

## GENERAL REQUIREMENTS

## PROPERTY INFORMATION

1. WORK PERFORMED SHALL COMPLY WITH THE CURRENT APPLICABLE CODES. SEE TABLE:  
 A. THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS;  
 B. STANDARD SPECIFICATIONS OF A.S.T.M.;  
 C. AMENDMENTS BY THE LOCAL JURISDICTION.

ADDRESS: 4515 Park Serena, Calabasas, CA 91302  
 OWNER: David Menteer  
 APN#: 2068-015-016  
 LOT#: 3  
 LOT AREA: 5,808 SF  
 ZONE: R-1  
 STORIES: 2-Story  
 SPRINKLERED: No  
 CONSTRUCTION: V-B  
 OCCUPANCY: -  
 DESCRIPTION: PARCEL MAP AS PER BK 24 PG 95 OF P M LOT 3

2. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. NOTES AND DIMENSIONS TAKE PRECEDENCE OVER SCALING OF THE DRAWING. EACH CONTRACTOR OR SUB-CONTRACTOR SHALL REPORT TO PROJECT OWNER AND DESIGNER ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK.

3. ALL EQUIPMENT AND MATERIALS FURNISHED AND INSTALLED UNDER THESE PLANS, SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.

4. TYPICAL DETAILS AND SPECIFICATIONS ARE MINIMUM REQUIREMENTS TO BE USED WHEN CONDITIONS ARE NOT SHOWN OTHERWISE.

5. SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON PROJECT.

6. APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL OR ALLOWABLE FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ARCHITECT OR ENGINEER FOR INTERPRETATION OR CLARIFICATION.

7. SEE ARCHITECTURAL, STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR PITS, TRENCHES, ROOF OPENINGS, DEPRESSIONS, ETC. NOT SHOWN ON THE OTHER DRAWINGS.

8. CONSTRUCTION DOCUMENTS IDENTIFIED AS "BID SET" ON ANY OR ALL SHEETS MAY BE SUBJECT TO REVIEW. THIS REVIEW MAY RESULT IN CHANGES WHICH MAY BE MADE TO THE PLANS PRIOR TO THE ISSUANCE OF THE FINAL CONSTRUCTION SET WHICH WILL CONTAIN NO "BID SET" DESIGNATIONS. CONSTRUCTION DOCUMENTS IDENTIFIED AS "BID SET" ARE NOT CONSTRUED AS BEING THE COMPLETED OR FINAL DRAWINGS AND THEY SHOULD NOT IN ANY WAY BE USED AS SUCH.

### STRUCTURAL ENGINEERING

1. REFER TO THE CURRENT CALCULATIONS FOR ANY QUESTION REGARDING LUMBER GRADES, BEAM / HEADER SIZES, FOOTING AND SHEAR REQUIREMENTS.

2. NO DEVIATIONS FROM STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL DESIGN ENGINEER. APPROVAL BY CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS.

3. VIBRATION EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE ENGINEER.

4. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

5. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.

### SITE WORK

1. ALL FOOTINGS SHALL REST ON FIRM NATURAL SOIL OR APPROVED COMPACTED FILL, U.N.O.

2. REFER TO THE CURRENT CIVIL ENGINEER'S GRADING AND PLOT PLANS, IF APPLICABLE.

3. REFER TO THE CURRENT LANDSCAPE ARCHITECT'S GRADING AND CONSTRUCTION DOCUMENTS.

4. ALL FINISH GRADES TO DRAIN AWAY FROM THE BUILDING FOOTINGS.

5. CONTRACTOR SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH STRUCTURES ARE FOUND, THE ARCHITECT/ENGINEER AND THE SOILS ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

6. PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES WHERE PROPERTY BOUNDARIES HAVE NOT ALREADY BEEN ESTABLISHED.

### CARPENTRY - LUMBER

1. ALL LUMBER SHALL BE MARKED AND CONFORM WITH THE STANDARD GRADING AND DRESSING RULES P.S. 20-70 OF THE WEST COAST LUMBER INSPECTION BUREAU AND U.B.C. STANDARD 23-1.

2. STUDS, JOISTS, RAFTERS, FOUNDATION PLATES OR SILL, PLANKING 2 INCHES OR MORE IN DEPTH, BEAMS, STRINGERS, POSTS, STRUCTURAL SHEATHING AND SIMILAR LOAD BEARING MEMBERS SHALL BE OF AT LEAST THE MINIMUM GRADES SET FORTH IN THE LATEST EDITION OF THE UNIFORM BUILDING CODE, AND THE CURRENT STRUCTURAL ENGINEERS CALCULATIONS AND PLANS.

3. ALL EXPOSED BEAMS 4x OR LARGER ARE TO BE F.O.H.C.

4. SIZES NOTED AND REFERENCED ARE NOMINAL SIZES. SEE PLANS FOR NET SIZE WHEN SPECIFIED.

5. WOOD EMBEDDED IN THE GROUND OR IN DIRECT CONTACT WITH THE EARTH AND USED FOR THE SUPPORT OF PERMANENT STRUCTURES SHALL BE PRESSURE TREATED WOOD.

6. WOOD JOISTS OR THE BOTTOM OF WOOD FLOORS CLOSER THAN 18 INCHES, OR WOOD GIRDERS CLOSER THEN 12 INCHES TO THE GROUND UNDER FLOOR AREAS AND THEIR SUPPORTS, SHALL BE PRESSURE TREATED WOOD OR ALL HEART-WOOD OF APPROVED NATURALLY DURABLE SPECIES AS LISTED IN THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE.

