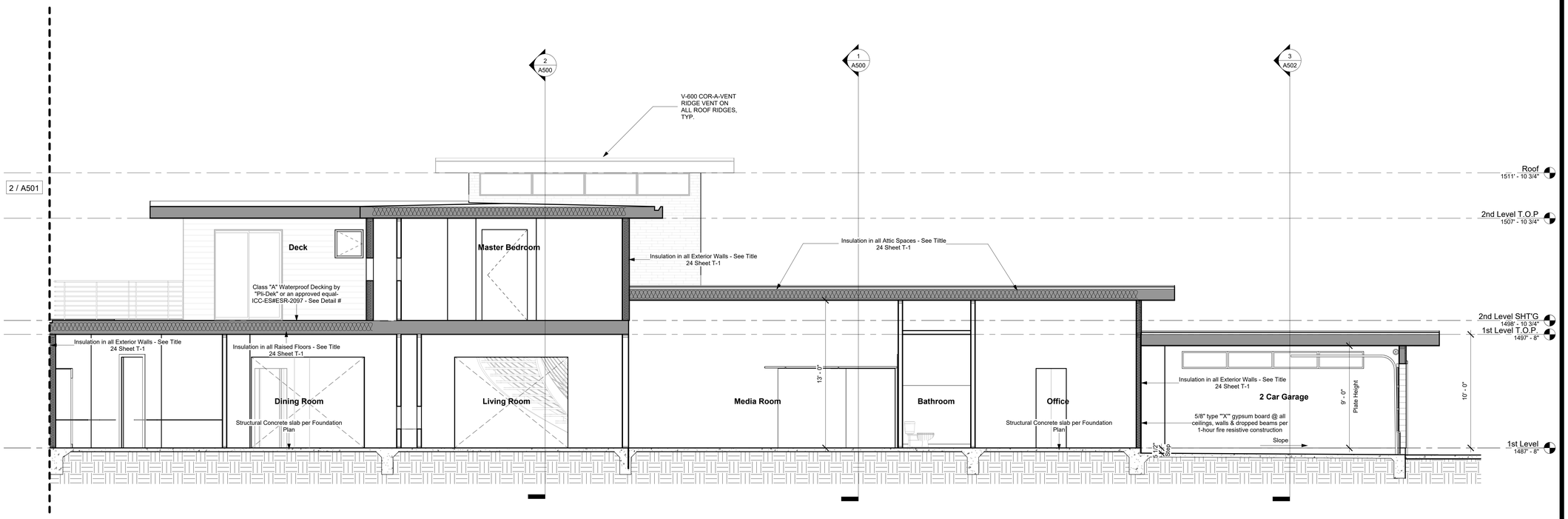
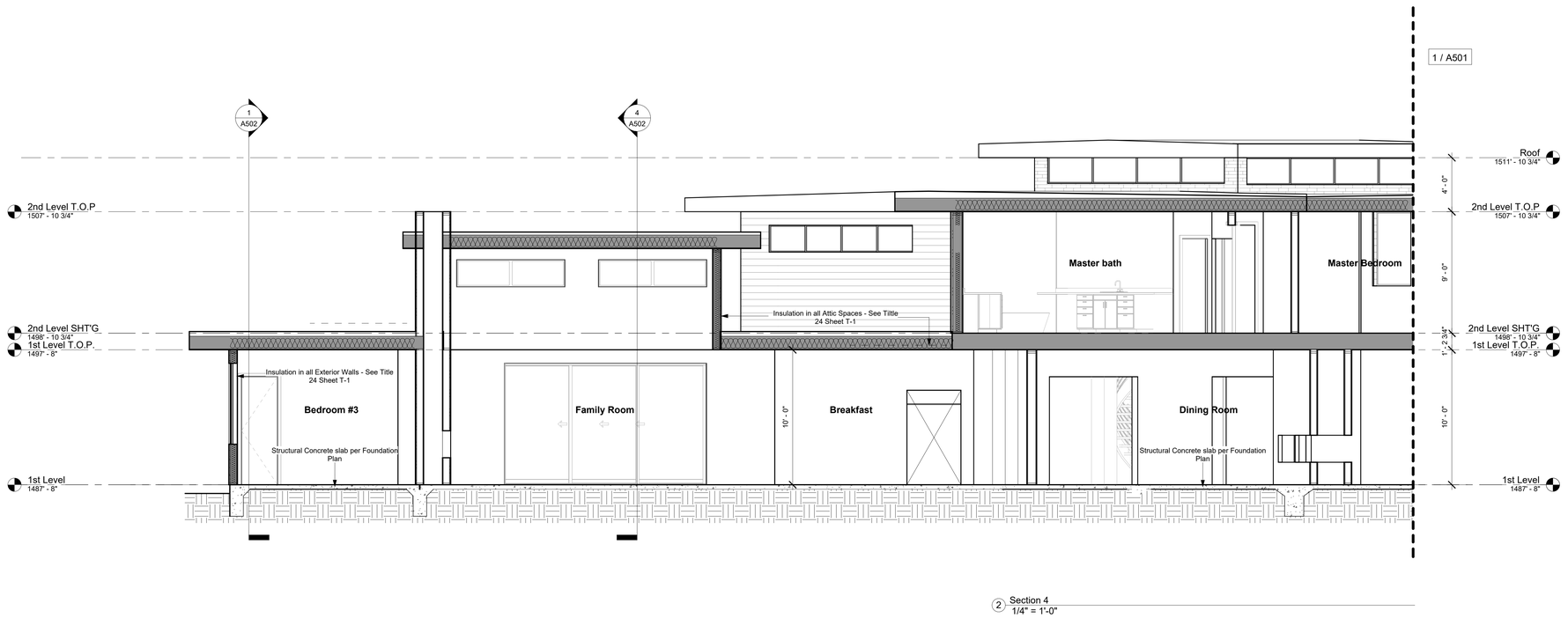


1 Longitudinal Section
1/4" = 1'-0"

NOTE:

Provide 30" min. clr. head height above all attic access panels.



2 Section 4
1/4" = 1'-0"

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Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon
Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

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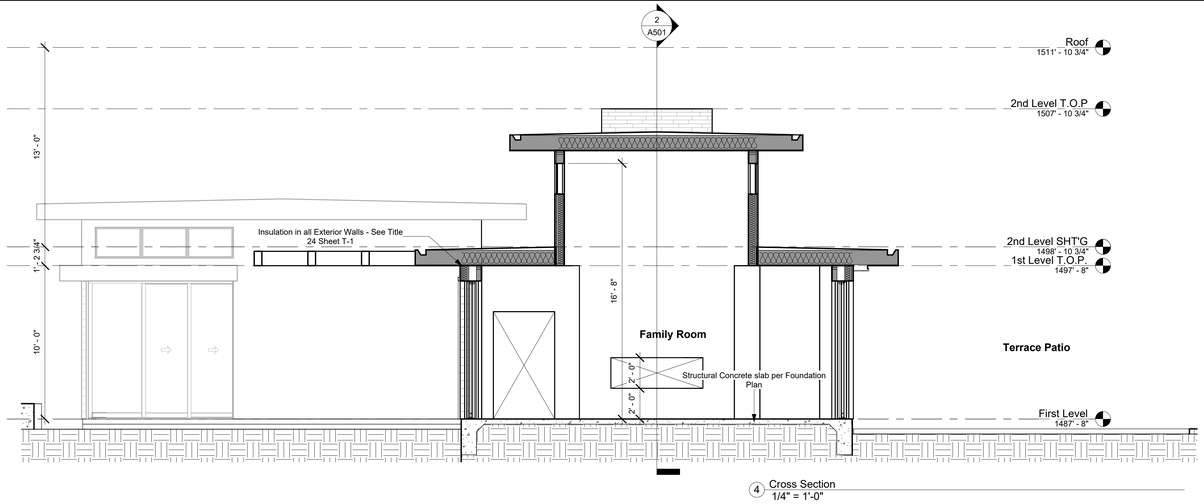
Building Sections

