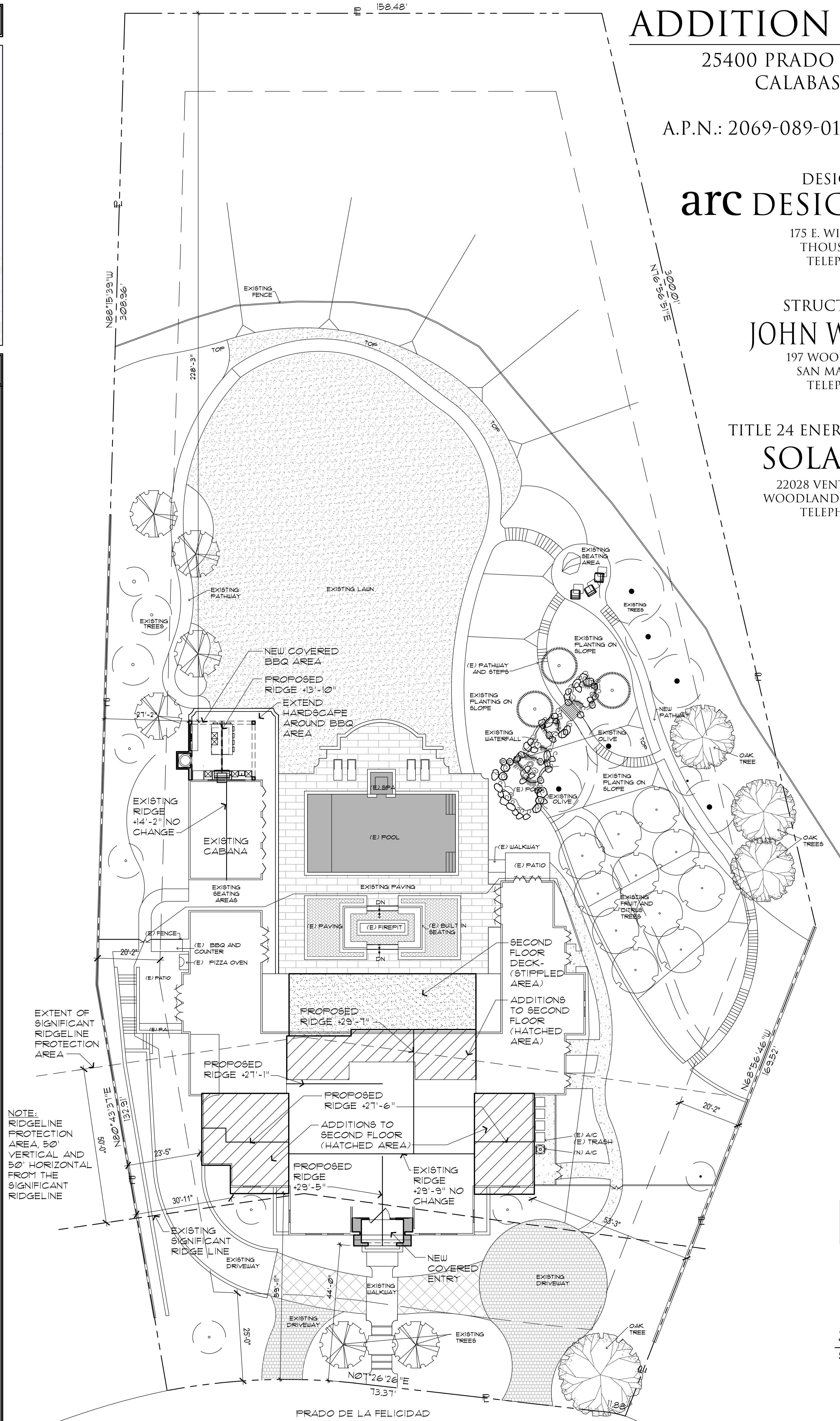


### PROJECT NOTES

- 1) **COPYRIGHT:**  
All plans, designs, and concepts shown in these drawings are the exclusive property of arc DESIGN GROUP, INC. and shall not be used, disclosed, or reproduced for any purpose whatsoever without written permission.
- 2) **CODES:**  
This project is governed by the 2019 Edition of the California Building Code. Code compliance is mandatory. The drawings and notes shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals.
- 3) **FIELD VERIFICATION:**  
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify arc DESIGN GROUP, INC. of any conflicts or discrepancies in the drawings immediately.
- 4) **DIMENSIONS:**  
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify arc DESIGN GROUP, INC. of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete slab, top of plywood or light weight concrete, and top of wall plates and/or beams unless otherwise noted.
- 5) **DISCREPANCIES:**  
The Owner has requested arc DESIGN GROUP, INC. provide limited design and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify arc DESIGN GROUP, INC. Failure to give simple notice shall relieve arc DESIGN GROUP, INC. of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from arc DESIGN GROUP, INC.
- 6) **DUTY OF COOPERATION:**  
Release of these plans contemplates further cooperation among the Owner, his Contractor, and arc DESIGN GROUP, INC. Design and construction are complex. Although arc DESIGN GROUP, INC. and their consultants have performed their services with due care and diligence, they cannot guarantee perfection. Every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to arc DESIGN GROUP, INC. Failure to notify arc DESIGN GROUP, INC. compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice shall relieve arc DESIGN GROUP, INC. from responsibility for all consequences.
- 7) **CHANGES TO THE WORK:**  
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans made without consent of arc DESIGN GROUP, INC. are unauthorized and shall relieve arc DESIGN GROUP, INC. of responsibility for any and all consequences resulting from such changes.
- 8) **WORKMANSHIP:**  
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- 9) **SUBSTITUTIONS:**  
Substitution of "equal" products will be acceptable with the approval of arc DESIGN GROUP, INC.
- 10) **CONSTRUCTION SAFETY:**  
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) **FIELD MODIFICATIONS OF STRUCTURAL MEMBERS:**  
The General Contractor and Subcontractors shall field coordinate and obtain approval from the Engineer of record before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building.
- 12) **WEATHER CONDITIONS:**  
Extended exposure of underlayments, framing and sheathing is damaging to these building components. The Contractor should schedule construction accordingly to avoid extended exposures to components not intended to be exposed to the elements. When weather conditions dictate, the appropriate measures should be taken to protect these building components.



# ADDITION TO EXISTING

25400 PRADO DE LA FELICIDAD  
CALABASAS, CA 91302

A.P.N.: 2069-089-012 TRACT 35596-07 LOT 12

DESIGN & PLANS BY:  
**arc DESIGN GROUP, INC.**

175 E. WILBUR ROAD, SUITE 202  
THOUSAND OAKS, CA 91360  
TELEPHONE: 805 484 4277

STRUCTURAL ENGINEER:  
**JOHN W. STARLIN, S.E.**

197 WOODLAND PARKWAY # 410  
SAN MARCOS, CA 92069-3020  
TELEPHONE: 619 840 7990

TITLE 24 ENERGY CALCULATIONS BY:

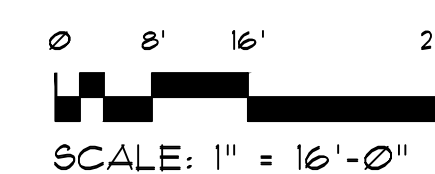
**SOLARGY, INC**

22028 VENTURA BLVD., SUITE 207  
WOODLAND HILLS, CALIFORNIA 91364  
TELEPHONE: 818 347 6096

DEFERRED SUBMITTAL:  
1. RESIDENTIAL FIRE SPRINKLERS

AN AUTOMATIC FIRE EXTINGUISHING  
SYSTEM SHALL BE PROVIDED  
THROUGHOUT STRUCTURE.

**SITE PLAN**  
SCALE: 1" = 16'-0"



DRAWING INDEX	
PAGE	DESCRIPTION
ARCHITECTURAL	
A1.1	COVERSHEET, DRAWING INDEX, VICINITY MAP & SITE PLAN
A1.1a	COVERSHEET, DRAWING INDEX, VICINITY MAP & SITE PLAN WITH GRID OVERLAY
A2a	EXISTING FLOOR PLANS AND ROOF PLAN
A2.0	BASEMENT PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A3.1	POOL, CABANA/BBQ PLAN
A5.1	ROOF PLAN
A5.1a	CITY OF CALABASAS PREVIOUS STORY POLES APPROVAL & UPDATED APPROVALS
A5.1b	PROPOSED STORY POLES PLAN
A6.1	EXISTING AND PROPOSED EXTERIOR ELEVATIONS
A6.2	EXISTING AND PROPOSED EXTERIOR ELEVATIONS
A6.3	EXISTING AND PROPOSED EXTERIOR ELEVATIONS
A6.4	EXISTING AND PROPOSED EXTERIOR ELEVATIONS
A6.5	EXISTING AND PROPOSED EXTERIOR ELEVATIONS

**APPLICABLE CODES:**  
 2019 CALIFORNIA BUILDING CODE (CBC)  
 2019 CALIFORNIA RESIDENTIAL CODE (CRC)  
 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC)  
 2019 CALIFORNIA MECHANICAL CODE (CMC)  
 2019 CALIFORNIA PLUMBING CODE (CPC)  
 2019 CALIFORNIA ELECTRICAL CODE (CEC)  
 2019 CALIFORNIA ENERGY CODE (CENC)  
 2019 CALIFORNIA FIRE CODE (CFC)  
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 CITY OF CALABASAS AMENDMENTS

**OCCUPANCY GROUP CLASSIFICATION:**  
 DWELLING: "R-3" - SINGLE FAMILY DWELLING  
 GARAGE: "U" - ATTACHED PRIVATE GARAGE

**NOTE:**  
 1-HOUR FIRE RESISTIVE OCCUPANCY SEPARATION SHALL BE PROVIDED BETWEEN R-3 AND U OCCUPANCIES AS INDICATED ON FLOOR PLAN

**CONSTRUCTION TYPE:**  
 TYPE "V-B" (FULLY SPRINKLERED)

**FIRE ZONE:**  
 V-FH5Z

**LOT ZONING:**  
 LOT ZONING: R5

**REQUIRED SETBACKS:**  
 FRONT YARD: 20'-0" (25'-0" PER HOA)  
 SIDE YARD: 10'-0" (20'-0" PER HOA)  
 REAR YARD: 20'-0"

**BUILDING HEIGHT:**  
 MAX. 35'-0"

**BUILDING SUMMARY:**  
 EXISTING 2 STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE & STORAGE AT BASEMENT

**SCOPE OF WORK:**  
 REPLACE ALL EXTERIOR DOORS AND WINDOWS. ADD COVERED BBQ AREA (49 SF) AND COVERED ENTRY (64 SF) AT FIRST FLOOR, ALONG WITH INTERIOR REMODEL WORK. ADDITIONS TO 2ND FLOOR PREVIOUSLY APPROVED AND PERMITTED ARE PART OF THIS REQUEST ALONG WITH MASTER BEDROOM ADDITION AND SECOND FLOOR MASTER BALCONY ADDITION (CONVERSION FROM FLAT LOFT) - ROOF

- ADDITION OF A BEDROOM WITH W.I.C. AND BATH (121 SF.)
- CONVERTING EXISTING HER W.I.C. TO BEDROOM WITH W.I.C. & BATH ADDITION (81 SF. ADDITION & 409 SF. REMODEL)
- ADDITION OF HER W.I.C. TO MASTER BEDROOM (668 SF.)
- MASTER BEDROOM AND SECONDARY BEDROOM ADDITION (821 SF.)
- MISCELLANEOUS FIRST FLOOR REMODEL WORK AND BASEMENT REMODEL WORK.