### APPLICABLE CODES AND EDITIONS

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING CODES AND LOCAL AMENDMENTS:

- 2019 (CRC) CALIFORNIA RESIDENTIAL CODE;
- 2019 (CPC) CALIFORNIA PLUMBING CODE;
- 2019 (CMC) CALIFORNIA MECHANICAL CODE;
- 2019 (CBC) CALIFORNIA BUILDING CODE;
- 2019 (CEC) CALIFORNIA ELECTRICAL CODE;
- 2019 (CEnc) CALIFORNIA ENERGY CODE;
- 2019 (CALGreen) CALIFORNIA GREEN BUILDING STANDARDS CODE;
- 2019 (CFC) CALIFORNIA FIRE CODE;
- 2017 (LAFc) LOS ANGELES FIRE CODE.

## SITE & BUILDING DATA

	SQ. FT.	EXEMPT	TOTAL
(E) 2-Story SFD	2,092		2,092
(E) Porch	277	277	393
(E) Garage	393		393
(N) 2nd Flr Addition	437		437
Lot area	5,808		5,808
Total RFA	42.8%		2,485

## SITE COVERAGE CALCULATIONS

	SQ. FT.	EXEMPT	TOTAL
(E) Building Footprint	2,256		2,256
(E) Porch	277		277
(E) Hardscape Areas	3,341		3,341
Lot area	5,808		5,808
Total Site Coverage	43.6%		2,533
Total Pervious Surface	56.4%		3,275

## SHEET INDEX

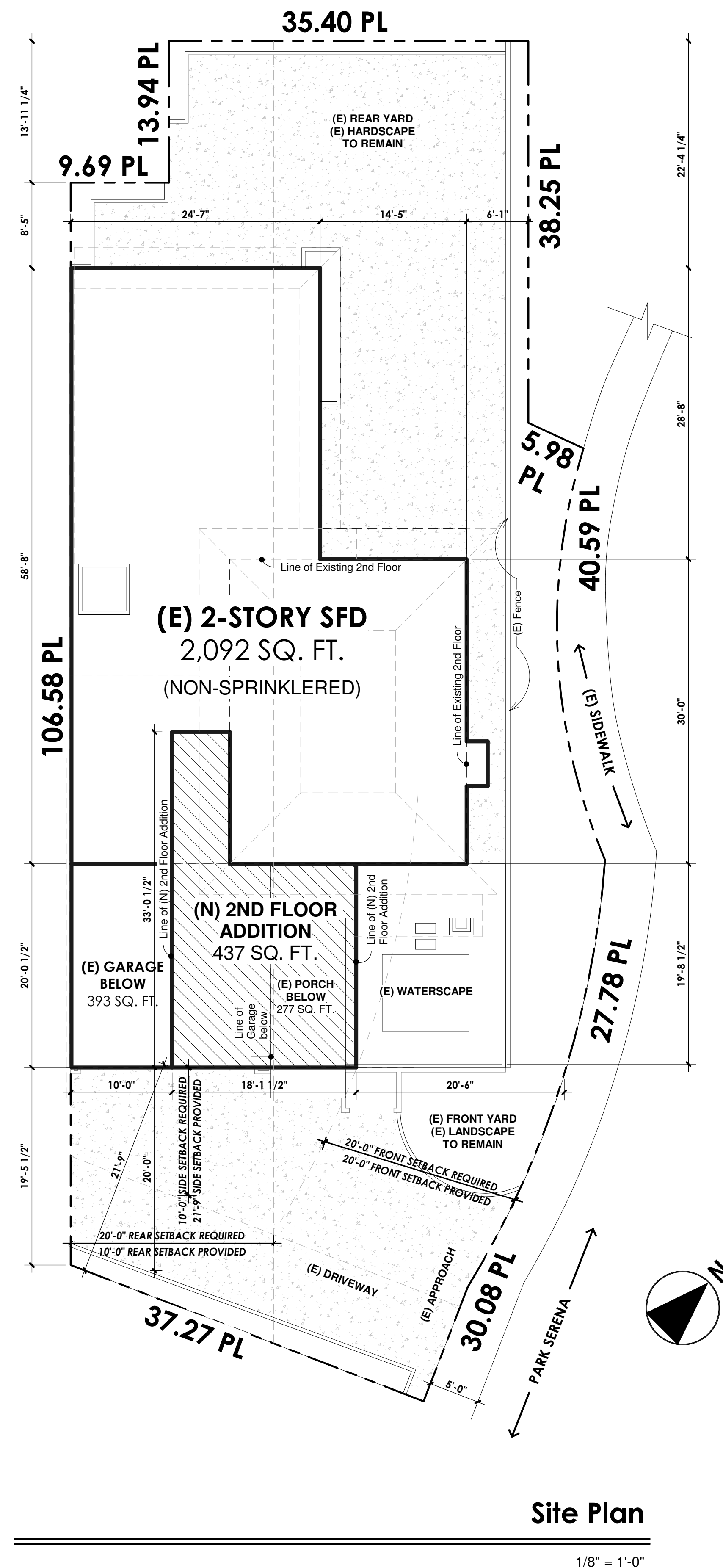
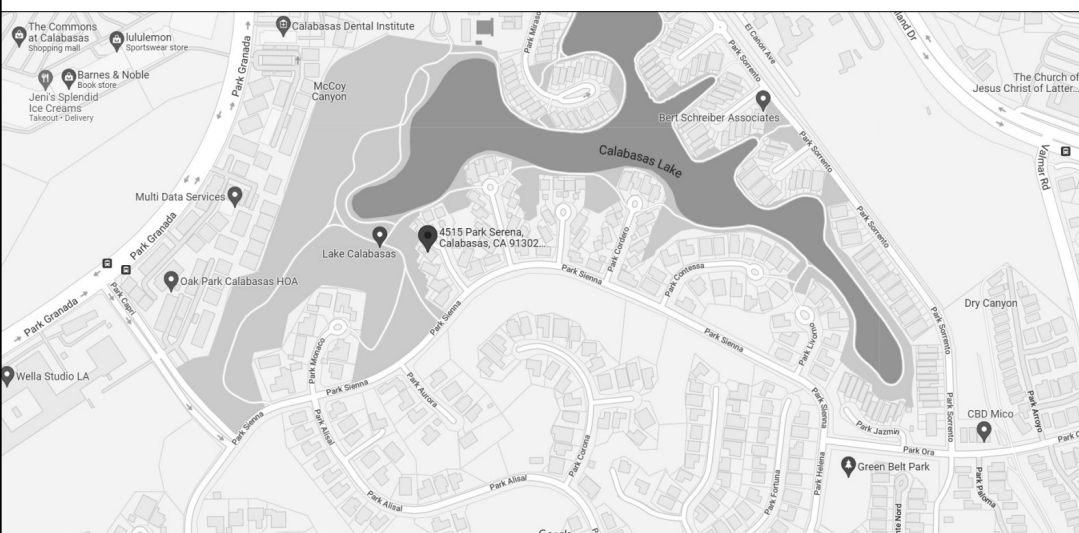
SHEET NAME	SHEET NO.
Site Plan	A-1.0
Existing Floor Plans, Second Floor Plan	A-2.0
Roof Plan	A-2.1
Elevations	A-3.0
Elevations	A-3.1