Date	10/20/2021
Drawn By	Author
Checked By	Checker

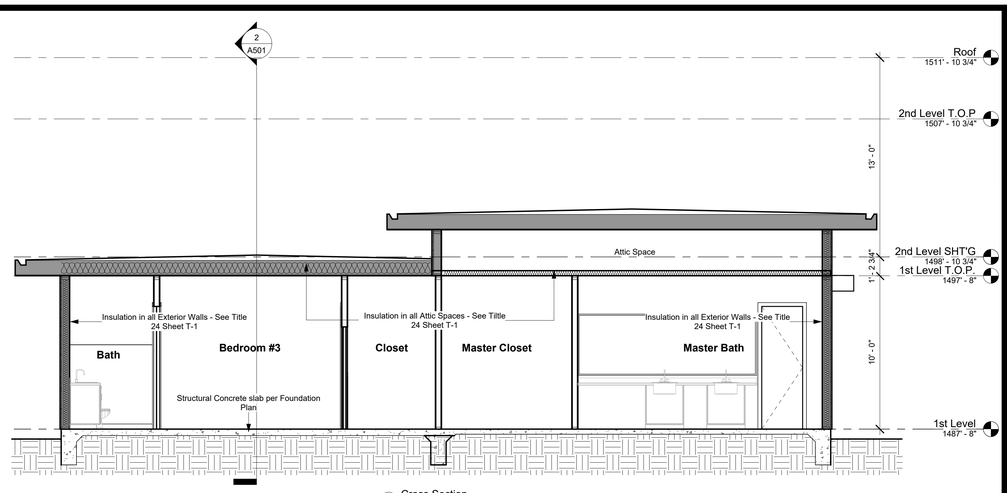
A501

Scale 1/4" = 1'-0"

4/11/2022 3:36:29 PM



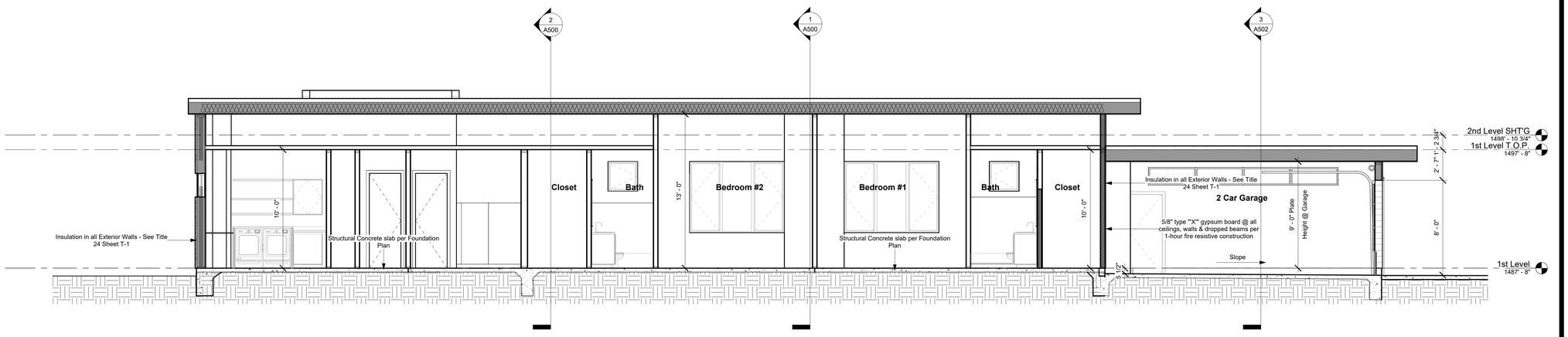
4 Cross Section
1/4" = 1'-0"



1 Cross Section
1/4" = 1'-0"

NOTE:

Provide 30" min. clr. head height above all attic access panels.



2 Longitudinal Section
1/4" = 1'-0"

3 Cross Section
1/4" = 1'-0"

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Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

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Permit Set

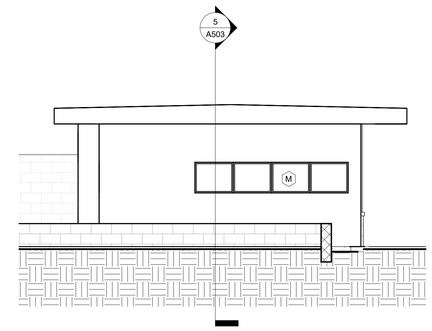
Building Sections

Date	10/20/2021
Drawn By	Author
Checked By	Checker

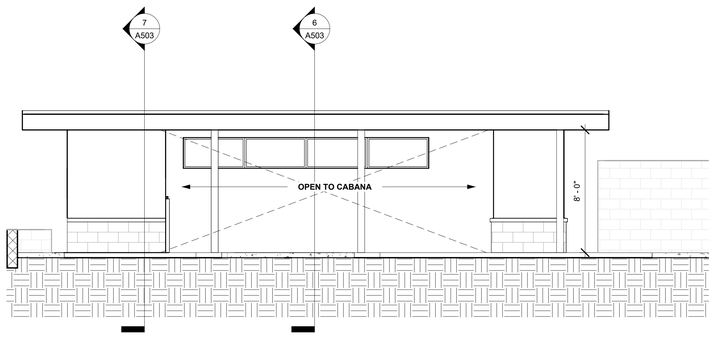
A502

Scale 1/4" = 1'-0"

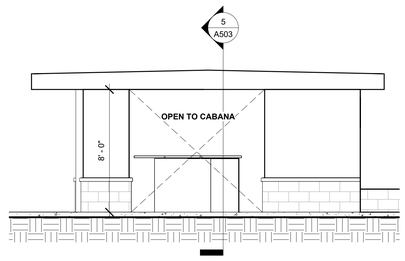
4/11/2022 3:36:32 PM



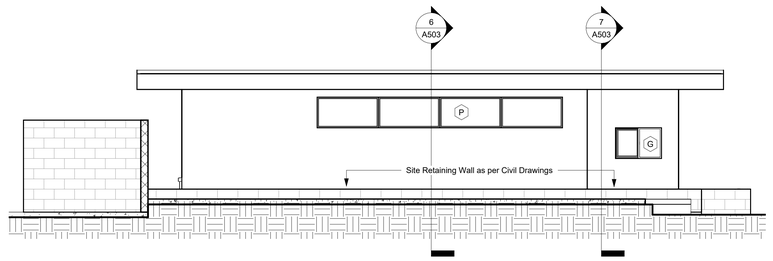
2 Left Elevation
1/4" = 1'-0"



