

REV	DESCRIPTION	DATE
01	PLANNING REVIEW	09/21/2020
02	PLANNING REVIEW 02	12/23/2020
03	PLANNING REVIEW 03	01/14/2021
04	PLANNING REVIEW 04	02/04/2021



22601 PAUL REVERE DR | CALABASAS CA | 91302

22601 PAUL REVERE DR.
CALABASAS CA 91302

Architects Seal

Engineer's Seal

COVER SHEET

SHEET
T0.0

PROJECT TEAM

PROPERTY OWNER:
NICOLE & DENNIS GROSSMAN
22601 PAUL REVERE DR.
CALABASAS, CA 91302
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STRUCTURAL ENGINEER:
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HELOU STRUCTURAL DESIGN
5585 RESEDA BLVD.
TARZANA, CA 91356
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PROPERTY DATA

ASSESSOR ID NO. 2078-015-016
TRACT# 27603 LOT 77
ZONE: RS

BUILDING CODE DATA
OCCUPANCY GROUP: R-3 / U-GARAGE
CONSTRUCTION TYPE: V-B
NUMBER OF STORIES: 1
FIRE ZONE: (VHFHSZ)

ZONING REQUIREMENTS
MAXIMUM HEIGHT ALLOWABLE35' - 0"
EXISTING HEIGHT12' - 10"
PROPOSED HEIGHT15' - 6"

SETBACK REQUIREMENTS

SETBACK	MIN. REQUIRED	EXISTING (E)	PROPOSED
FRONT	20' - 0"	22' - 4"	22' - 1"
REAR	15' - 0"	25' - 5"	25' - 5"
SIDE EAST	15' - 0"	22' - 0"	18' - 4"
SIDE WEST	10' - 0"	9' - 9"	9' - 9"

FLOOR AREA CALCULATION

DWELLING		
SFD	(E) AREA	1,058 SF
EXISTING	(R) REMODEL*	960 SF
*CONFORMING- 4 SF NON - CONFRNG - 966 SF		
NEW	(N) NEW AREA	744 SF
TOTAL		
2,762 SF		

NON-CONDITIONED		
ATTACHED 2 CAR GARAGE		403 SF
COVERED ENTRY		12 SF
REAR COVERED PATIO		388 SF

TOTAL MAX RFA ALLOWED 50% OF LOT
LOT PARCEL AREA = 11,750 SF
MAXIMUM ALLOWABLE AREA = 5,875 SF

2,762 SF + 12 SF + 388 SF = 3,162 SF < 5,875 SF

PERVIOUS SURFACE COVERAGE

LOT SIZE = 11,750 SF

EXISTING		PROPOSED	
2,018 SF	(E) SFD FOOTPRINT	744 SF	ADDITION TO SFD FOOTPRINT
403 SF	(E) GARAGE	170 SF	(N) DRIVEWAY EXTENSION
376 SF	(E) DRIVEWAY	-643 SF	(E) FRONT COURTYARD (TO ADDITION)
309 SF	(E) WEST WALKWAY	-22 SF	(E) COVERED ENTRY (TO ADDITION)
643 SF	(E) FRONT COURTYARD	25 SF	ADDITION TO EAST WALKWAY
22 SF	(E) COVERED ENTRY	76 SF	(N) FRONT WALKWAYS
390 SF	(E) EAST WALKWAY	126 SF	(N) FRONT STAIRS
278 SF	(E) FRONT WALKWAYS	12 SF	(N) COVERED ENTRY
TOTAL (E) IMPERVIOUS SURFACE		TOTAL (N) IMPERVIOUS SURFACE	
4,439 SF		488 SF	

% OF (E) SITE IMPERVIOUS SURFACES: 4,439 SF TOTAL PERVIOUS / 11,750 SF LOT SIZE = 37% (E) IMPV. SURFACES
TOTAL IMPERVIOUS SURFACES: 4,439 SF (EXISTING) + 488 SF (PROPOSED) = 4,927 SF

% OF (N) SITE IMPERVIOUS SURFACES: 4,927 SF TOTAL PERVIOUS / 11,750 SF LOT SIZE = 42% (N) IMP SURFACES
TOTAL IMPERVIOUS SURFACES: 11,750 SF LOT SIZE - 4927 SF TOTAL IMPERVIOUS = 6,823 SF TOTAL PERVIOUS