## SCOPE OF WORK

**(N) 2nd Floor Addition: 437 sq. ft.**

**New:**  
 - 4 Doors  
 - 10 Windows

## VICINITY MAP



# ULTIMATE

DRAFTING SERVICES

*Ricardo M.*  
 RICARDO MACIEL  
 DESIGNER

(310) 713-9350 | team@ultimatedraftingpro.com  
 12950 Paramount Blvd, Ste 201, Downey, CA 90242.

No.	Description	Date

Owner:  
 David Menteer

Site address:

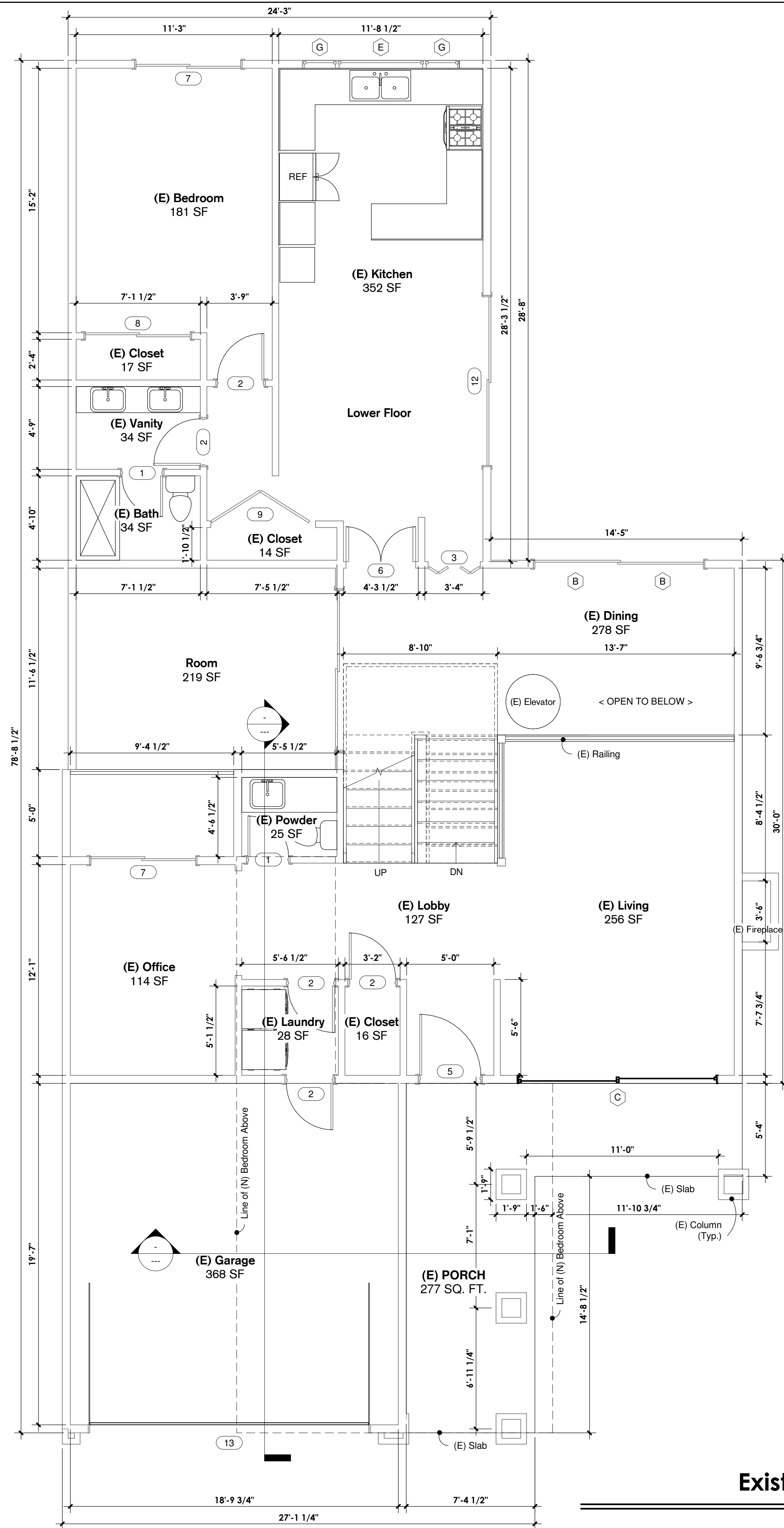
4515 Park Serena,  
 Calabasas, CA 91302