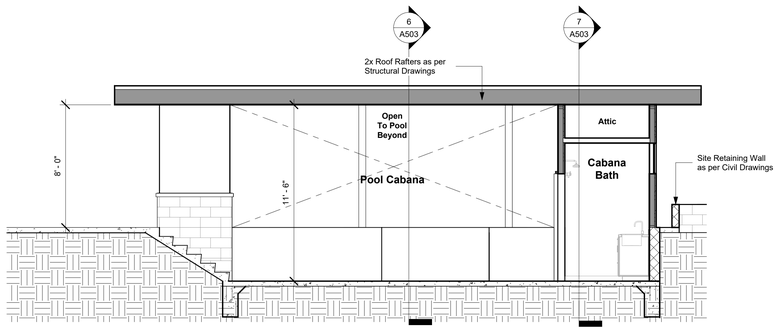
1 Front Elevation
1/4" = 1'-0"



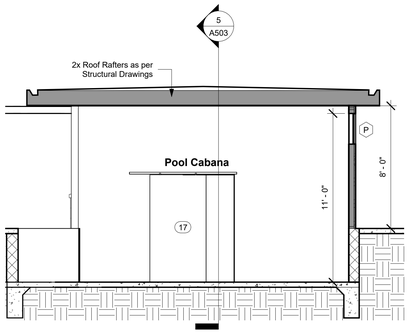
4 Right Elevation
1/4" = 1'-0"



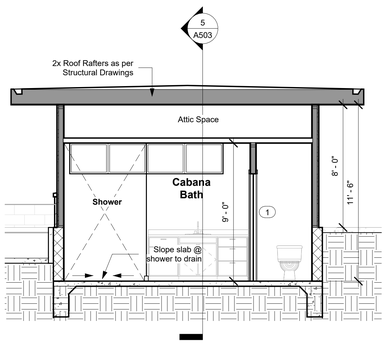
3 Rear Elevation
1/4" = 1'-0"



5 Section At Pool Cabana
1/4" = 1'-0"



6 Section At Pool Cabana
1/4" = 1'-0"



7 Section At Pool Cabana
1/4" = 1'-0"

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www.STOCKTONARCHITECTS.com

Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
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Date	Description	Issued to

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Permit Set

Elevations/ Sections- Cabana

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A503

Scale 1/4" = 1'-0"

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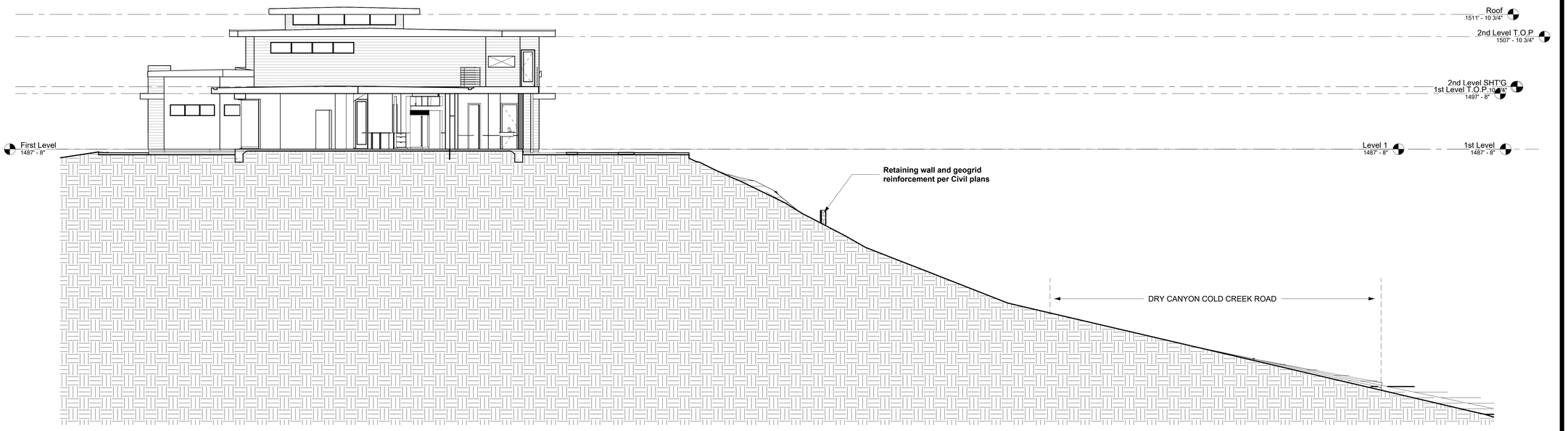
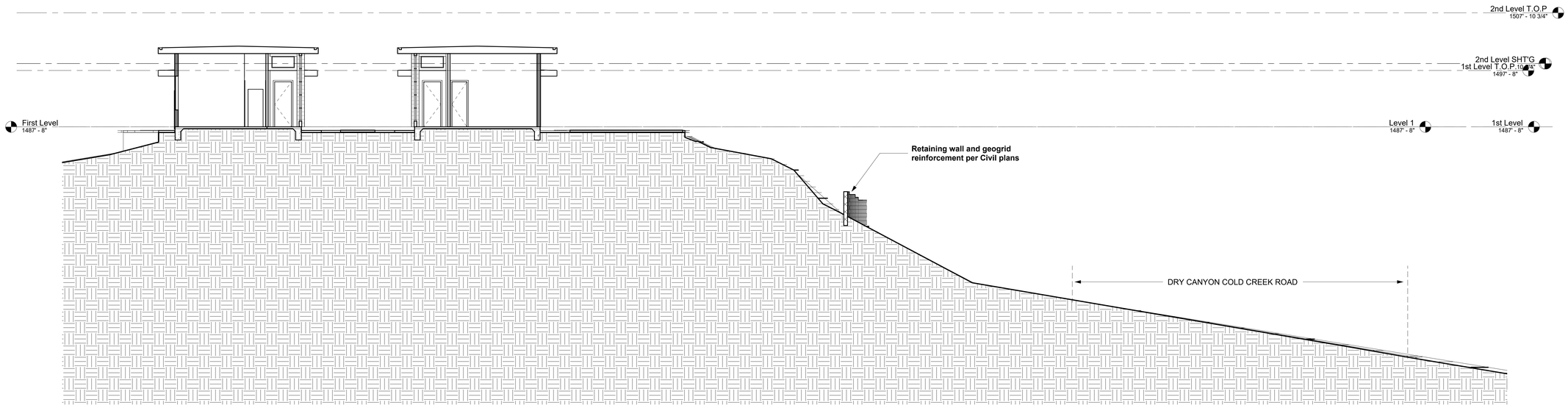