**SITE COVERAGE:**

LOT SIZE:	186,858 SQ. FT.
EXISTING FOOTPRINT:	11283 SQ. FT.
EXISTING CABANA:	766 SQ. FT.
TOTAL EXISTING SITE COVERAGE:	12,049 SQ. FT.
NEW COVERED BBQ AND COVERED ENTRY:	494 SQ. FT.
TOTAL PROPOSED SITE COVERAGE:	12,543 / 86,858 = 14.44 %

**PERVIOUS SURFACE:**

LOT SIZE:	186,858 SQ. FT.
EXISTING FOOTPRINT:	11283 SQ. FT.
EXISTING DRIVEWAY:	2,201 SQ. FT.
EXISTING HARDSCAPE:	4,259 SQ. FT.
EXISTING CABANA:	766 SQ. FT.
NEW ENTRY/BBQ AND HARDSCAPE:	494 SQ. FT.
TOTAL IMPERVIOUS SURFACES:	18,013 SQ. FT.
TOTAL PERVIOUS SURFACES:	86,858 - 18,013 = 68,845
% OF PERVIOUS SURFACES:	68,845 / 86,858 = 78.34%

**ADDRESS NOTES:**

1. THE ADDRESS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR FRONTAGE ROAD.
2. ADDRESS NUMBERS SHALL BE FOUR INCHES (4") HIGH MIN.
3. ADDRESS NUMBERS SHALL BE CONTRASTING COLOR TO THEIR BACKGROUND. BRASS OR GOLD NUMBERS SHALL NOT BE POSTED. (ADDRESS NUMBERS LOCATED ON CURBS ARE NOT ACCEPTABLE).
4. PERMANENT ADDRESS NUMBERS SHALL BE PROVIDED ON THE MAILBOX OR ON A PERMANENT SIGN OR POST ADJACENT TO THE DRIVEWAY ENTRANCE OF A FLAT LOT.

**SITE SUMMARY**

LOT SIZE:	186,858 SQ. FT.
EXISTING FAR:	13.716 / 86,858 = 0.16
PROPOSED FAR:	16,093 / 86,858 = 0.19

**AREA CALCULATION**

EXISTING BASEMENT FLOOR:	1,490 SQ. FT.
EXISTING FIRST FLOOR:	9,072 SQ. FT.
EXISTING SECOND FLOOR:	3,384 SQ. FT.
EXISTING TOTAL LIVING AREA:	13,716 SQ. FT.

SECOND FLOOR ADDITION:	2,373 SQ. FT.
TOTAL LIVING AREA:	16,089 SQ. FT.

EXISTING GARAGES & STORAGE AREA:	8242 SQ. FT.
EXISTING CABANA:	766 SQ. FT.
NEW BBQ COVER AND COVERED ENTRY AREA:	595 SQ. FT.

**arc DESIGN GROUP**  
ARTISTIC RESIDENTIAL CREATIONS

175 E. WILBUR ROAD  
SUITE 202  
THOUSAND OAKS, CA 91360  
805 484 4277

ENGINEER:  
JOHN W. STARLIN, S.E.  
197 WOODLAND PARKWAY # 410  
SAN MARCOS, CA  
92069-3020

OWNER:  
25400 PRADO DE LA FELICIDAD, LLC  
631 N. LARCHMONT BLVD.  
NO. 1  
LOS ANGELES, CA  
90004

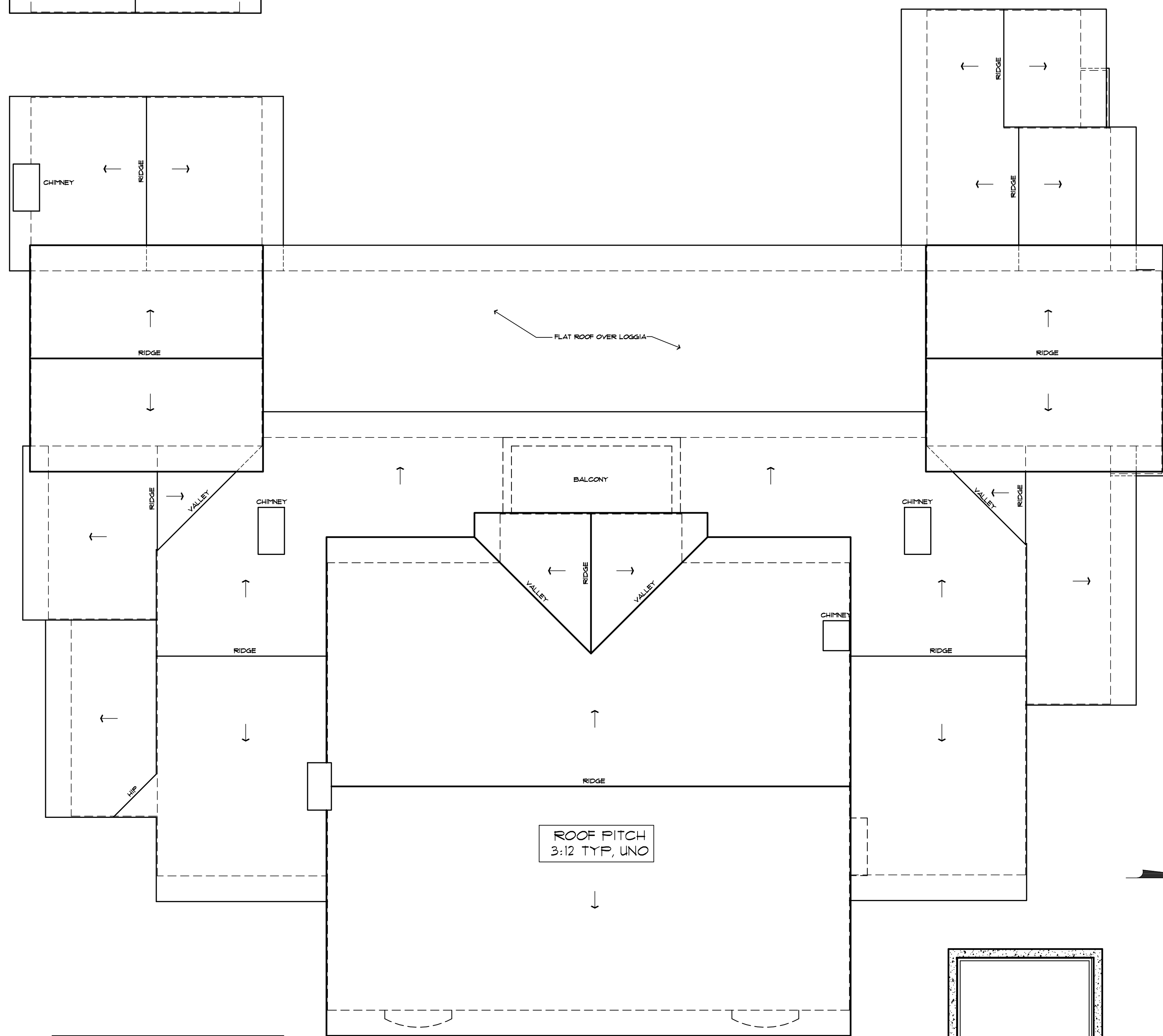
PROJECT: **25400 PRADO DE LA FELICIDAD**  
 25400 PRADO DE LA FELICIDAD  
 CALABASAS, CA 91302  
 A.P.N.: 2069-089-012 TRACT 35596-07 LOT 12

SHEET TITLE:  
**COVERSHEET, DRAWING INDEX,  
 VICINITY MAP & SITE PLAN**

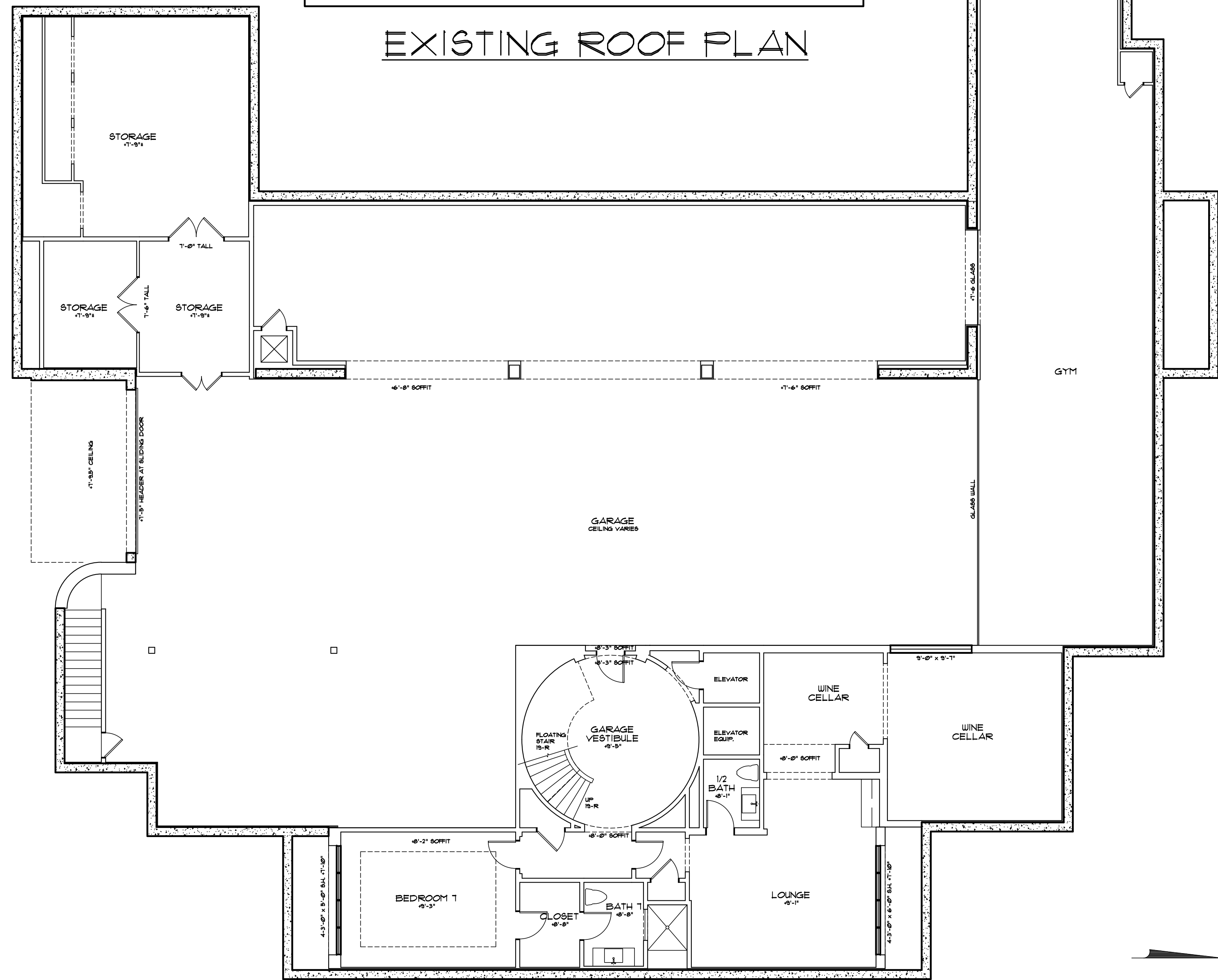
DRAWING SCALE:  
**1" = 16'-0"**  
 DATE:  
**APRIL 28, 2021**  
 REVISIONS:

SHEET NO.  
**A1.1**

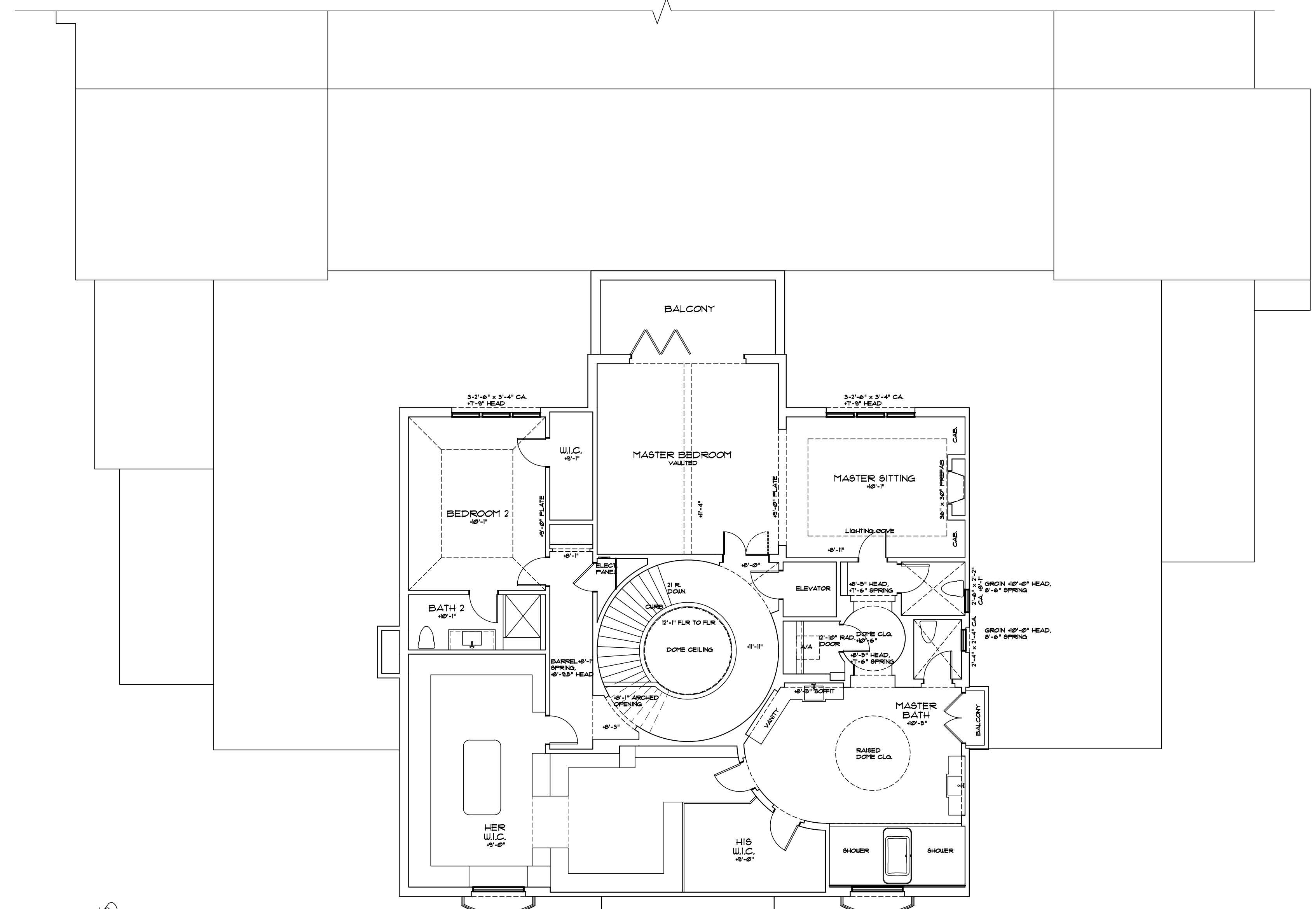




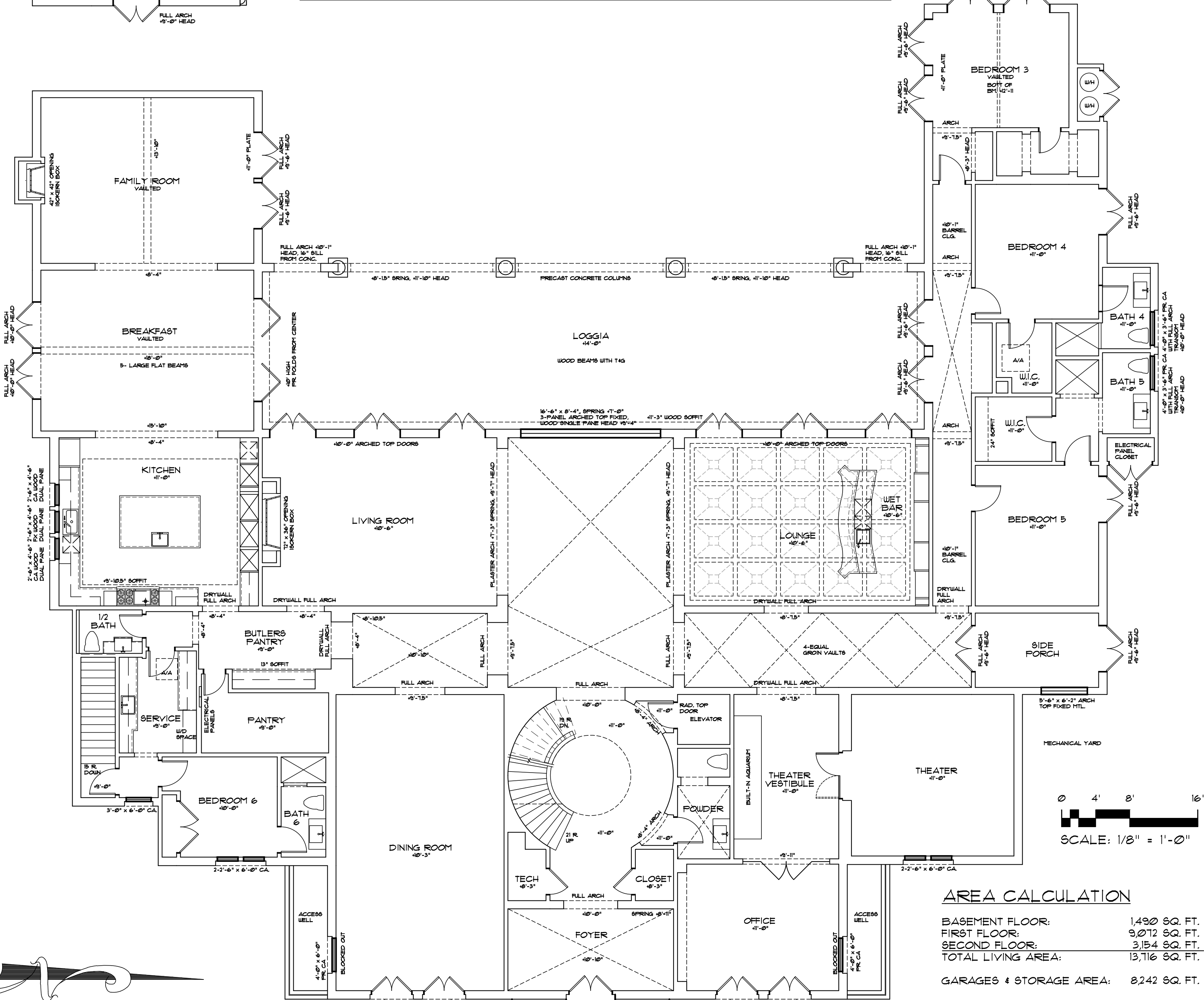
EXISTING ROOF PLAN



EXISTING BASEMENT FLOOR PLAN



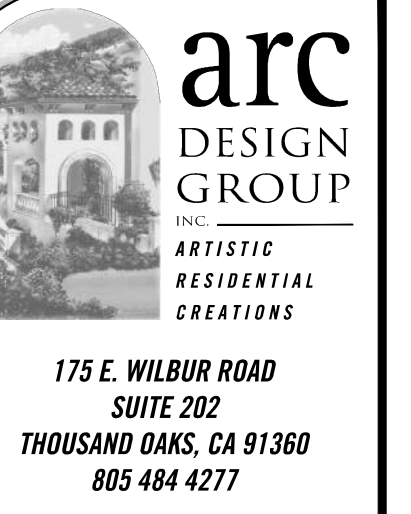
EXISTING SECOND FLOOR PLAN



EXISTING FIRST FLOOR PLAN

AREA CALCULATION

BASEMENT FLOOR:	1,490 SQ. FT.
FIRST FLOOR:	9,072 SQ. FT.
SECOND FLOOR:	3,154 SQ. FT.
TOTAL LIVING AREA:	13,716 SQ. FT.
GARAGES & STORAGE AREA:	8,242 SQ. FT.



175 E. WILBUR ROAD  
SUITE 202  
THOUSAND OAKS, CA 91360  
805 484 4277

ENGINEER:

JOHN W. STARLIN, S.E.  
197 WOODLAND  
PARKWAY # 410  
SAN MARCOS, CA  
92069-3020

OWNER:

25400 PRADO DE LA  
FELICIDAD, LLC  
631 N. LARCHMONT BLVD.  
NO. 1  
LOS ANGELES, CA  
90004

PROJECT: 25400 PRADO DE LA FELICIDAD

25400 PRADO DE LA FELICIDAD  
CANABASAS, CA 91302

A.P.N.: 2069-089-012 TRACT 35596-07 LOT 12

EXISTING FLOOR  
PLANS & ROOF PLAN

SHEET TITLE

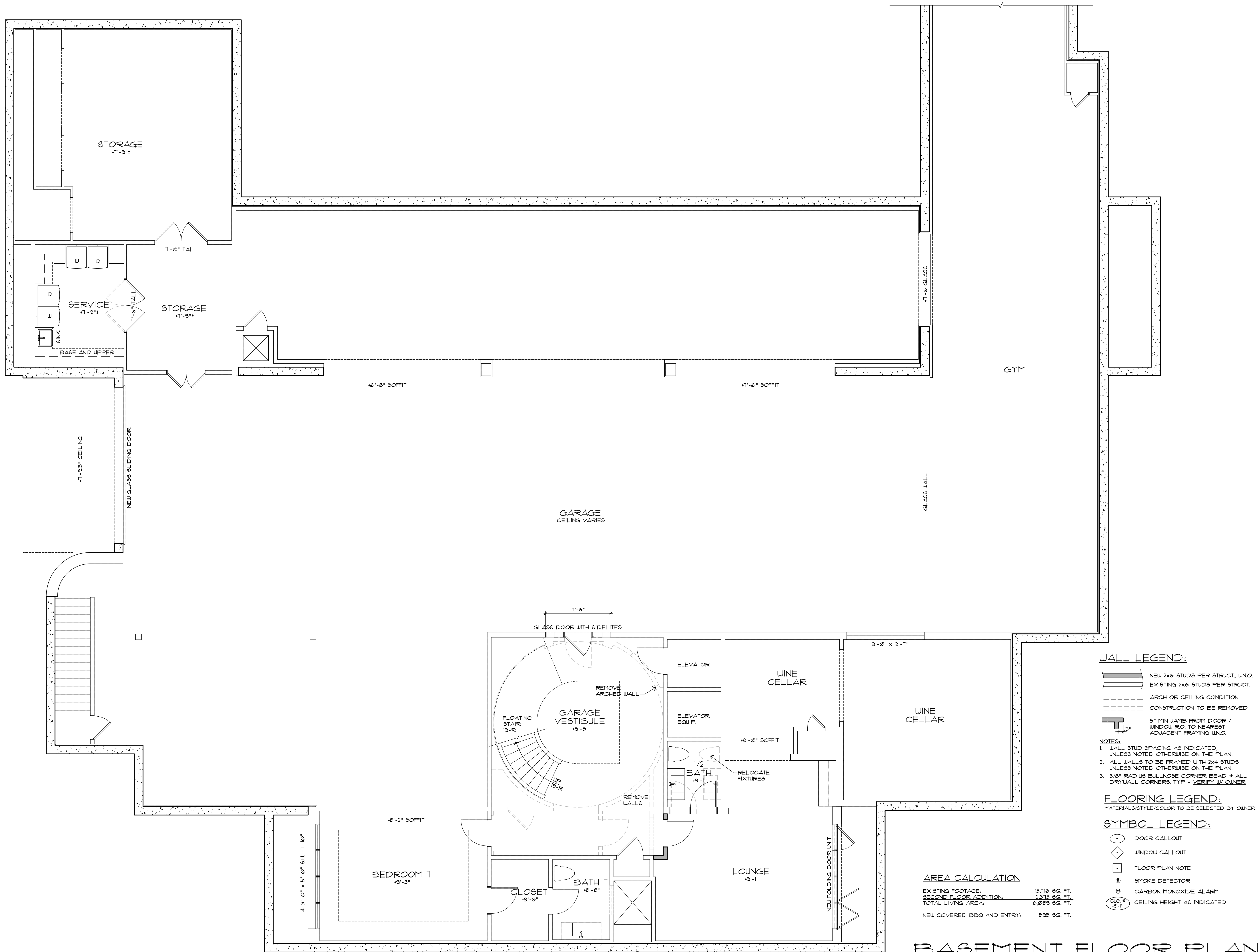
DRAWING SCALE:  
1/8" = 1'-0"

DATE:  
APRIL 28, 2021

REVISIONS:

SHEET NO.

A2a



**WALL LEGEND:**

- NEW 2x6 STUDS PER STRUCT., UNO.
- EXISTING 2x6 STUDS PER STRUCT.
- ARCH OR CEILING CONDITION
- CONSTRUCTION TO BE REMOVED
- 5" MIN JAMB FROM DOOR / WINDOW R.O. TO NEAREST ADJACENT FRAMING UNO.