Site Plan

Project Number	21-119
Date	12/21/2021
Drawn By	LG
Submitted By:	LG
File Version:	D0.1

# A-1.0

Scale 1/8" = 1'-0"



**(E) Window Schedule**

Mark	Width	Height	Type	Material	SHGC	U-Factor	Count
E	5'-0"	3'-0"	FIXED (TEMP. GLASS)	VINYL	0.23	0.30	1
F	2'-0"	4'-0"	FIXED	VINYL	0.23	0.30	1
G	2'-0"	3'-0"	FIXED	VINYL	0.23	0.30	2

Grand total: 4

**(N) Window Schedule**

Mark	Width	Height	Type	Material	SHGC	U-Factor	Count
A	1'-0"	8'-6"	FIXED	VINYL	0.23	0.30	1
B	5'-0"	4'-0"	FIXED (TEMP. GLASS)	VINYL	0.23	0.30	2
C	11'-6"	6'-8"	SLIDER	VINYL	0.23	0.30	1
D	2'-6"	5'-0"	CASEMENT	VINYL	0.23	0.30	6

Grand total: 10

**(E) Door Schedule**

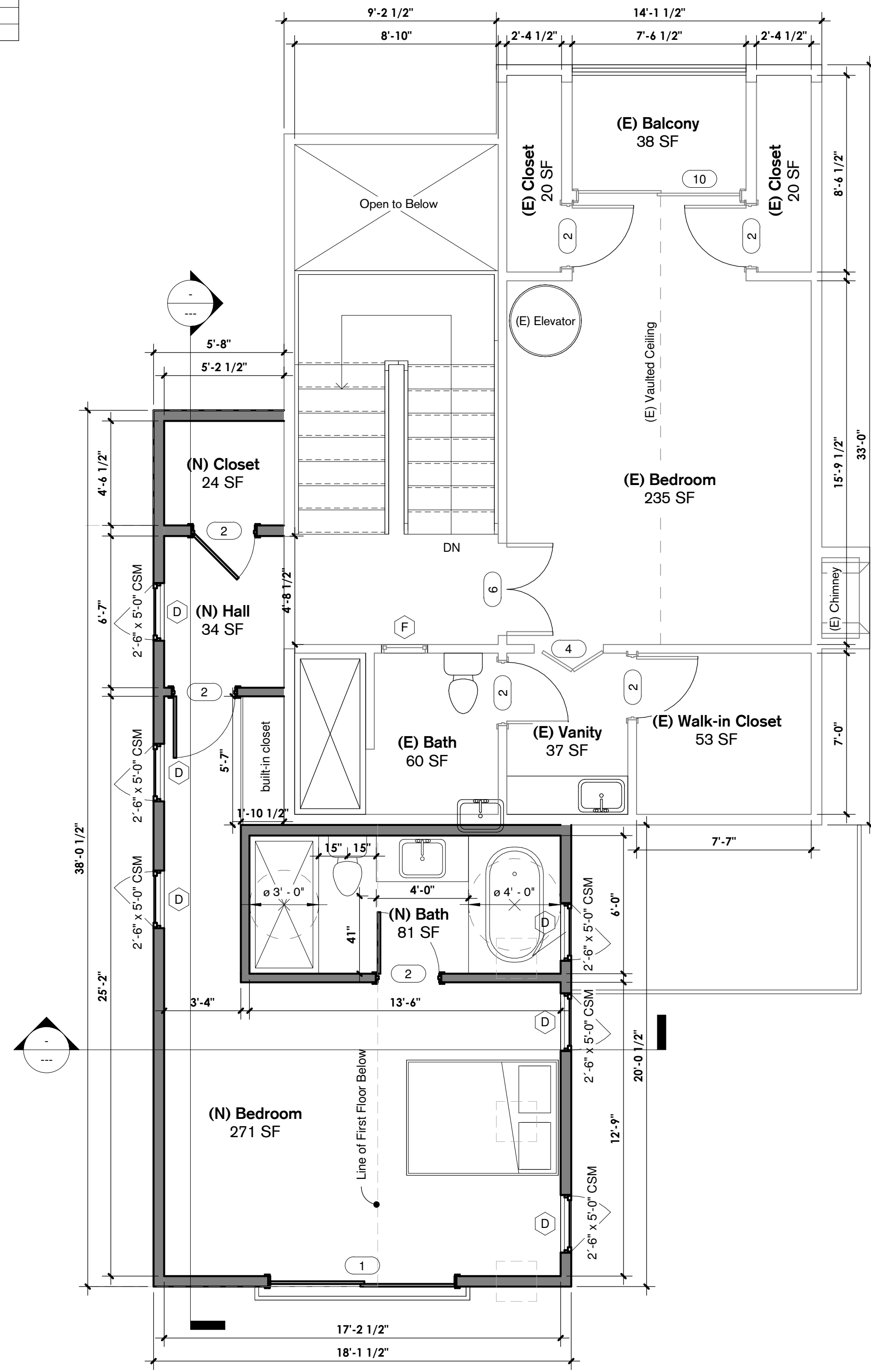
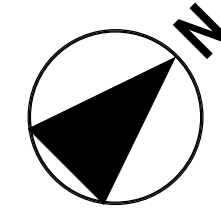
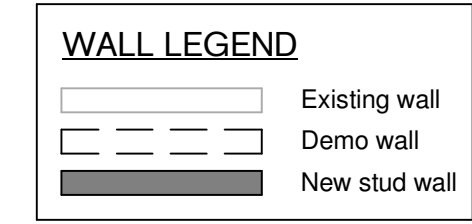
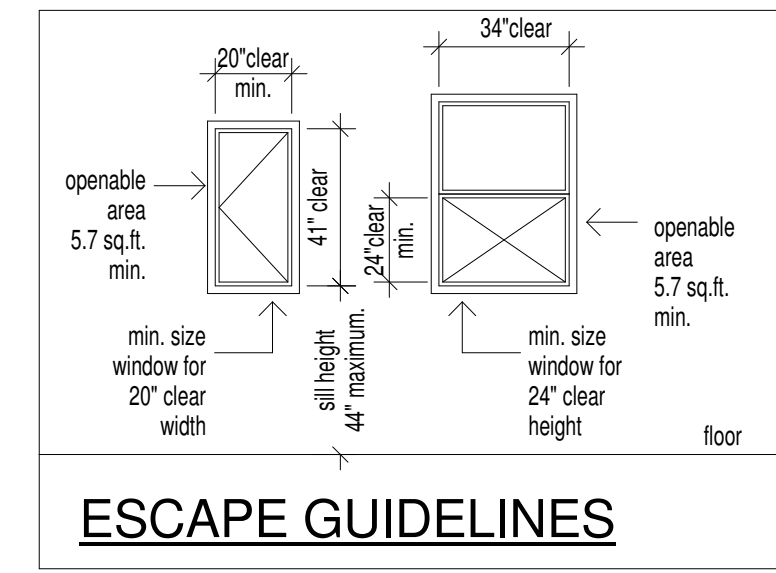
Mark	Width	Height	Type	Count
1	2'-4"	6'-8"	SINGLE DOOR PANEL	2
2	2'-8"	6'-8"	SINGLE DOOR PANEL	9
3	3'-0"	6'-8"	BIFOLD DOOR	1
4	3'-0"	7'-0"	BIFOLD DOOR	1
5	3'-6"	6'-8"	SINGLE SOLID DOOR	1
6	4'-0"	6'-8"	DOUBLE SWING DOOR	2
7	6'-0"	6'-8"	SLIDING DOOR	2
8	6'-0"	6'-8"	SLIDING CLOSET DOOR	1
9	6'-0"	7'-0"	SLIDING CLOSET DOOR	1
10	7'-0"	6'-8"	SLIDING DOOR	1
11	9'-2"	6'-8"	SLIDING DOOR	1
12	9'-8"	6'-8"	SLIDING DOOR	2
13	16'-0"	7'-0"	GARAGE DOOR	1