1 Site Section 1
1/8" = 1'-0"



2 Site Section 2
1/8" = 1'-0"

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Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

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KEN STOCKTON
NO. C18810
EXP. 1-31-23
STATE OF CALIFORNIA

Permit Set

Site Sections

Date	10/20/2021
Drawn By	Author
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A505

Scale 1/8" = 1'-0"

4/11/2022 3:36:35 PM

Rendered View Driveway Entrance

Rendered View Driveway Entrance

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Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
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Architect
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KEN STOCKTON
NO. C18870
EXP. 1-31-21
STATE OF CALIFORNIA

Permit Set

3D Renderings

Date	10/20/2021
Drawn By	Author
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A700

Scale

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Dry Canyon Cold Creek Aerial Rendering

Rendered View from Mullholland

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Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

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24101 Dry Canyon Cold Creek Road

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Calabasas, CA 91302
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Civil Engineer
Forma Engineering
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San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

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3D Renderings

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A701

Scale

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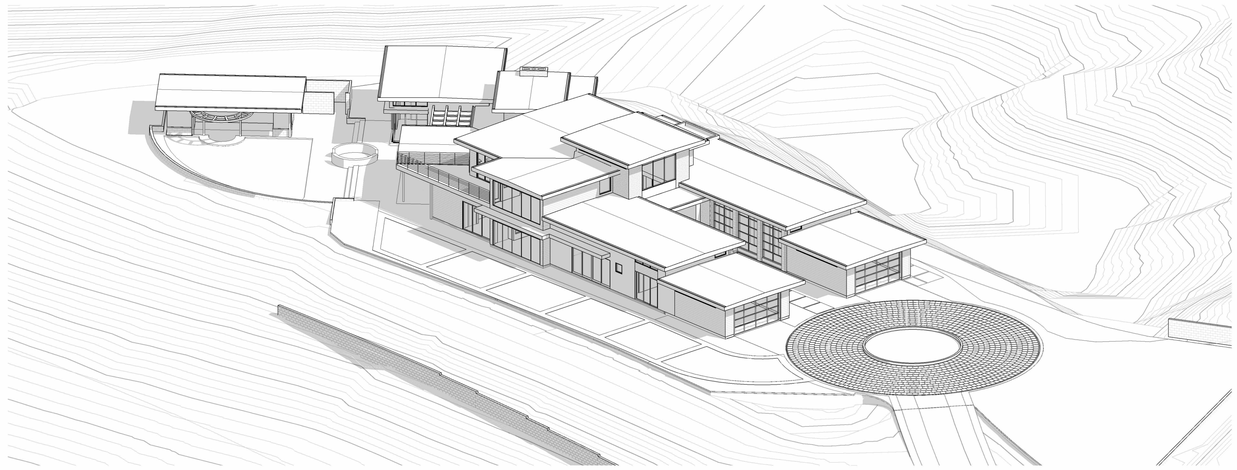
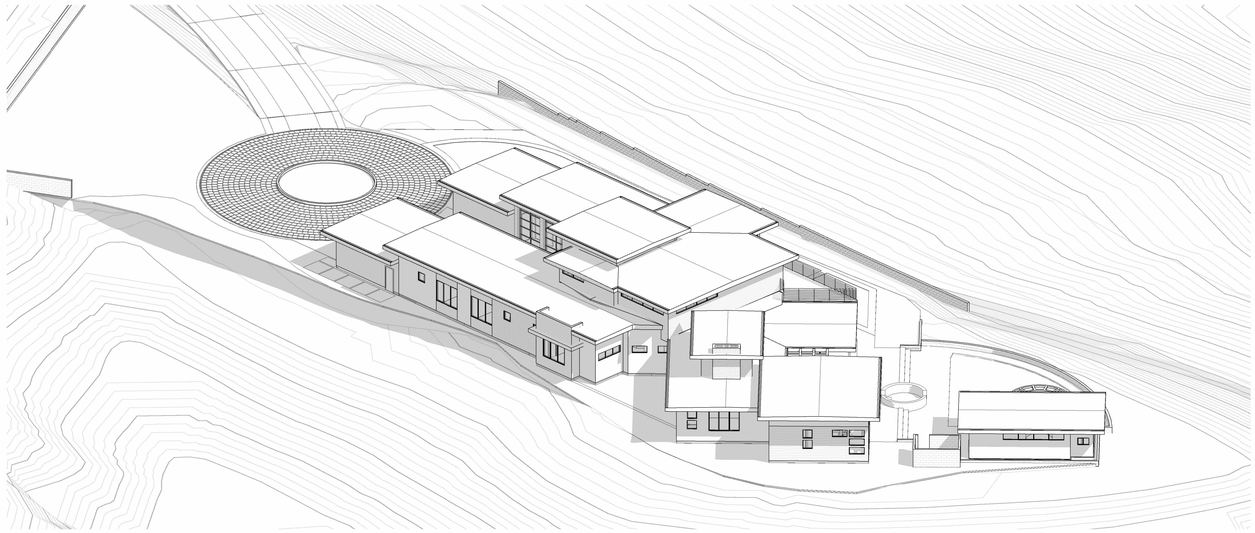


1 3D View 1



2 3D View 2

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Calabasas, CA 91302
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MEP
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14428 Hamlin St #200
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(818) 944-8895

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KEN STOCKTON
NO. C18310
EXP. 1-31-21
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3D Views

Date	10/20/2021
Drawn By	KSA
Checked By	K. STOCKTON

A800

Scale

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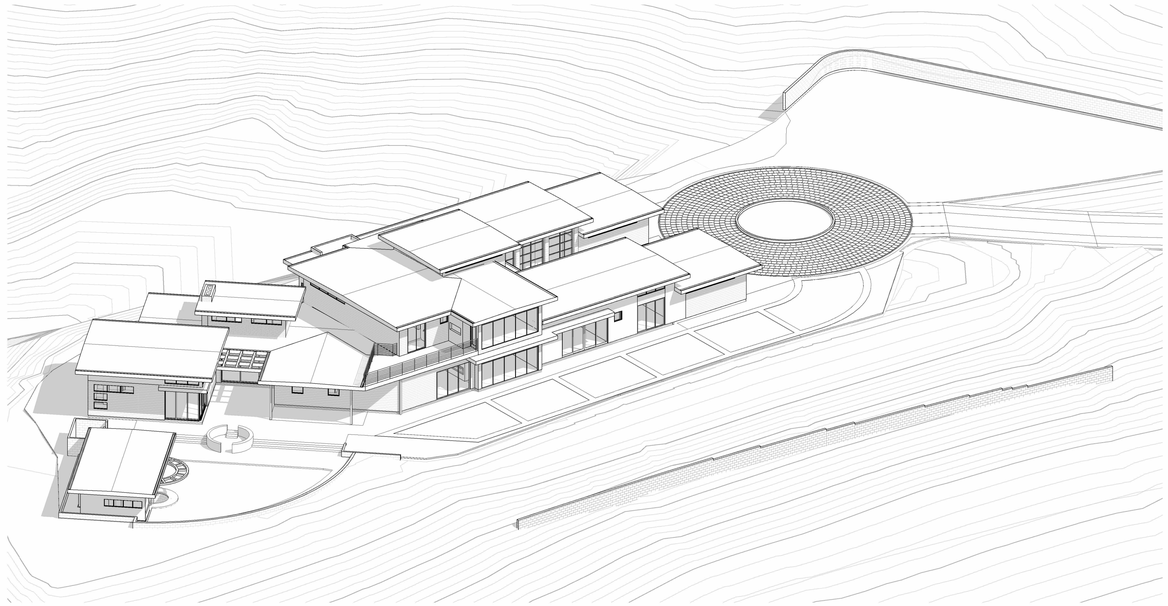