**NOTES:**

1. WALL STUD SPACING AS INDICATED, UNLESS NOTED OTHERWISE ON THE PLAN.
2. ALL WALLS TO BE FRAMED WITH 2x4 STUDS UNLESS NOTED OTHERWISE ON THE PLAN.
3. 3/8" RADIUS BULLNOSE CORNER BEAD @ ALL DRYWALL CORNERS, TYP - VERIFY W/ OWNER

**FLOORING LEGEND:**  
MATERIALS/STYLE/COLOR TO BE SELECTED BY OWNER

**SYMBOL LEGEND:**

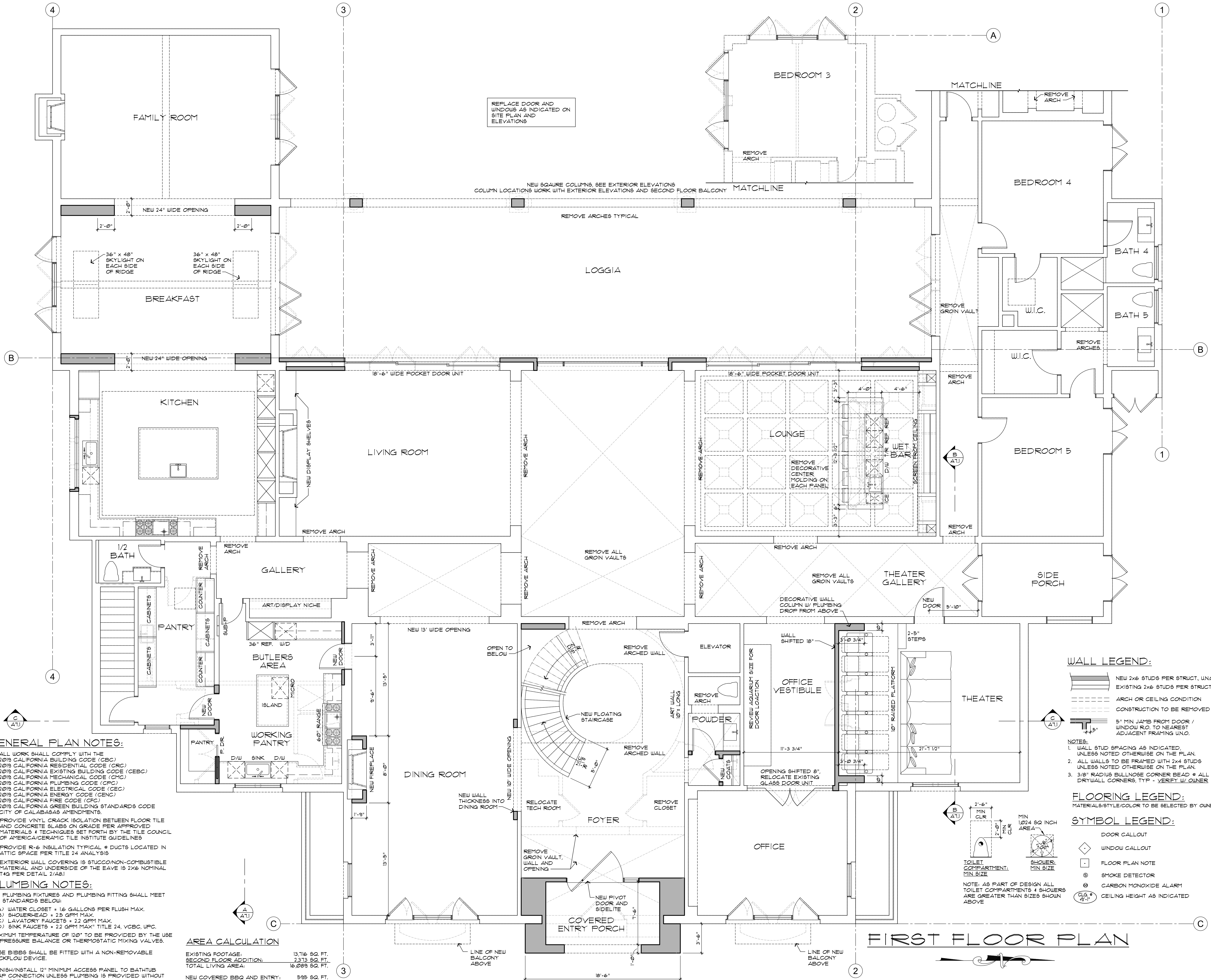
- DOOR CALLOUT
- WINDOW CALLOUT
- FLOOR PLAN NOTE
- SMOKE DETECTOR
- CARBON MONOXIDE ALARM
- CEILING HEIGHT AS INDICATED

**AREA CALCULATION**

EXISTING FOOTAGE:	13,716 SQ. FT.
SECOND FLOOR ADDITION:	2,373 SQ. FT.
TOTAL LIVING AREA:	16,089 SQ. FT.
NEW COVERED BBQ AND ENTRY:	595 SQ. FT.

**BASEMENT FLOOR PLAN**





**GENERAL PLAN NOTES:**

- ALL WORK SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE (CBC), 2019 CALIFORNIA RESIDENTIAL CODE (CRC), 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), 2019 CALIFORNIA MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA ELECTRICAL CODE (CEC), 2019 CALIFORNIA ENERGY CODE (CEC), 2019 CALIFORNIA FIRE CODE (CFC), 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE CITY OF CALABASAS AMENDMENTS.
- PROVIDE VINYL CRACK ISOLATION BETWEEN FLOOR TILE AND CONCRETE SLABS ON GRADE PER APPROVED MATERIALS & TECHNIQUES SET FORTH BY THE TILE COUNCIL OF AMERICA/CERAMIC TILE INSTITUTE GUIDELINES.
- PROVIDE R-6 INSULATION TYPICAL @ DUCTS LOCATED IN ATTIC SPACE PER TITLE 24 ANALYSIS.
- EXTERIOR WALL COVERING IS STUCCO/NON-COMBUSTIBLE MATERIAL AND UNDERSIDE OF THE EAVE IS 1X6 NOMINAL TAG PER DETAIL 2/AB1.

**PLUMBING NOTES:**

THE PLUMBING FIXTURES AND PLUMBING FITTING SHALL MEET THE STANDARDS BELOW:

(A) WATER CLOSET = 1.6 GALLONS PER FLUSH MAX.  
(B) SHOWERHEAD = 2.5 GPM MAX.  
(C) LAVATORY FAUCETS = 2.2 GPM MAX.  
(D) SINK FAUCETS = 2.2 GPM MAX" TITLE 24, VCBC, UPC.

MAXIMUM TEMPERATURE OF 120° TO BE PROVIDED BY THE USE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES.

HOSE BIBBS SHALL BE FITTED WITH A NON-REMOVABLE BACKFLOW DEVICE.

FURNISH/INSTALL 12" MINIMUM ACCESS PANEL TO BATHTUB TRAP CONNECTION UNLESS PLUMBING IS PROVIDED WITHOUT SLIP JOINTS

**AREA CALCULATION**

EXISTING FOOTAGE:	13,716 SQ. FT.
SECOND FLOOR ADDITION:	2,319 SQ. FT.
TOTAL LIVING AREA:	16,035 SQ. FT.
NEW COVERED BBQ AND ENTRY:	595 SQ. FT.

**WALL LEGEND:**

- NEW 2x6 STUDS PER STRUCT. UNO.
- EXISTING 2x6 STUDS PER STRUCT.
- ARCH OR CEILING CONDITION
- CONSTRUCTION TO BE REMOVED
- 5" MIN JAMBS FROM DOOR / WINDOW R.O. TO NEAREST ADJACENT FRAMING UNO.

**NOTES:**

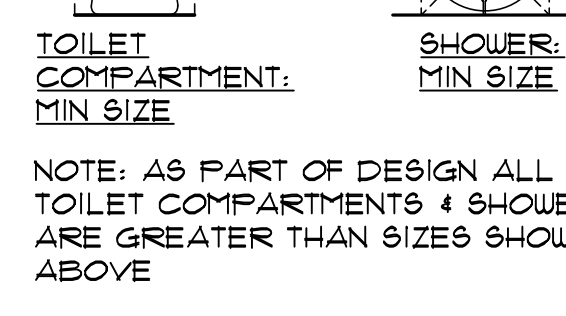
- WALL STUD SPACING AS INDICATED UNLESS NOTED OTHERWISE ON THE PLAN.
- ALL WALLS TO BE FRAMED WITH 2x4 STUDS UNLESS NOTED OTHERWISE ON THE PLAN.
- 3/8" RADIUS BULLNOSE CORNER BEAD @ ALL DRYWALL CORNERS, TYP - VERIFY W/ OWNER

**FLOORING LEGEND:**

MATERIALS/STYLE/COLOR TO BE SELECTED BY OWNER

**SYMBOL LEGEND:**

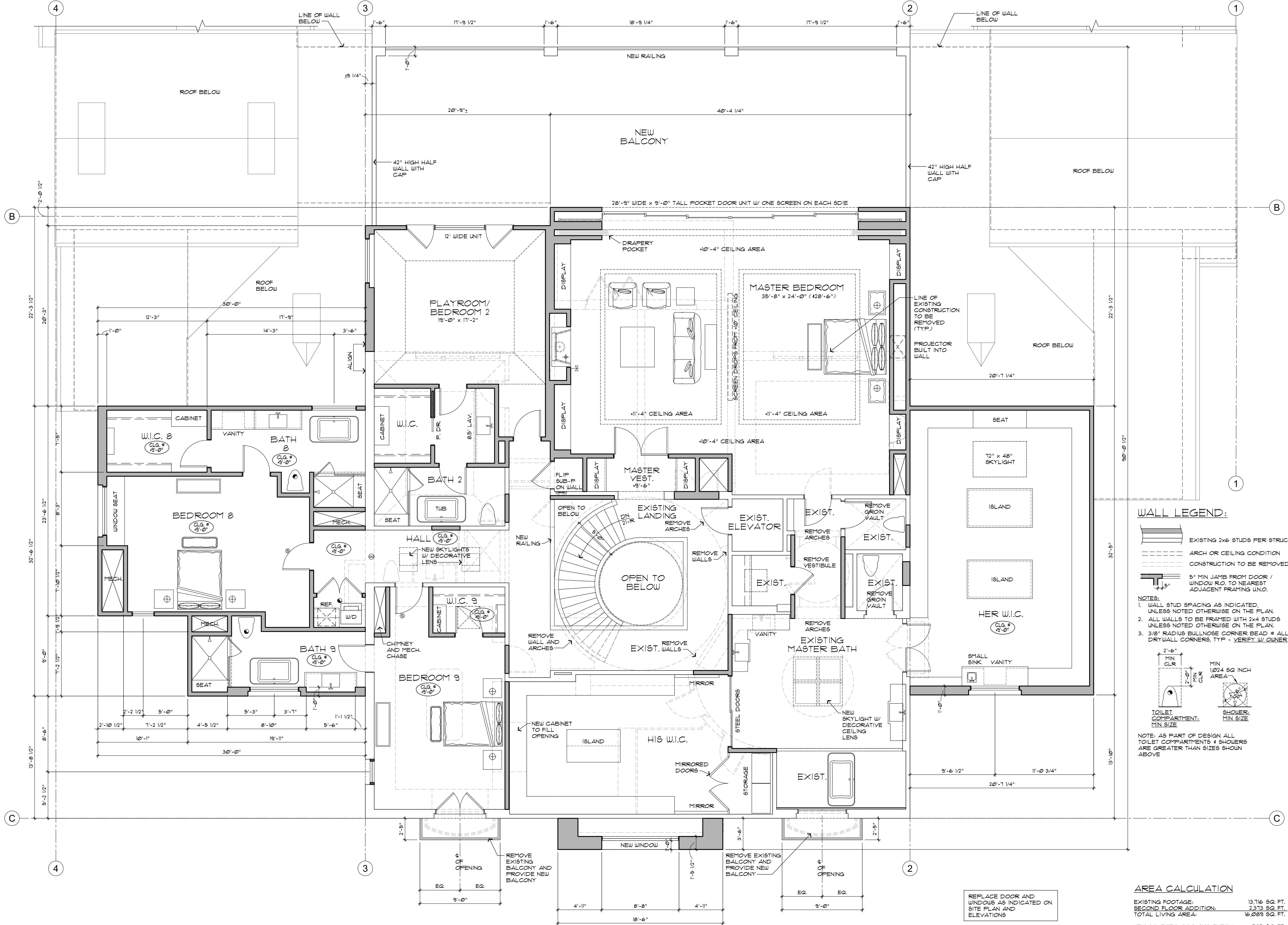
- DOOR CALLOUT
- WINDOW CALLOUT
- FLOOR PLAN NOTE
- SMOKE DETECTOR
- CARBON MONOXIDE ALARM
- CEILING HEIGHT AS INDICATED