% OF (E) SITE PERVIOUS SURFACES: 7,311 SF TOTAL PERVIOUS / 11,750 SF LOT SIZE = 62% (E) PERVIOUS SURFACES
TOTAL PERVIOUS SURFACES: 11,750 SF LOT SIZE - 4927 SF TOTAL IMPERVIOUS = 6,823 SF TOTAL PERVIOUS

% OF (N) SITE PERVIOUS SURFACES: 6,823 SF TOTAL PERVIOUS / 11,750 SF LOT SIZE = 58% (N) PERVIOUS SURFACES

SITE COVERAGE

LOT SIZE = 11,750 SF

EXISTING		PROPOSED	
2,018 SF	(E) SFD FOOTPRINT	744 SF	ADDITION TO SFD FOOTPRINT
403 SF	(E) GARAGE	12 SF	(N) COVERED ENTRY
388 SF	(E) COVERED PATIO		
TOTAL (E) SITE COVERAGE		TOTAL PROPOSED SITE COVERAGE	
2,809 SF		756 SF	

% OF (E) SITE COVERAGE: 2,809 SF TOTAL / 11,750 SF LOT SIZE = 23% (E) SITE COVERAGE
TOTAL SITE COVERAGE: 2,809 SF (EXISTING) + 756 SF (PROPOSED) = 3,565 SF TOTAL

% OF (N) SITE COVERAGE: 3,565 SF TOTAL / 11,750 SF LOT SIZE = 30.3% (N) SITE COVERAGE

FIRE PREVENTION NOTES

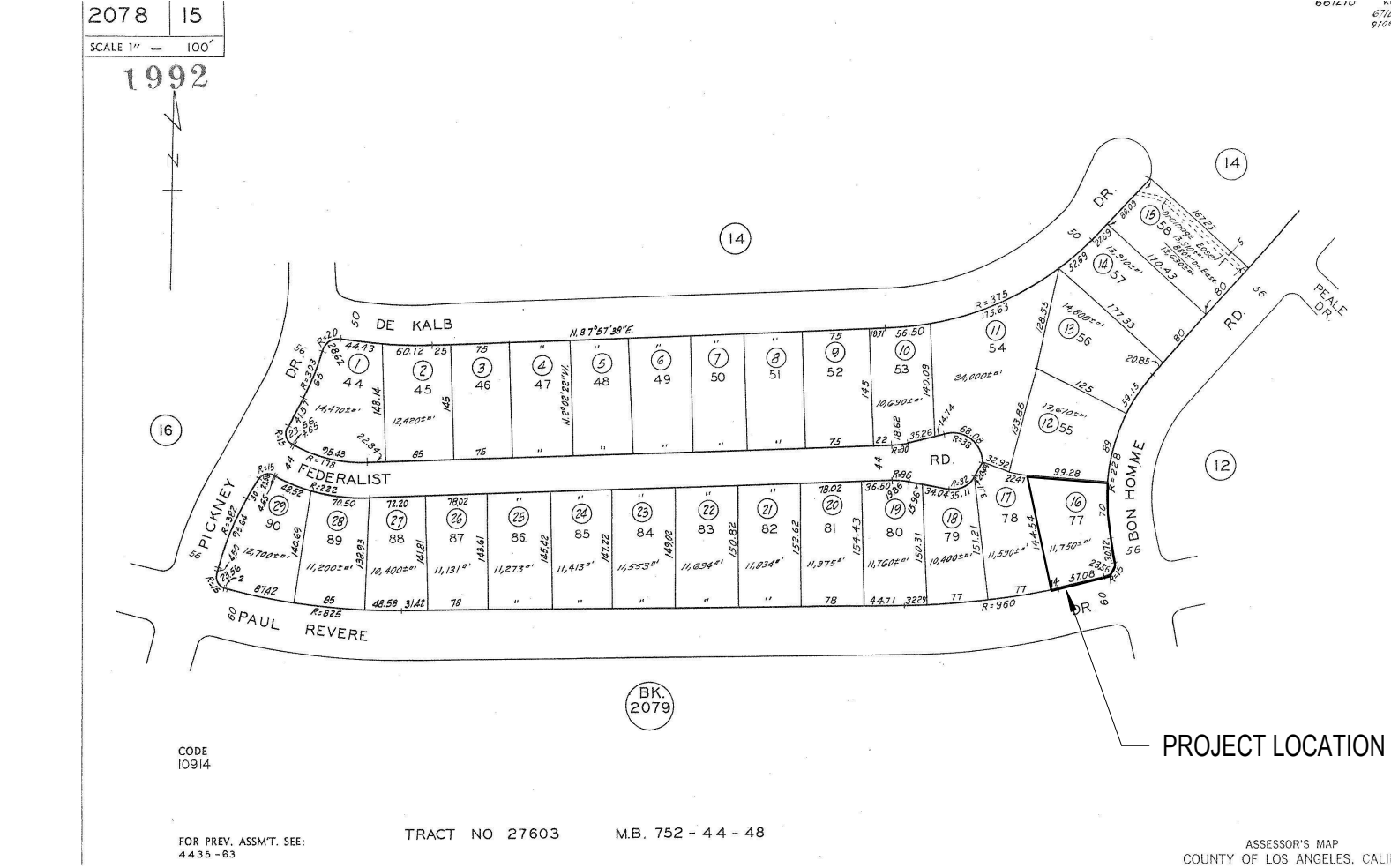
- APPROVED BUILDING ADDRESS NUMBERS, BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STRIPE WIDTH OF 0.5 INCH. (FC 505.1)
- CLEARANCE OF BRUSH AND VEGETATIVE GROWTH SHALL BE MAINTAINED PER FIRE CODE 252