1 3D View 3

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Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

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14428 Hamlin St #200
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KEN STOCKTON
NO. C18310
EXP. 1-31-21
STATE OF CALIFORNIA

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3D Views

Date	10/20/2021
Drawn By	KSA
Checked By	K. STOCKTON

A801

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4/11/2022 3:37:04 PM

1 3D View 5

2 3D View 6

4 3D View 7

3 3D View 8

Stockton Architects Inc.

www.STOCKTONARCHITECTS.com

Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon
Cold Creek Road

Consultants

Architect
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Calabasas, CA 91302
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(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT
KEN STOCKTON
NO. C18310
EXP. 1-31-21
STATE OF CALIFORNIA

Permit Set

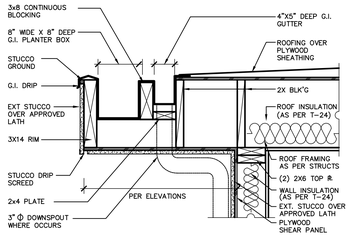
3D Views

Date	10/20/2021
Drawn By	Author
Checked By	Checker

A802

Scale

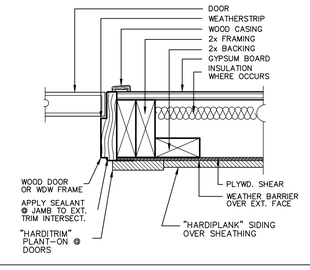
4/11/2022 3:37:16 PM



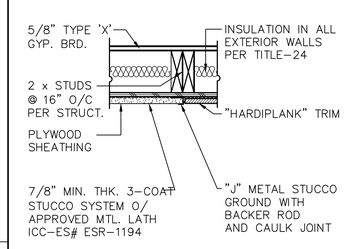
26 ROOF PENETRATION
SCALE: NONE

21
SCALE: NONE

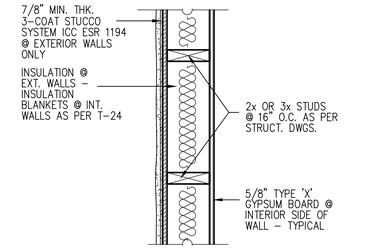
16 EAVE / GUTTER DETAIL
SCALE: 1" = 1'-0"



11 DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



6 STUCCO TO SIDIING
SCALE: 1 1/2" = 1'-0"

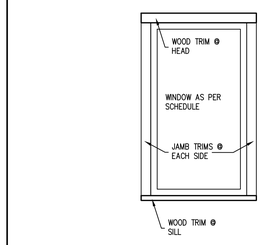


1 STUCCO WALL DETAIL
SCALE: 1 1/2" = 1'-0"

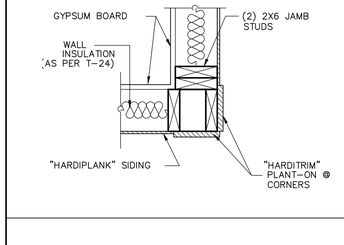
27 ROOF EAVE ISOMETRIC
SCALE: NONE

22 VALLEY DETAIL
SCALE: NONE

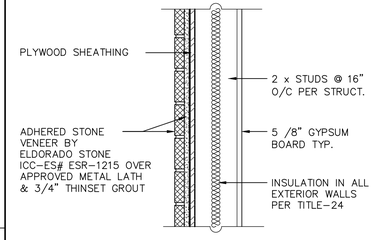
17 SOFFIT @ SIDING EAVE
SCALE: 1 1/2" = 1'-0"



12 WINDOW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



7 SIDING @ EXT CORNER
SCALE: 1 1/2" = 1'-0"

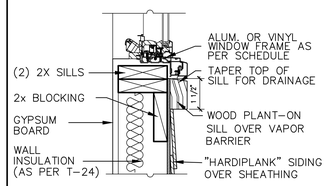


2 VENEER WALL DETAIL
SCALE: 1 1/2" = 1'-0"

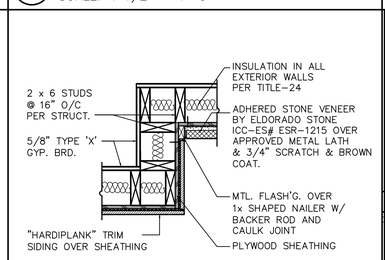
28 ROOF VALLEY ISOMETRIC
SCALE: NONE

23 ROOF RAKE DETAIL
SCALE: NONE

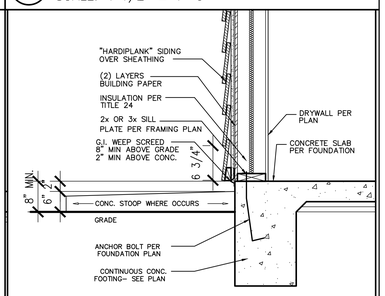
18 ROOF EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



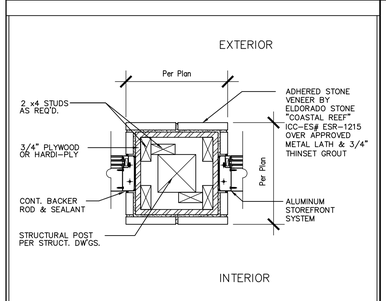
13 WALL FLASHING DETAIL
SCALE: 1 1/2" = 1'-0"



8 SIDING @ INSIDE CORNER
SCALE: 1 1/2" = 1'-0"



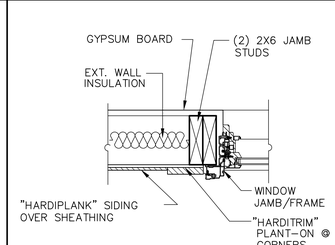
3 GI WEEP SCREED @ STUCCO
SCALE: 1 1/2" = 1'-0"