NOTE: AS PART OF DESIGN ALL TOILET COMPARTMENTS & SHOWERS ARE GREATER THAN SIZES SHOWN ABOVE

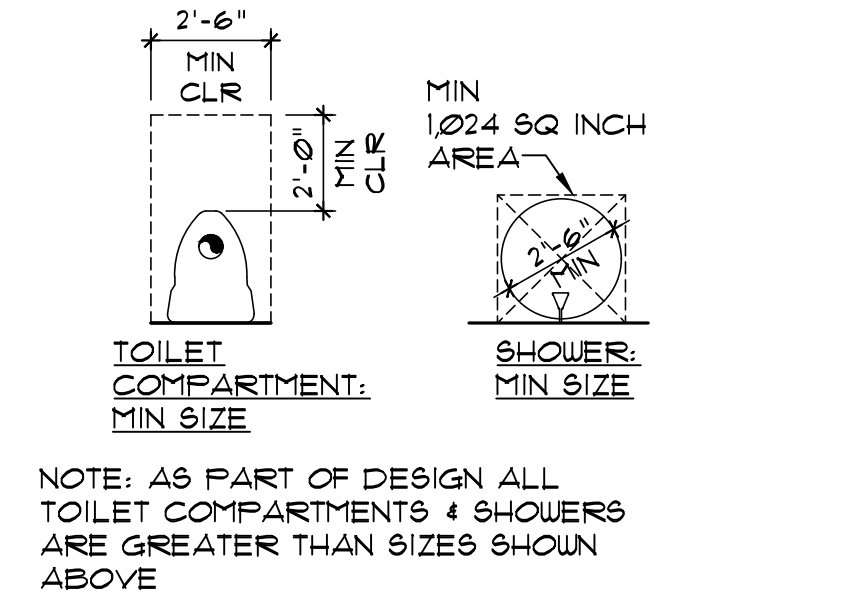
**FIRST FLOOR PLAN**





- WALL LEGEND:**
- EXISTING 2x6 STUDS PER STRUCT.
  - ARCH OR CEILING CONDITION
  - CONSTRUCTION TO BE REMOVED
  - 5" MIN JAMB FROM DOOR / WINDOW R.O. TO NEAREST ADJACENT FRAMING UNO.

- NOTES:**
1. WALL STUD SPACING AS INDICATED, UNLESS NOTED OTHERWISE ON THE PLAN.
  2. ALL WALLS TO BE FRAMED WITH 2x4 STUDS UNLESS NOTED OTHERWISE ON THE PLAN.
  3. 3/8" RADIUS BULLNOSE CORNER BEAD @ ALL DRYWALL CORNERS, TYP - VERIFY W/ OWNER.

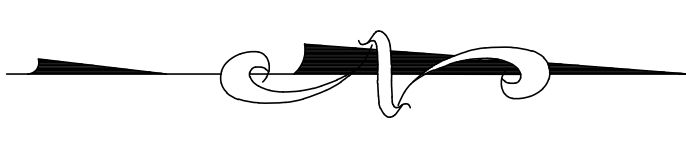


NOTE: AS PART OF DESIGN ALL TOILET COMPARTMENTS & SHOWERS ARE GREATER THAN SIZES SHOWN ABOVE

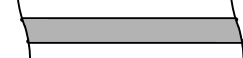
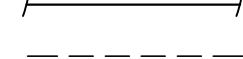


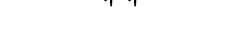
**AREA CALCULATION**

EXISTING FOOTAGE:	13,716 SQ. FT.
SECOND FLOOR ADDITION:	2,373 SQ. FT.
TOTAL LIVING AREA:	16,089 SQ. FT.
NEW COVERED BBQ AND ENTRY:	595 SQ. FT.

**SECOND FLOOR PLAN**



**WALL LEGEND:**

-  NEW 2x6 STUDS PER STRUCT. UNO.
-  EXISTING 2x6 STUDS PER STRUCT.
-  ARCH OR CEILING CONDITION
-  CONSTRUCTION TO BE REMOVED
-  5" MIN JAMB FROM DOOR / WINDOW R.O. TO NEAREST ADJACENT FRAMING UNO.


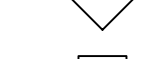


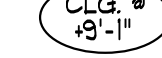

**NOTES:**

1. WALL STUD SPACING AS INDICATED, UNLESS NOTED OTHERWISE ON THE PLAN.
2. ALL WALLS TO BE FRAMED WITH 2x4 STUDS UNLESS NOTED OTHERWISE ON THE PLAN.
3. 3/8" RADIUS BULLNOSE CORNER BEAD @ ALL DRYWALL CORNERS, TYP - VERIFY W/ OWNER

**FLOORING LEGEND:**

MATERIALS/STYLE/COLOR TO BE SELECTED BY OWNER

**SYMBOL LEGEND:**

-  DOOR CALLOUT
-  WINDOW CALLOUT
-  FLOOR PLAN NOTE
-  SMOKE DETECTOR
-  CARBON MONOXIDE ALARM
-  CEILING HEIGHT AS INDICATED

**AREA CALCULATION**

EXISTING FOOTAGE:	13,716 SQ. FT.
SECOND FLOOR ADDITION:	2,273 SQ. FT.
TOTAL LIVING AREA:	16,000 SQ. FT.
NEW COVERED BBQ AND ENTRY:	595 SQ. FT.

**ROOF MATERIAL:**

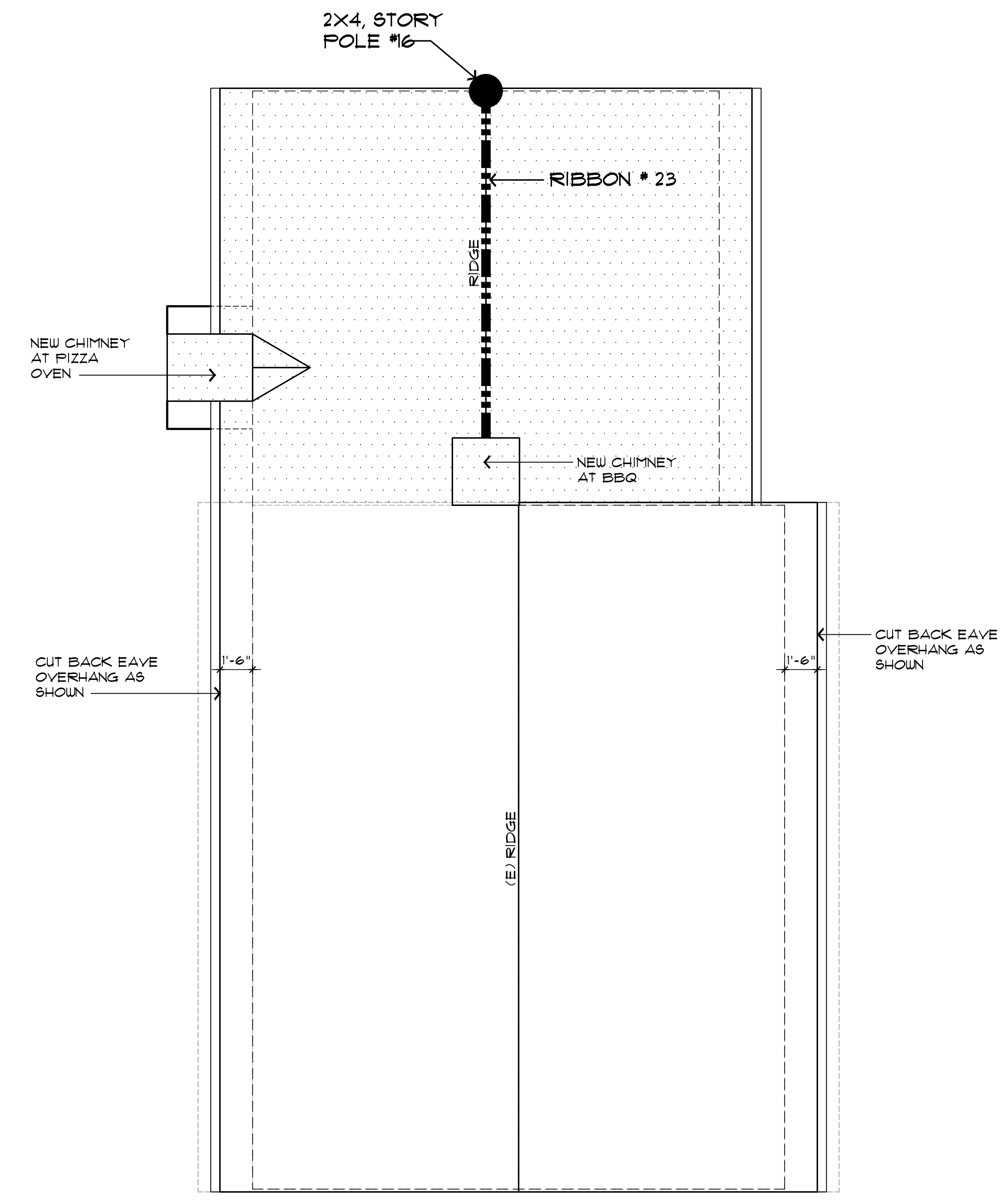
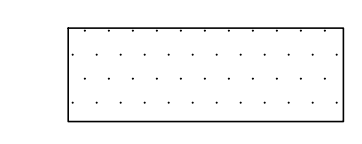
ALL EXISTING & NEW ROOFS TO BE REROOFED WITH CLASS 'A' NATURAL SLATE MATERIAL OVER 2-LAYERS OF 40 LB. FELT.