Grand total: 25

**(N) Door Schedule**

Mark	Width	Height	Type	Count
1	8'-0"	8'-0"	SLIDING DOOR	1
2	2'-8"	6'-8"	SINGLE DOOR PANEL	3

Grand total: 4



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No.	Description	Date

Owner:  
David Menteer

Site address:

4515 Park Serena,  
Calabasas, CA 91302

Existing Floor Plans, Second  
Floor Plan

Project Number	21-119
Date	12/21/2021
Drawn By	LG
Submitted By	LG
File Version:	D0.1

# A-2.0

Scale 1/4" = 1'-0"

# ULTIMATE

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### ROOF NOTES

1. THE FRAMER SHALL BE RESPONSIBLE FOR LOCATING ALL ATTIC VENTS.
2. ALL VENTS SHALL BE INSTALLED PER MANUFACTURER'S SPECS.
3. ALL ROOFING MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECS.
4. ALL VENT OPENINGS SHALL BE COVERED W/ 1/4" CORROSION RESISTANT METAL MESH.
5. PROVIDE APPROVED INSULATION DAMS (BAFFLES) AT EAVE VENTS BETWEEN ROOF FRAMING MEMBERS TO PREVENT HOLES BEING BLOCKED BY INSULATION.

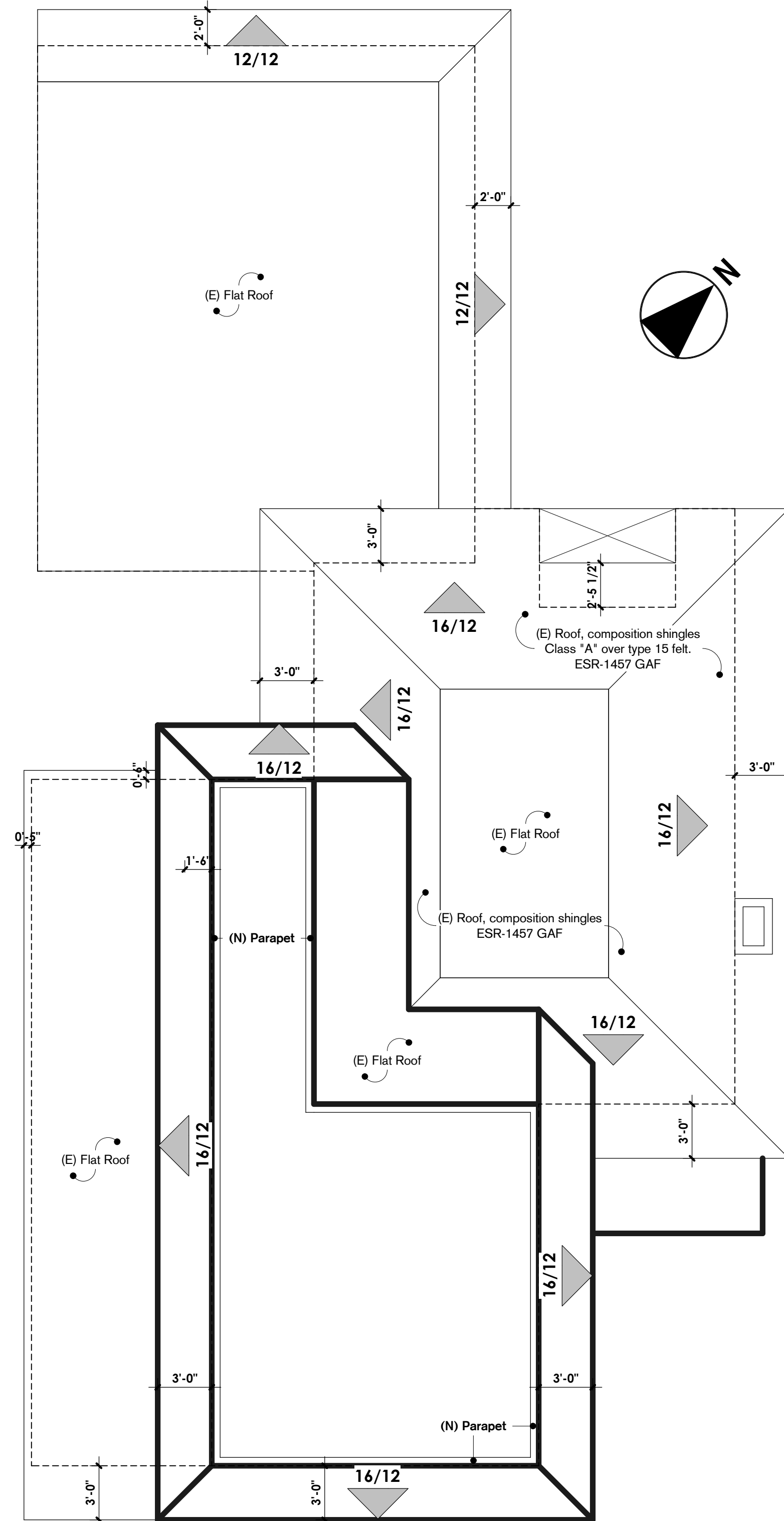
**Required Attic Ventilation:**

144 x 437	=	62,928
62,928/ 150	=	420 sq. in.

Provide:

[ 5 ] 22" x 11" O'Hagin Flat Vents (98.75 sq. in. ea.)  
ICC SBCCI-9650A = 494 sq. in.

**Total: 494 SQ. IN.**



## Roof Plan

1/4" = 1'-0"

No.	Description	Date

Owner:  
David Menteer

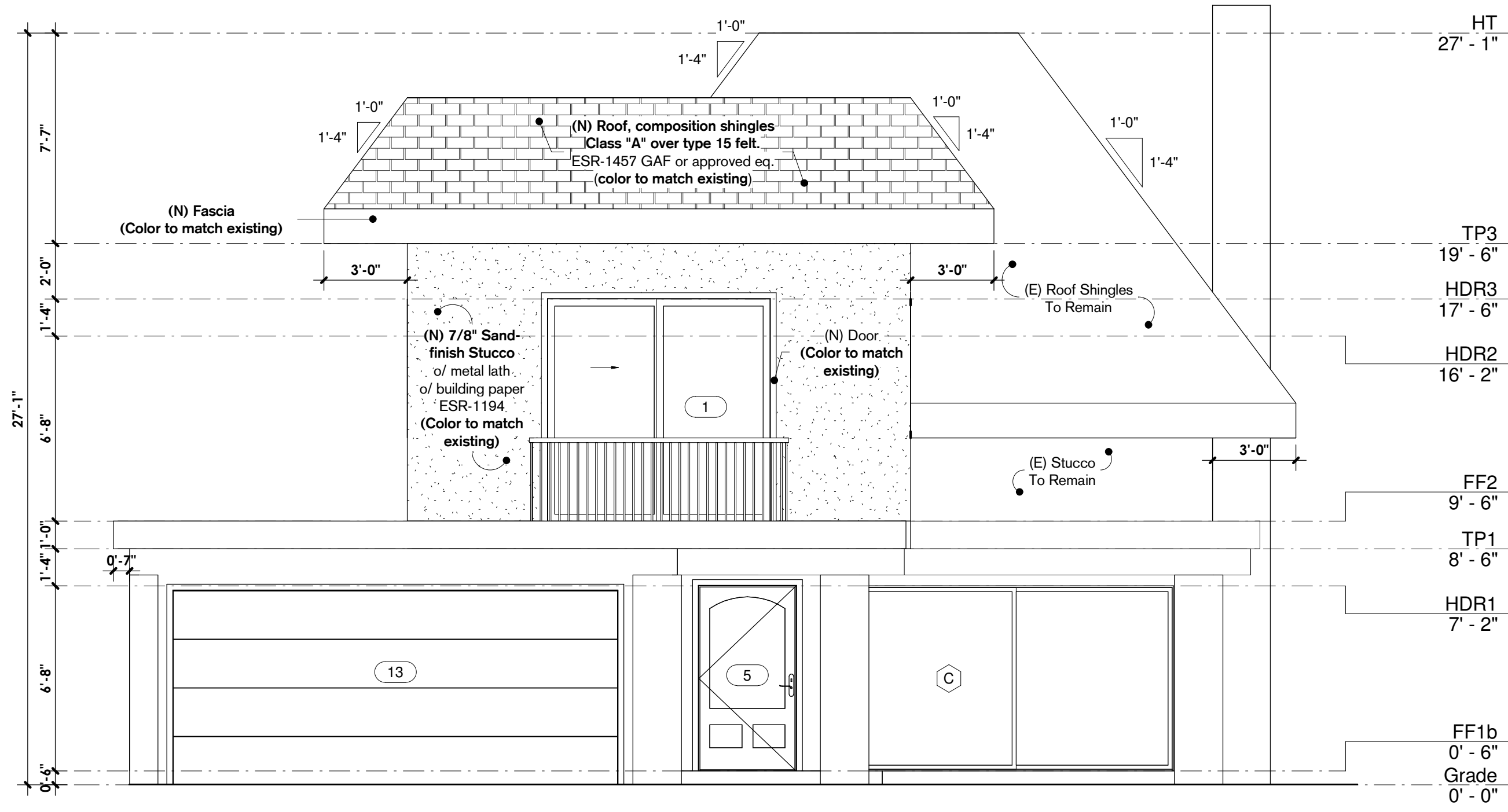
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Calabasas, CA 91302