ELEVATION NO. SIM 1 A101
SHEET NO. SECTION NO. 1
DETAIL NO. SIM 1 A101
SHEET NO. 1

ELEVATION
SECTION
DETAIL
KEYNOTE REFERENCE
WALL PARTITION TYPE
WINDOW TAG
DOOR TAG
REVISION NO.
ELEVATION ALTITUDE
SPOT ELEVATION
CHANGE IN ELEVATION
ALIGN

BREAK LINE
CENTERLINE
EXISTING/ NEW DOOR
EXHAUST FAN ENERGY STAR COMPLIANT/ HUMIDISTAT CONTROL
SMOKE DETECTOR
CARBON MONOXIDE DETECTOR
SURFACE FLOW OVER PERVIOUS SURFACE
SURFACE FLOW OVER IMPERVIOUS SURFACE
DRAIN PIPE FLOW DIRECTION
(E) LOCAL AREA DRAIN

ACCESSOR PARCEL MAP



SCOPE OF WORK

INTERIOR REMODEL (TOTAL AREA 960 SF):
MASTER BATHROOM 01 (135 SF), CONVERT BEDROOM TO WIC (86 SF), REMODEL BEDROOM 02 (193 SF) & ADD WIC (50 SF), (N) LAUNDRY ROOM (54 SF)

ADDITION (TOTAL AREA 744 SF):
BEDROOM 03 (231 SF) + WIC (40 SF) + BATH (43 SF), BEDROOM 04 (157 SF) + WIC (32 SF) + BATHROOM 04 (46 SF) EXPANDED ENTRANCE AND ADJACENT AREA IN LIVING ROOM (29 SF + 145 SF)