COLOR: BLACK/CHARCOAL

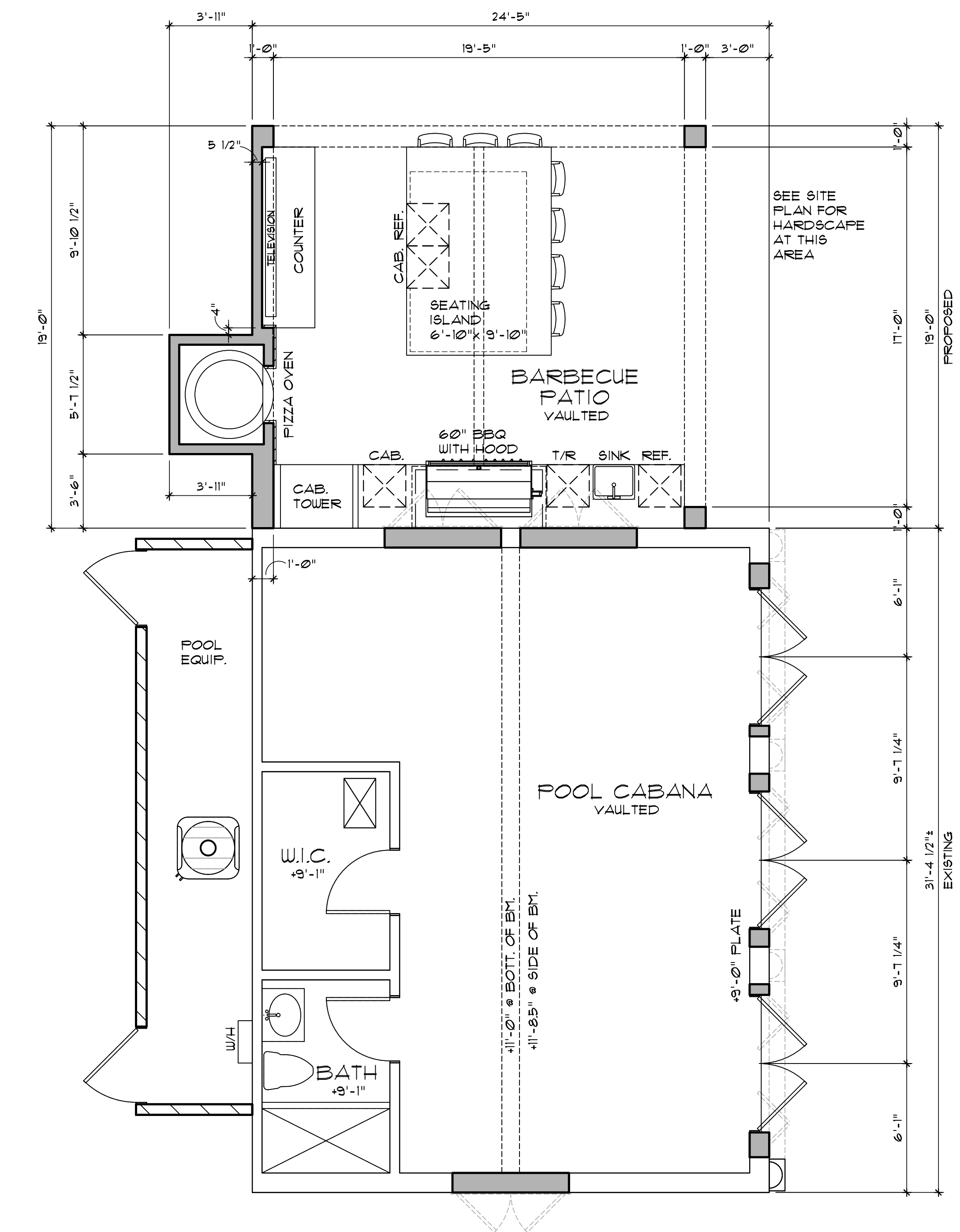
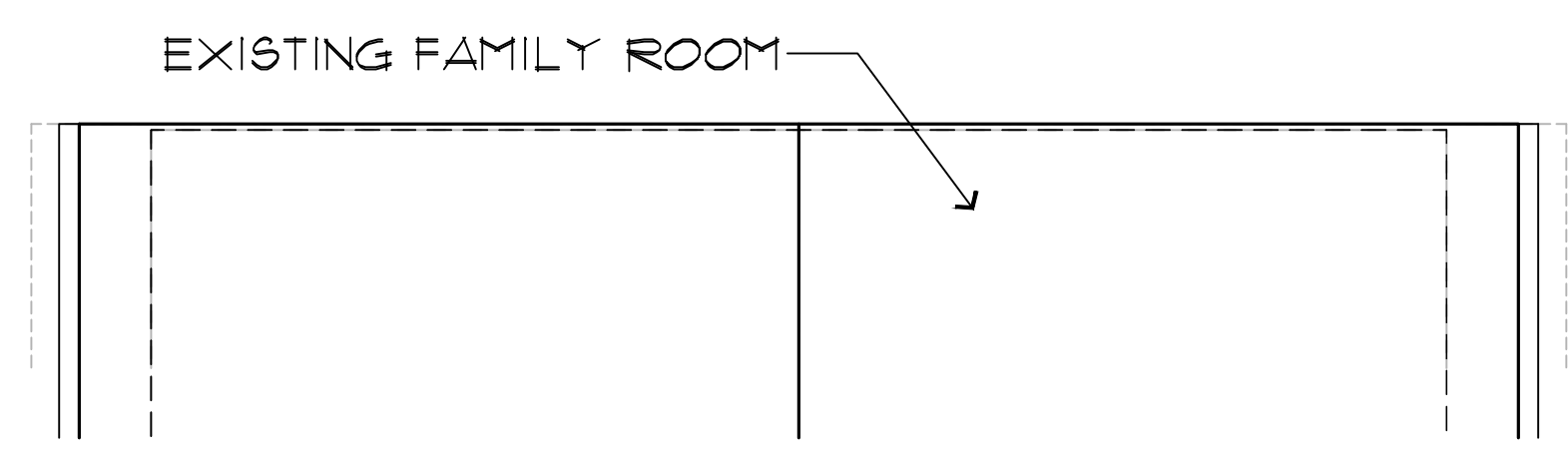
ALL ROOF FLASHING SHALL BE: ALUMINIUM UNO. - PAINT FINISH EXPOSED ROOF FLASHING TO MATCH ROOF COLOR

**LEGEND:**

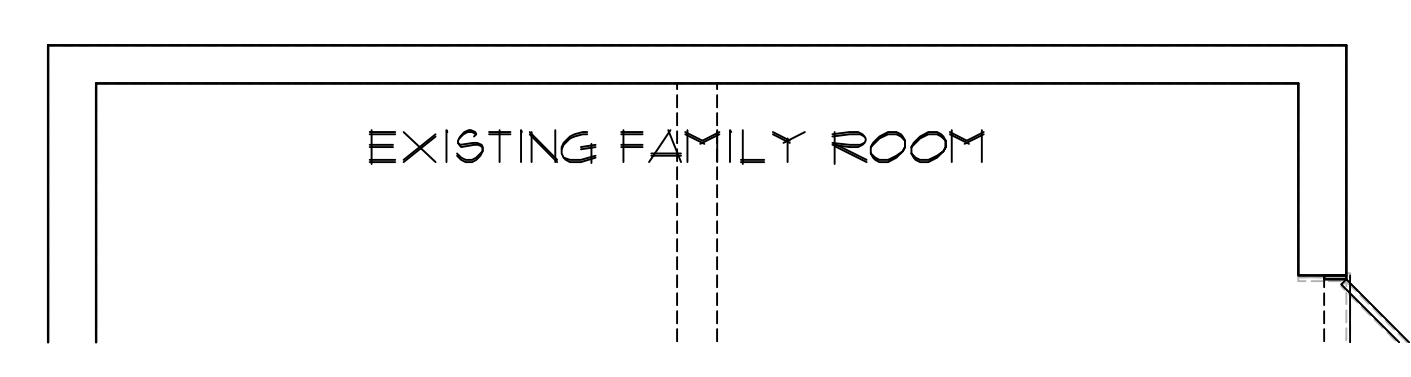
SHADED AREA - NEW ROOF CONSTRUCTION SEE STRUCT. PLANS. EXISTING ROOF CONSTRUCTION TO BE REMOVED AS REQUIRED FOR NEW ROOF CONSTRUCTION. PATCH AND REPAIR EXISTING ROOF SHEATHING, WATERPROOFING, ETC AS NEEDED



**POOL CABANA ROOF PLAN**



**POOL CABANA PLAN**



**ROOF MATERIAL:**

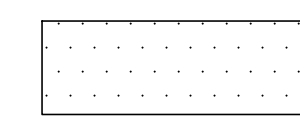
ALL EXISTING & NEW ROOFS TO BE REROOFED WITH CLASS 'A' NATURAL SLATE MATERIAL OVER 2-LAYERS OF 40 LB. FELT.

COLOR: BLACK/CHARCOAL

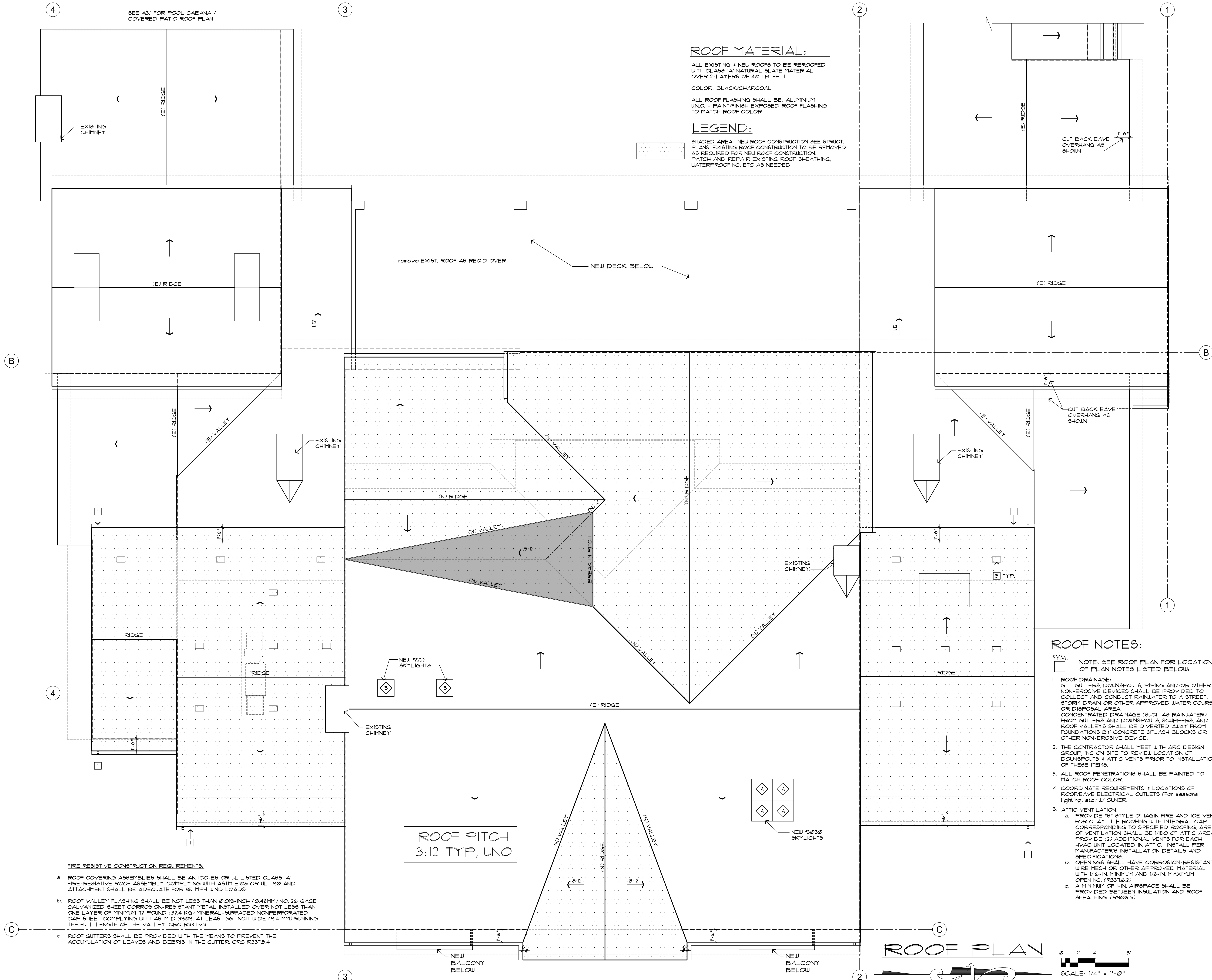
ALL ROOF FLASHING SHALL BE: ALUMINIUM UNO, - PAINT/FINISH EXPOSED ROOF FLASHING TO MATCH ROOF COLOR

**LEGEND:**

SHADED AREA - NEW ROOF CONSTRUCTION SEE STRUCT. PLANS, EXISTING ROOF CONSTRUCTION TO BE REMOVED AS REQUIRED FOR NEW ROOF CONSTRUCTION. PATCH AND REPAIR EXISTING ROOF SHEATHING, WATERPROOFING, ETC AS NEEDED.