Roof Plan

Project Number	21-119
Date	12/21/2021
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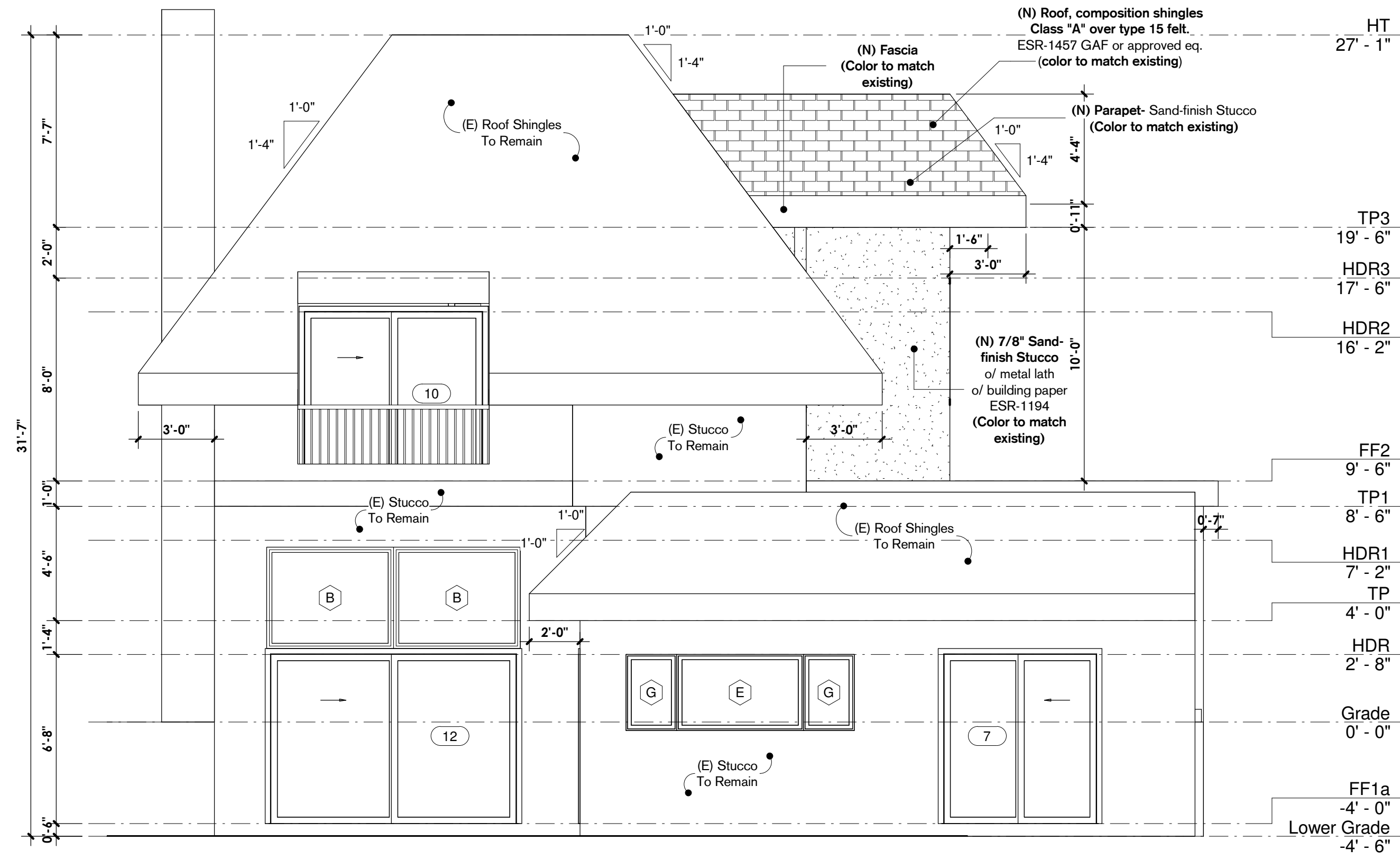
# A-2.1

Scale 3/16" = 1'-0"