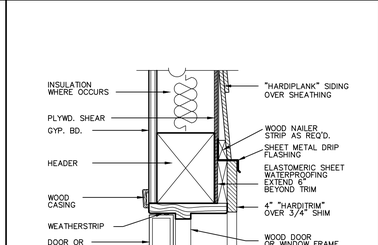
30 BOXED COLUMN TO WINDOW
SCALE: NONE

25 ROOF TRANSITION DETAIL
SCALE: NONE

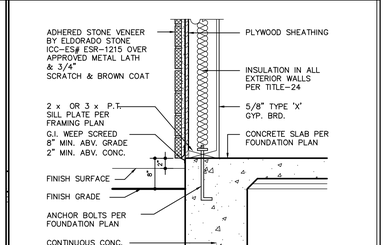
20 EAVE DETAIL W/ GUTTER
SCALE: NONE



15 WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



10 DOOR HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



5 GI WEEP SCREED @ VENEER
SCALE: 1 1/2" = 1'-0"

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LICENSED REPRESENTATIVE

LICENSED ARCHITECT
KEN STOCKTON
NO. C18870
EXP. 1-31-21
STATE OF CALIFORNIA

Permit Set

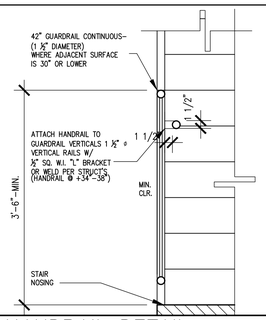
Architectural Details

Date	Issue Date
Drawn By	KSA
Checked By	K. STOCKTON

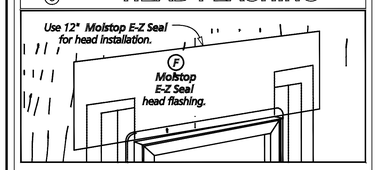
AD1

Scale: As indicated

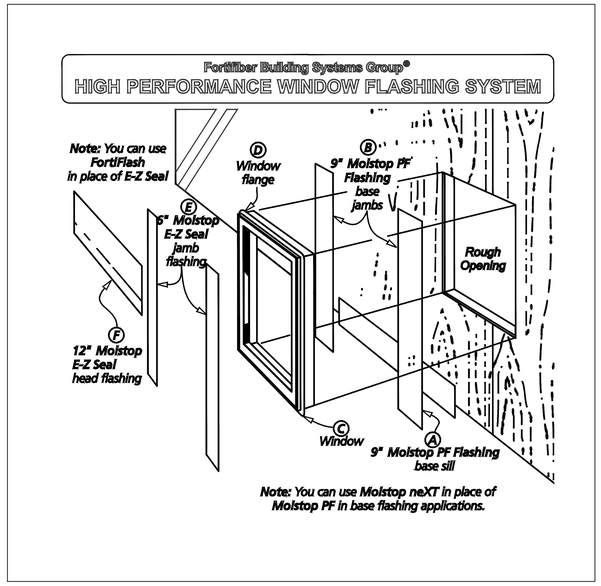
6/27/2019 8:54:23 AM



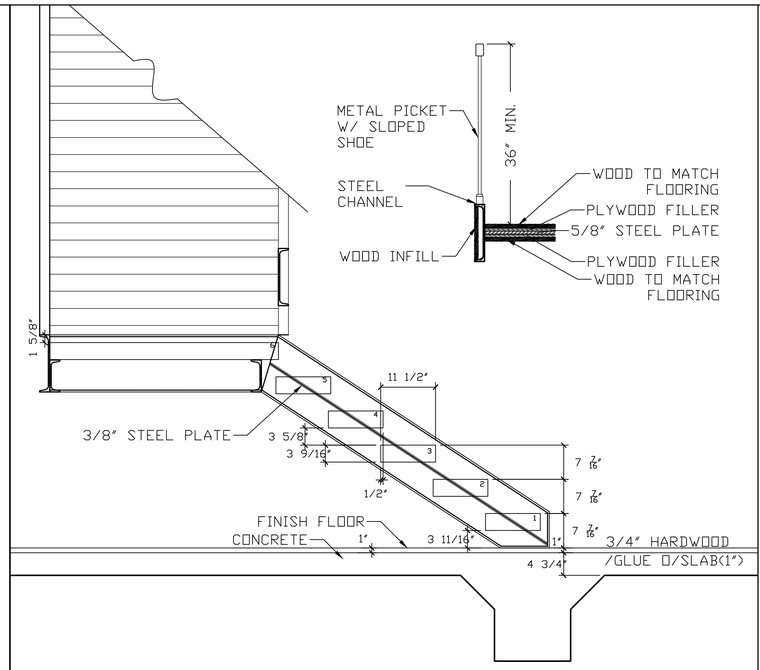
38 HANDRAIL DETAIL
SCALE: 1 1/2" = 1'-0"



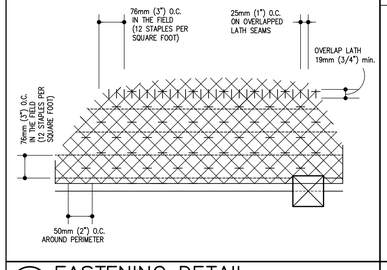
34 OVERVIEW
SCALE: 1 1/2" = 1'-0"



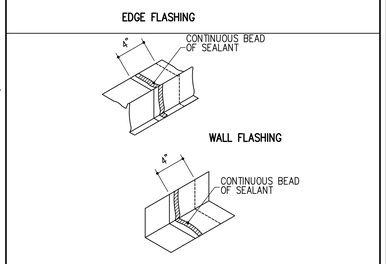
33 DOOR / WINDOW FLASHING DETAIL
SCALE: 1 1/2" = 1'-0"



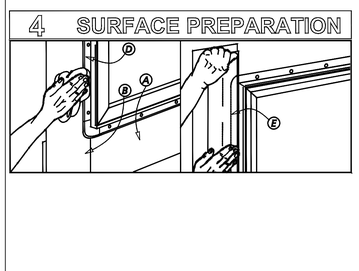
30 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



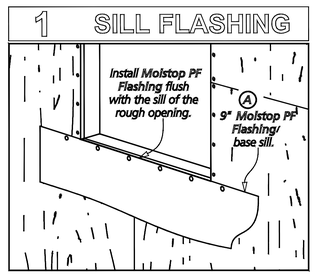
40 FASTENING DETAIL
SCALE: 1 1/2" = 1'-0"



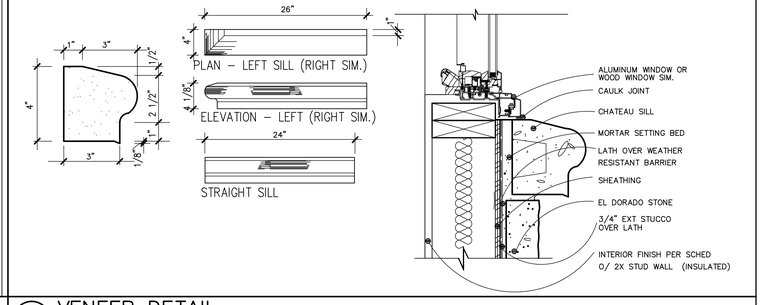
35 FLASHING DETAILS
SCALE: NONE



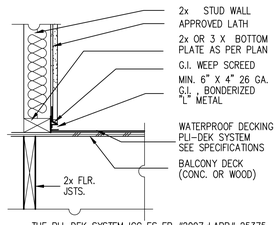
A,B,D&E SURFACE PREP
SCALE: 1 1/2" = 1'-0"