SEE A3.1 FOR POOL CABANA / COVERED PATIO ROOF PLAN



**ROOF PITCH  
3:12 TYP, UNO**

**ROOF NOTES:**

- SYM. [Symbol] NOTE: SEE ROOF PLAN FOR LOCATION OF PLAN NOTES LISTED BELOW:
- ROOF DRAINAGE:  
a. GUTTERS, DOWNSPOUTS, PIPING AND/OR OTHER NON-EROSIVE DEVICES SHALL BE PROVIDED TO COLLECT AND CONDUCT RAINWATER TO A STREET, STORM DRAIN OR OTHER APPROVED WATER COURSE OR DISPOSAL AREA.  
b. CONCENTRATED DRAINAGE (SUCH AS RAINWATER) FROM GUTTERS AND DOWNSPOUTS, SCUPPERS, AND ROOF VALLEYS SHALL BE DIVERTED AWAY FROM FOUNDATIONS BY CONCRETE SPLASH BLOCKS OR OTHER NON-EROSIVE DEVICE.
  - THE CONTRACTOR SHALL MEET WITH ARC DESIGN GROUP, INC ON SITE TO REVIEW LOCATION OF DOWNSPOUTS & ATTIC VENTS PRIOR TO INSTALLATION OF THESE ITEMS.
  - ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH ROOF COLOR.
  - COORDINATE REQUIREMENTS & LOCATIONS OF ROOF/EAVE ELECTRICAL OUTLETS (For seasonal lighting, etc) W/ OWNER.
  - ATTIC VENTILATION:  
a. PROVIDE 1" STYLE O'HAGIN FIRE AND ICE VENT FOR CLAY TILE ROOFING WITH INTEGRAL CAP CORRESPONDING TO SPECIFIED ROOFING. AREA OF VENTILATION SHALL BE 1/80 OF ATTIC AREA. PROVIDE (2) ADDITIONAL VENTS FOR EACH HVAC UNIT LOCATED IN ATTIC. INSTALL PER MANUFACTURER'S INSTALLATION DETAILS AND SPECIFICATIONS.  
b. OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8-IN. MINIMUM AND 1/8-IN. MAXIMUM OPENING. (R331.6.2)  
c. A MINIMUM OF 1-IN. AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING. (R806.3)

- FIRE RESISTIVE CONSTRUCTION REQUIREMENTS:**
- ROOF COVERING ASSEMBLIES SHALL BE AN ICC-ES OR UL LISTED CLASS 'A' FIRE-RESISTIVE ROOF ASSEMBLY COMPLYING WITH ASTM E108 OR UL 790 AND ATTACHMENT SHALL BE ADEQUATE FOR 85 MPH WIND LOADS
  - ROOF VALLEY FLASHING SHALL BE NOT LESS THAN 0.019-INCH (0.48MM) NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 12 POUND (32.4 KG) MINERAL-SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D 3920, AT LEAST 36-INCH-WIDE (914 MM) RUNNING THE FULL LENGTH OF THE VALLEY. CRC R3315.3
  - ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. CRC R3315.4





ENGINEER:

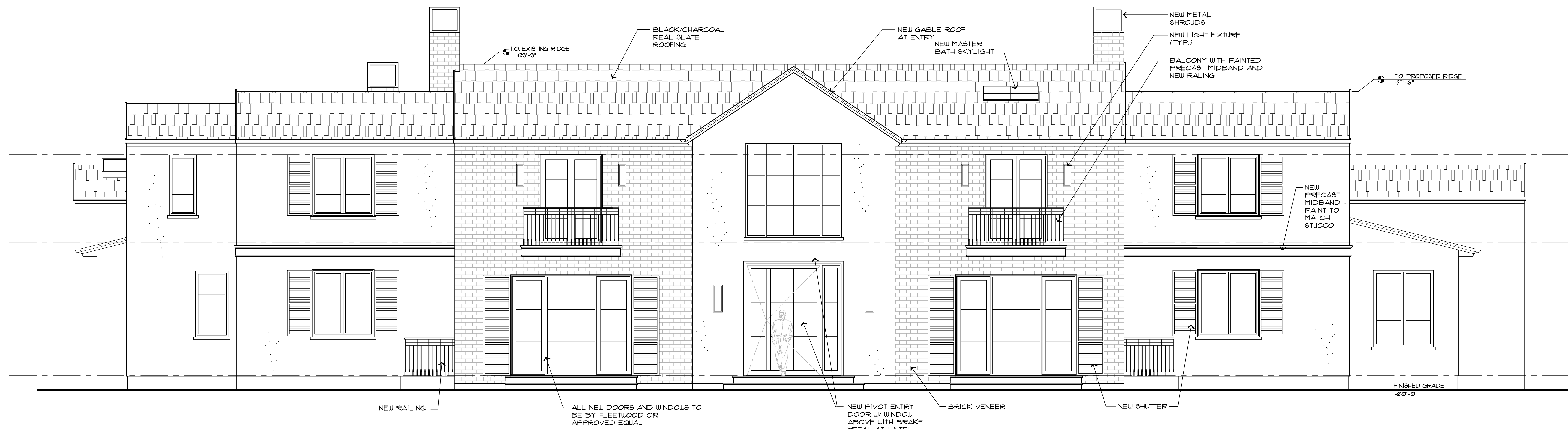
JOHN W. STARLIN, S.E.  
197 WOODLAND  
PARKWAY # 410  
SAN MARCOS, CA  
92069-3020

OWNER:

25400 PRADO DE LA  
FELICIDAD, LLC  
631 N. LARCHMONT BLVD.  
NO. 1  
LOS ANGELES, CA  
90004



EXISTING FRONT (EAST) ELEVATION



PROPOSED FRONT (EAST) ELEVATION

PROJECT: **25400 PRADO DE LA FELICIDAD**  
25400 PRADO DE LA FELICIDAD  
CANAHASAS, CA 91302

A.P.N.: 2069-089-028 TRACT 35596-07 LOT 12

PROPOSED EXTERIOR  
ELEVATIONS

SHEET TITLE

DRAWING SCALE:  
1/4" = 1'-0"

DATE:  
APRIL 28, 2021

REVISIONS:

SHEET NO.

**A6.1**



ENGINEER:

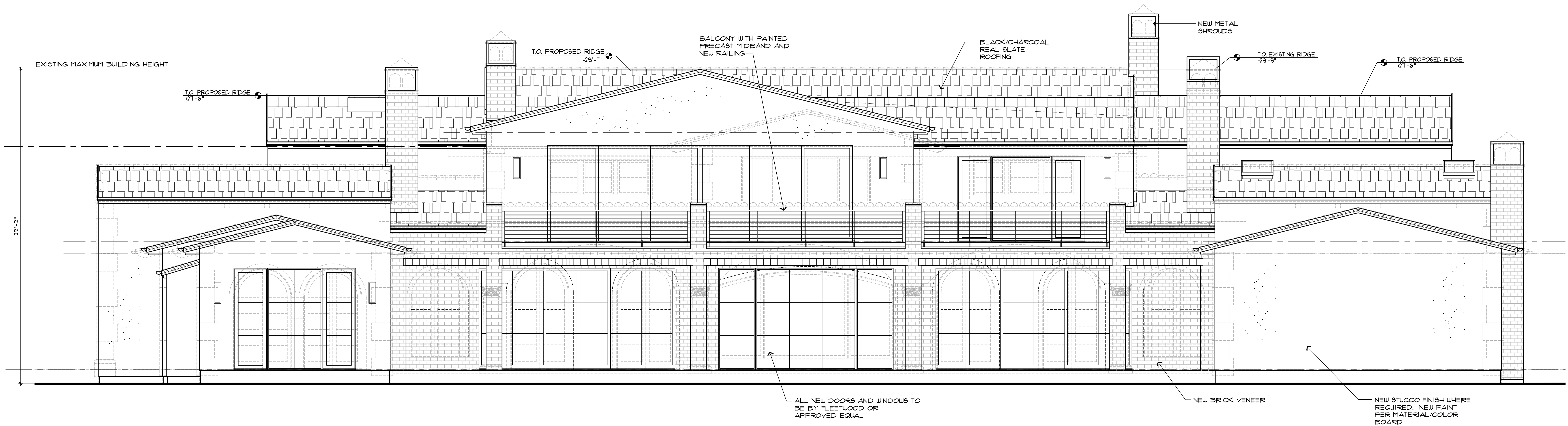
JOHN W. STARLIN, S.E.  
197 WOODLAND  
PARKWAY # 410  
SAN MARCOS, CA  
92069-3020

OWNER:

25400 PRADO DE LA  
FELICIDAD, LLC  
631 N. LARCHMONT BLVD.  
NO. 1  
LOS ANGELES, CA  
90004



EXISTING REAR (WEST) ELEVATION



PROPOSED REAR (WEST) ELEVATION

PROJECT: **25400 PRADO DE LA FELICIDAD**

25400 PRADO DE LA FELICIDAD  
CALABASAS, CA 91302

A.P.N.: 2069-089-012 TRACT 35596-07 LOT 12

SHEET TITLE:  
**EXISTING AND PROPOSED  
EXTERIOR ELEVATIONS**

DRAWING SCALE:  
**1/4" = 1'-0"**

DATE:  
**APRIL 28, 2021**

REVISIONS:

SHEET NO.

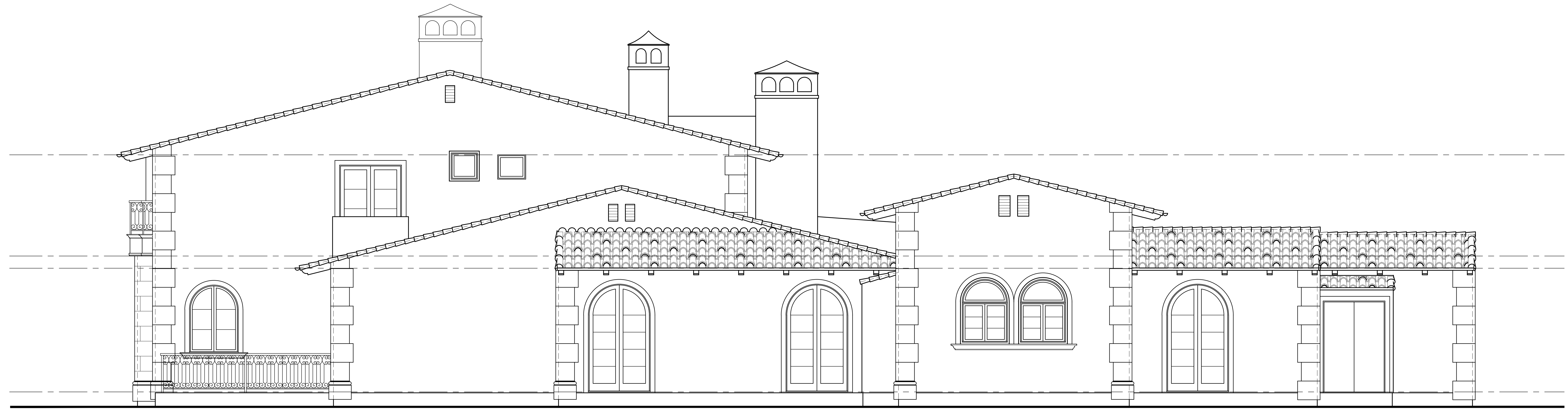
**A6.2**

ENGINEER:

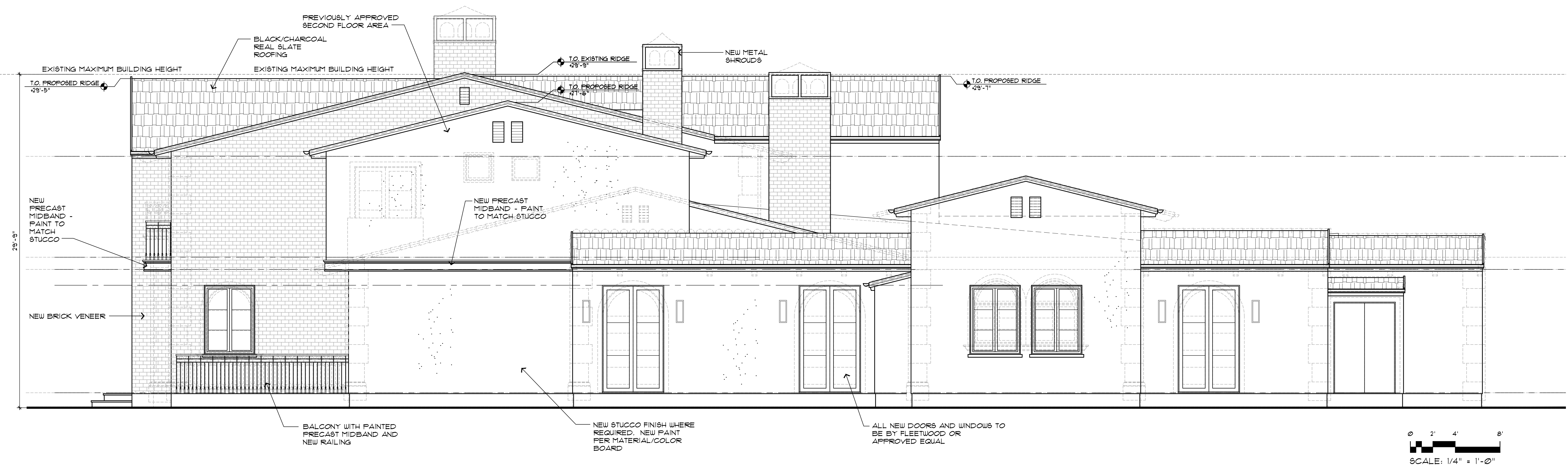
JOHN W. STARLIN, S.E.  
197 WOODLAND  
PARKWAY # 410  
SAN MARCOS, CA  
92069-3020

OWNER:

25400 PRADO DE LA  
FELICIDAD, LLC  
631 N. LARCHMONT BLVD.  
NO. 1  
LOS ANGELES, CA  
90004



EXISTING RIGHT SIDE (NORTH) ELEVATION



PROPOSED RIGHT SIDE (NORTH) ELEVATION

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

PROJECT: **25400 PRADO DE LA FELICIDAD**

25400 PRADO DE LA FELICIDAD  
CALABASAS, CA 91302

A.P.N.: 2069-089-012 TRACT 35596-07 LOT 12

SHEET TITLE:  
**EXISTING AND PROPOSED  
EXTERIOR ELEVATIONS**

DRAWING SCALE:  
1/4" = 1'-0"

DATE:  
APRIL 28, 2021

REVISIONS:

SHEET NO.