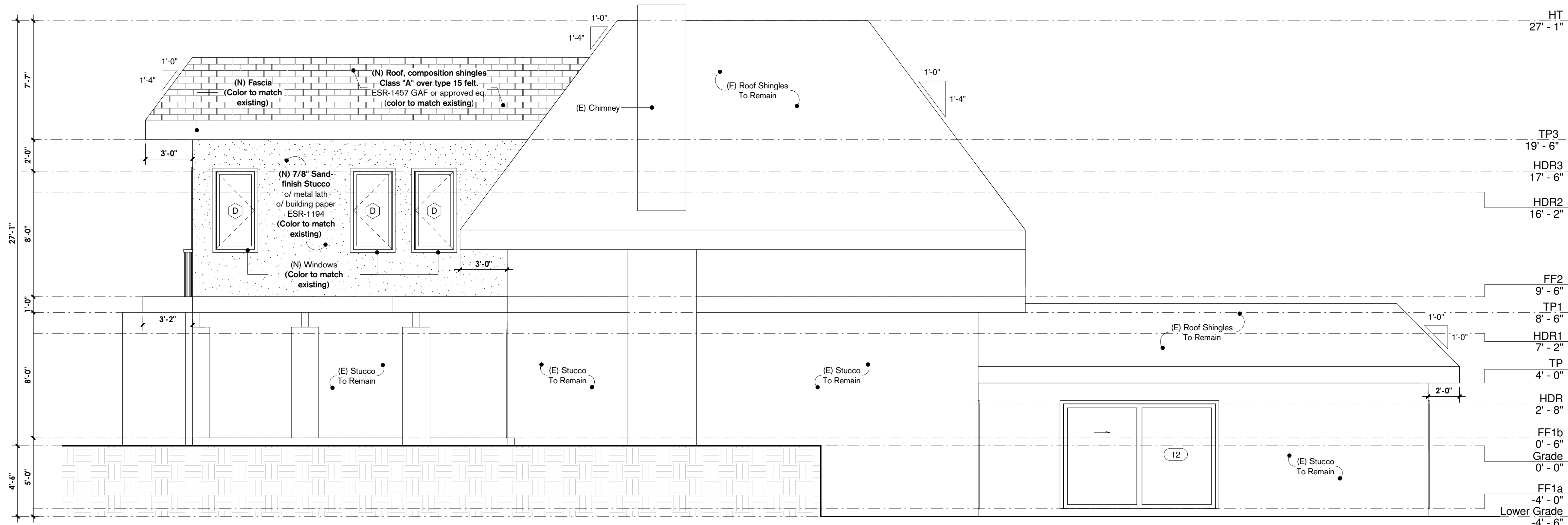
### South Elevation

1/4" = 1'-0"



### North Elevation

1/4" = 1'-0"



### East Elevation

1/4" = 1'-0"

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No.	Description	Date

Owner:  
David Mentee

Site address:

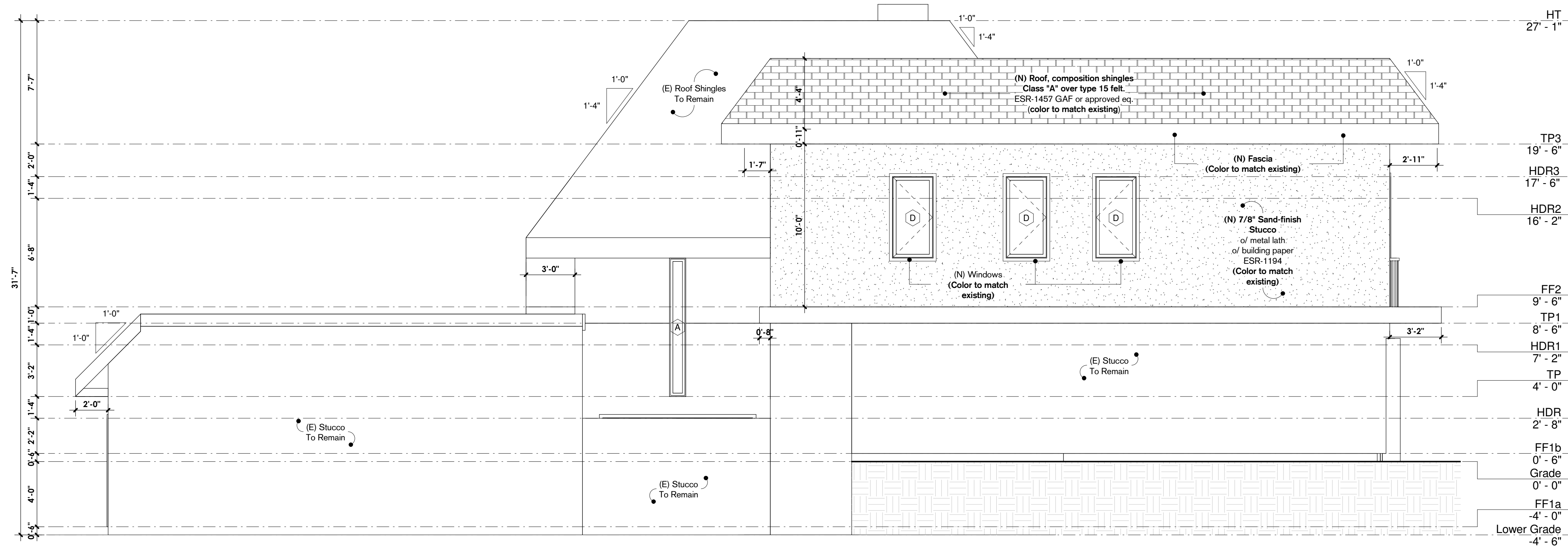
4515 Park Serena,  
Calabasas, CA 91302

### Elevations

Project Number	21-119
Date	12/21/2021
Drawn By	LG
Submitted By	LG
File Version:	D0.1

# A-3.0

Scale 1/4" = 1'-0"



## West Elevation

1/4" = 1'-0"

**ULTIMATE**  
DRAFTING SERVICES

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No.	Description	Date

Owner:  
David Menteer

Site address:  
  
4515 Park Serena,  
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Elevations

Project Number	21-119
Date	12/21/2021
Drawn By	LG
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**A-3.1**

Scale 1/4" = 1'-0"