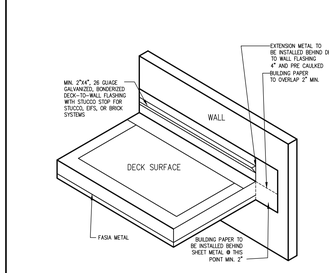
A SILL FLASHING
SCALE: 1 1/2" = 1'-0"



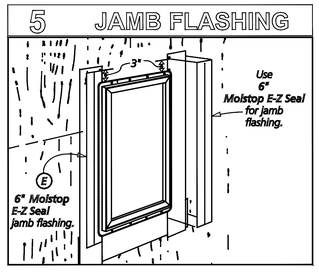
31 VENEER DETAIL
SCALE: 1 1/2" = 1'-0"



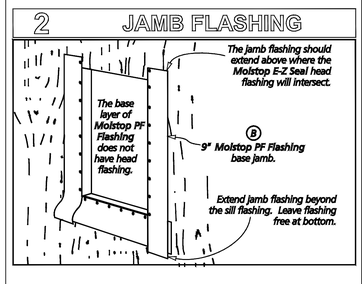
41 DECK FLASHING @ WALL
SCALE: 1 1/2" = 1'-0"



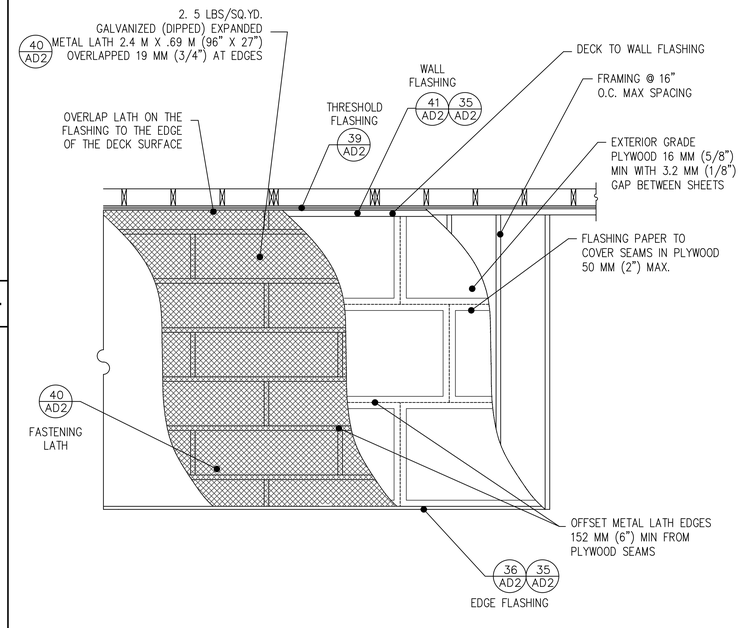
36 FLASHING ISOMETRIC DETAIL
SCALE: 1 1/2" = 1'-0"



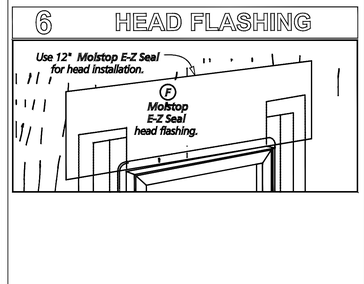
E JAMB FLASHING
SCALE: 1 1/2" = 1'-0"



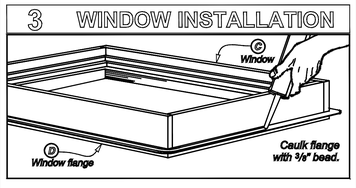
B JAMB FLASHING
SCALE: 1 1/2" = 1'-0"



32 DECK AREA (PLAN VIEW) W/ FLASHINGS
SCALE: 1 1/2" = 1'-0"



F HEAD FLASHING
SCALE: 1 1/2" = 1'-0"



C&D WINDOW INSTALLATION
SCALE: 1 1/2" = 1'-0"

37
SCALE: 1 1/2" = 1'-0"

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Checked By	K. STOCKTON
Scale	As indicated

AD2

6/27/2019 8:54:23 AM

Window Schedule

Window Letter	Width	Height	Window Description	Window Type	Count	U Value	SHGC
A	2' - 6"	2' - 6"	Single Casement	Aluminum Standard Windows	2	0	0
B	2' - 6"	2' - 6"	<varies>	Wood and Aluminum Clad, "Sierra Pacific" H3 Series w/ 1 Pane of Glass Being Fully Tempered	7	0.51	
C	4' - 0"	5' - 6"	<varies>	Wood and Aluminum Clad, "Sierra Pacific" H3 Series w/ 1 Pane of Glass Being Fully Tempered	2	0.31	0.23
E	4' - 0"	2' - 0"	<varies>	Wood and Aluminum Clad, "Sierra Pacific" H3 Series w/ 1 Pane of Glass Being Fully Tempered	8	0.31	0.23
F	3' - 6"	2' - 0"		Aluminum Standard Windows	2	0	0
G	3' - 0"	2' - 0"	Single Hung Window Series	Wood and Aluminum Clad, "Sierra Pacific" H3 Series w/ 1 Pane of Glass Being Fully Tempered	1	0.31	0.23
H	8' - 0"	2' - 0"	<varies>	Aluminum Standard Windows	5	0	0
I	9' - 0"	2' - 0"		Aluminum Standard Windows	3	0	0
J	8' - 0"	6' - 0"	<varies>	Wood and Aluminum Clad, "Sierra Pacific" H3 Series w/ 1 Pane of Glass Being Fully Tempered	4	0.31	
L	8' - 0"	2' - 0"		Aluminum Standard Windows	1	0	0
L	12' - 0"	1' - 6"		Aluminum Standard Windows	1	0	
M	10' - 0"	2' - 0"		Aluminum Standard Windows	1	0	
M	10' - 6"	2' - 0"	Fixed Window	Aluminum Standard Windows	1	0	0
N	15' - 0"	2' - 0"		Aluminum Standard Windows	1	0	
O	16' - 0"	1' - 6"	Fixed - 2 Lites	Aluminum Standard Windows	4	0	
P	16' - 0"	2' - 0"		Aluminum Standard Windows	2	0	
P	18' - 6"	2' - 0"		Aluminum Standard Windows	3	0	
Q	3' - 0"	4' - 0"		Aluminum Standard Windows	3	0	0
R	5' - 0"	1' - 6"		Wood and Aluminum Clad, "Sierra Pacific" H3 Series w/ 1 Pane of Glass Being Fully Tempered	1	0.51	0.34
S	12' - 0"	8' - 0"		Aluminum Standard Windows	1	0	
Grand total					53		