**A6.3**



ENGINEER:

JOHN W. STARLIN, S.E.  
197 WOODLAND  
PARKWAY # 410  
SAN MARCOS, CA  
92069-3020

OWNER:

25400 PRADO DE LA  
FELICIDAD, LLC  
631 N. LARCHMONT BLVD.  
NO. 1  
LOS ANGELES, CA  
90004

PROJECT: **25400 PRADO DE LA FELICIDAD**  
25400 PRADO DE LA FELICIDAD  
CALABASAS, CA 91302  
A.P.N.: 2069-089-012 TRACT 35596-07 LOT 12

SHEET TITLE:  
**EXISTING AND PROPOSED  
EXTERIOR ELEVATIONS**

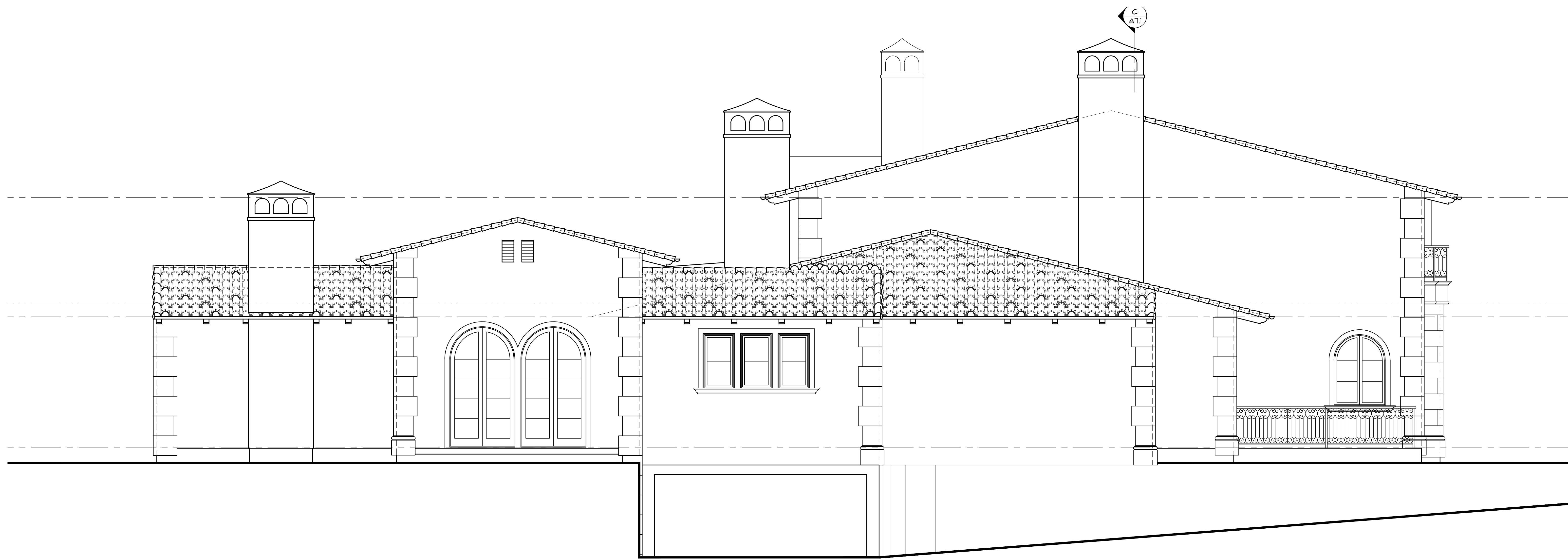
DRAWING SCALE:  
**1/4" = 1'-0"**

DATE:  
**APRIL 28, 2021**

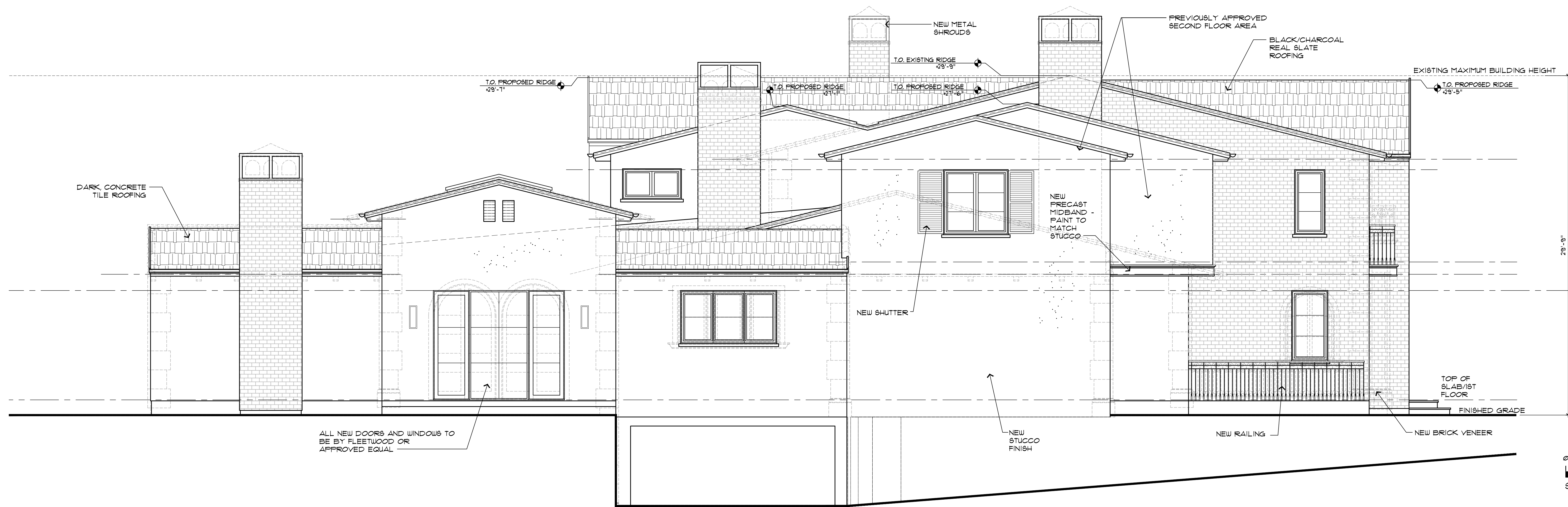
REVISIONS:

SHEET NO.

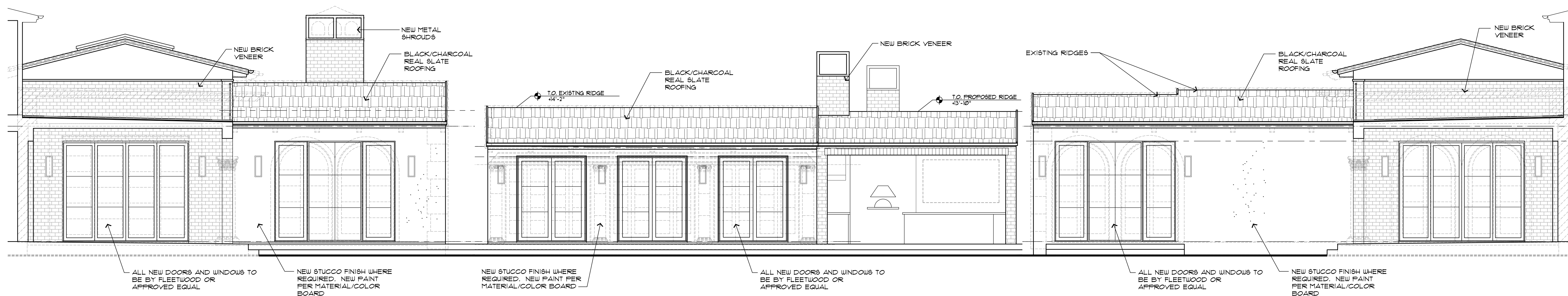
**A6.4**



**EXISTING LEFT SIDE (SOUTH)  
ELEVATION**



**PROPOSED LEFT SIDE  
(SOUTH) ELEVATION**



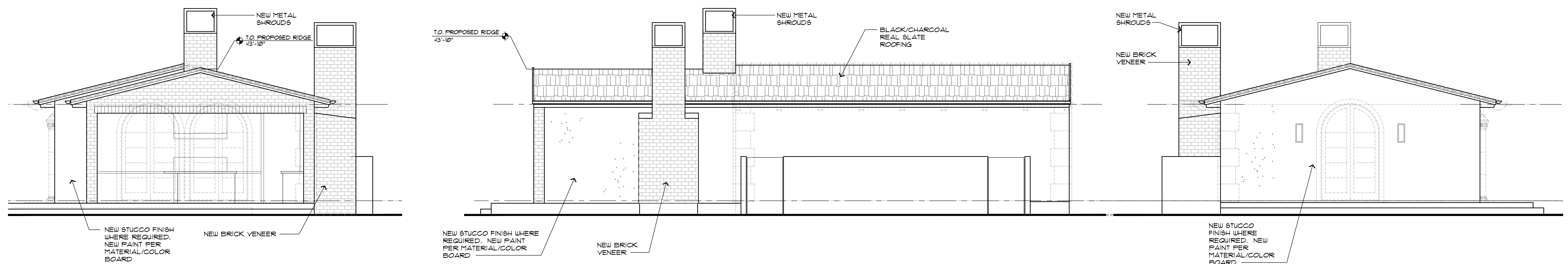
PROPOSED COURTYARD AND POOL CABANA/BBQ ELEVATION

PROPOSED RIGHT COURTYARD ELEVATION

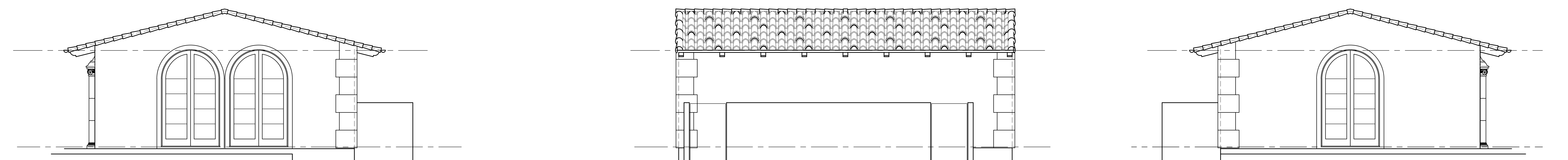


EXISTING LEFT COURTYARD ELEVATION AND POOL CABANA ELEVATION

EXISTING RIGHT COURTYARD ELEVATION



PROPOSED POOL HOUSE ELEVATIONS



EXISTING POOL HOUSE ELEVATIONS

**arc**  
DESIGN GROUP  
ARTISTIC RESIDENTIAL CREATIONS  
175 E. WILBUR ROAD  
SUITE 202  
THOUSAND OAKS, CA 91360  
805 484 4277

ENGINEER:  
JOHN W. STARLIN, S.E.  
197 WOODLAND PARKWAY # 410  
SAN MARCOS, CA  
92069-3020

OWNER:  
25400 PRADO DE LA FELICIDAD, LLC  
631 N. LARCHMONT BLVD.  
NO. 1  
LOS ANGELES, CA  
90004

PROJECT: **25400 PRADO DE LA FELICIDAD**  
25400 PRADO DE LA FELICIDAD  
CALABASAS, CA 91302  
A.P.N.: 2069-089-012 TRACT 35596-07 LOT 12

SHEET TITLE:  
**EXISTING AND PROPOSED EXTERIOR ELEVATIONS**

DRAWING SCALE:  
1/4" = 1'-0"

DATE:  
APRIL 28, 2021

REVISIONS:

SHEET NO.  
**A6.5**