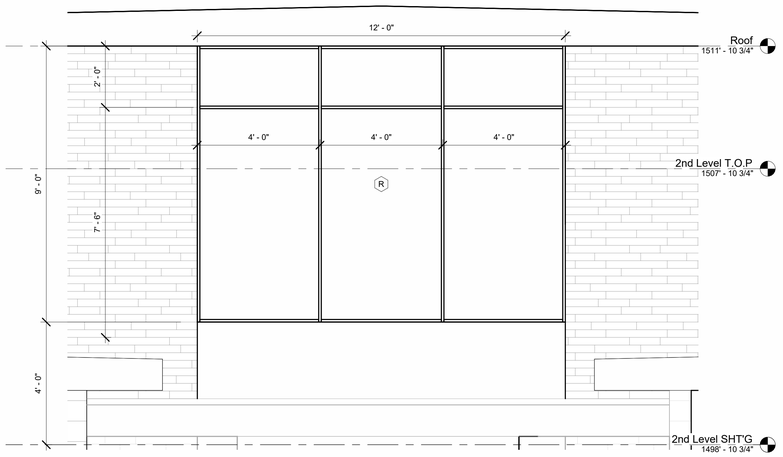
Storefront Windows

Window Letter	Width	Height	Description
R	20' - 0"	9' - 0"	Storefront Window, Contractor to Field Verify Opening Size Prior to Ordering
S	18' - 5"	9' - 0"	Storefront Window, Contractor to Field Verify Opening Size Prior to Ordering
T	8' - 2"	11' - 8"	Storefront Window, Contractor to Field Verify Opening Size Prior to Ordering

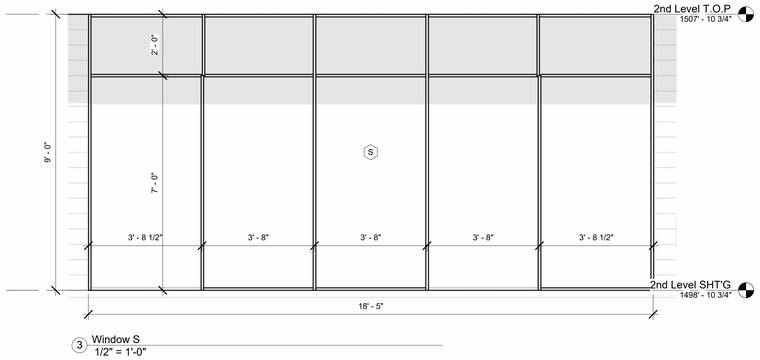
ALL EXTERIOR GLAZING IN WINDOWS AND DOORS SHALL BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED (SAFETY GLAZED) PANE

Door Schedule

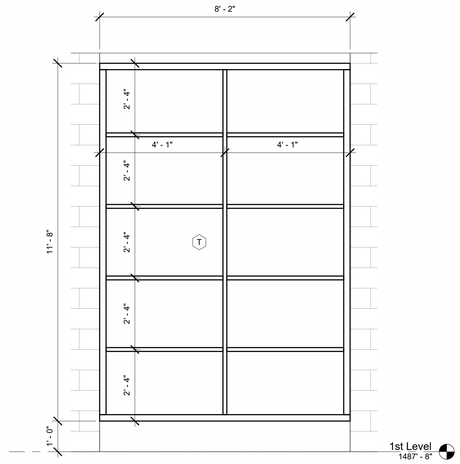
Door No.	Width	Height	Description	Glazing	Count	Comments	U Value	Solar Heat Gain Coefficient
1	2' - 8"	7' - 0"	Single Swing Panel Door		2	Wood Frame		
2	2' - 8"	6' - 8"	Single Swing Panel Door		1	Wood Frame		
3	2' - 8"	7' - 0"			1	Wood Frame	0.31	0.23
4	2' - 8"	8' - 0"	Single Swing Panel Door		23	<varies>		
5	3' - 0"	8' - 0"	Solid core, 1 3/4" thick		2	Wood Frame, 20 min rating, self closing and self latching.		
7	2' - 8"	6' - 8"			6	Wood Frame	Varies per T24	Varies per T24
8	4' - 0"	9' - 0"	"Sierra Pacific" - Temp. Glass	Glass Milgard -Clear	1	Wood Frame, Single Swing w/ 1 Panel Dual Sidelight - Per T-24 Standard	0.31	0.23
9	4' - 0"	8' - 0"	Offset Pivot Door		1	Wood Frame		
10	6' - 0"	8' - 0"	"Sierra Pacific" - Temp. Glass		1	Wood Frame	0.51	
11	9' - 0"	9' - 0"	3 Panels Pocket Door	<varies>	2	Wood Frame	0.51	0.34
12	6' - 0"	7' - 0"	Barn Door		1	Wood Frame		0.34
13	9' - 0"	8' - 0"	Sliding Glass Pocket Door by "Fleetwood", Temp. glass	Glass Milgard -Clear	1	Wood Frame	0.51	0.34
14	15' - 0"	9' - 0"	Sliding Glass Pocket Door by "Fleetwood", Temp. glass	Glass Milgard -Clear Tempered	2	Wood Frame	0.51	0.34
15	16' - 0"	8' - 0"	"Wayne Dayton" Aluminum #8800 series dark brown w/ satin etched glass 4 panel series.	Glass Milgard -Clear Tempered	2	Wood Frame		
16	15' - 0"	8' - 0"	Sliding Glass Door by "Fleetwood", Temp. glass		1	Wood Frame	0.51	0.34
17	3' - 4"	8' - 0"	Sliding 1 Panel Barn Door		1			
18	5' - 0"	8' - 0"			1	Wood Frame		
19	2' - 6"	6' - 8"	ADA Compliant Fiberglass Door		1		0	
20	11' - 0"	8' - 0"			1			
21	3' - 0"	8' - 0"	ADA Compliant Fiberglass Door		1		0.31	
22	12' - 0"	8' - 0"	Kolbe Ultra Series Folding Door Flush Mount Sill		1			
Grand total					53			



1 Window R
1/2" = 1'-0"



3 Window S
1/2" = 1'-0"



4 Window T
1/2" = 1'-0"

Stockton Architects Inc.

www.STOCKTONARCHITECTS.COM

Client

Sonoma LLC
23945 Calabasas Rd, Suite 116
Calabasas, CA 91302
(818) 501-1800

Project

Sonoma Residence

24101 Dry Canyon Cold Creek Road

Consultants

Architect
Ken Stockton
26500 W. Agoura Road #663
Calabasas, CA 91302
(818)-888-9443

Structural Engineer
RGF Engineering
Richard Freitas
595 W. Lambert Rd. #104
Brea, Ca. 92821
(714) 256-2722

Landscape Architect
Susan Mc Eowen
32297 Big Oak Lane
Castaic, Ca. 91384
(661) 294-3753

Civil Engineer
Forma Engineering
400 San Fernando Mission Blvd
San Fernando, CA 91340
(818) 832-1710

MEP
SY Lee Associates, Inc
216 S Jackson St, Suite 101
Glendale, CA 91205
(818) 242-2800

Geo Concepts
Scott J Walter
14428 Hamlin St #200
Van Nuys, CA 91401
(818) 944-8895

Date	Description	Issued to

LICENSED REPRESENTATIVE

LICENSED ARCHITECT
KEN STOCKTON
NO. C18870
EXP. 1-31-21
STATE OF CALIFORNIA

Permit Set

Schedule

Date	10/20/2021
Drawn By	Author
Checked By	Checker

SC1

Scale 1/2" = 1'-0"

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