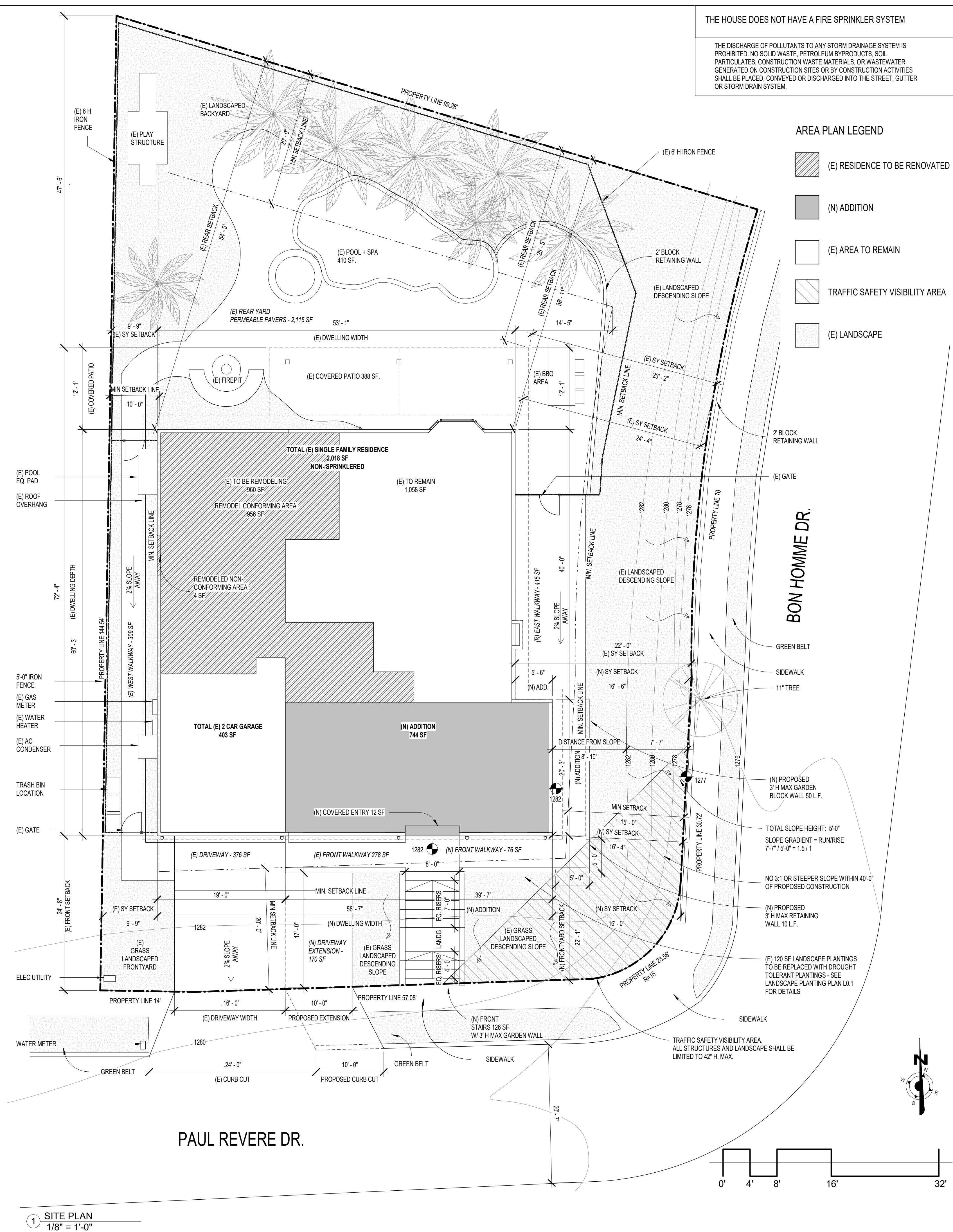
3' H RETAINING WALL 10 L.F.
3' H GARDEN WALL 50 L.F.

APPLICABLE CODES

- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA ENERGY CODE (CENC)
- 2019 CALIFORNIA FIRE CODE (CFC)
- 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE CITY OF CALABASAS AMENDMENTS

DRAWING LIST

T0.0	COVER SHEET	T24-1	TITLE 24 FORMS
T0.1	SITE PLAN	T24-2	TITLE 24 FORMS
T0.2	GENERAL NOTES		
T0.3	TITLE 24 ENERGY NOTES	S-0	STRUCTURAL OBSERVATION NOTES
V0.1	TOPOGRAPHIC SURVEY	S-N	STRUCTURAL NOTES - SHEAR WALL
		S-1	FOUNDATION PLAN EXISTING / PROP.
		S-2	ROOF FRAME PLAN EXISTING / PROP.
A1.0	DEMO PLAN	S-3	DETAILS
A1.1	PROPOSED FLOOR PLAN	S-4	DETAILS
A1.2	ROOF PLAN	S-T	TYPICAL DETAILS
A2.1	ELEVATIONS	HFX1	ANCHORAGE DETAILS - HFX PANELS
A2.2	ELEVATIONS	HFX2	ANCHORAGE DETAILS - HFX PANELS
A3.1	BUILDING SECTIONS	HFX3	ANCHORAGE DETAILS - HFX PANELS
A4.1	SCHEDULES		
A5.1	DETAILS		
A6.1	RCP & LIGHTING PLAN		
L0.1	PLANTING PLAN		



THE HOUSE DOES NOT HAVE A FIRE SPRINKLER SYSTEM

THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

AREA PLAN LEGEND

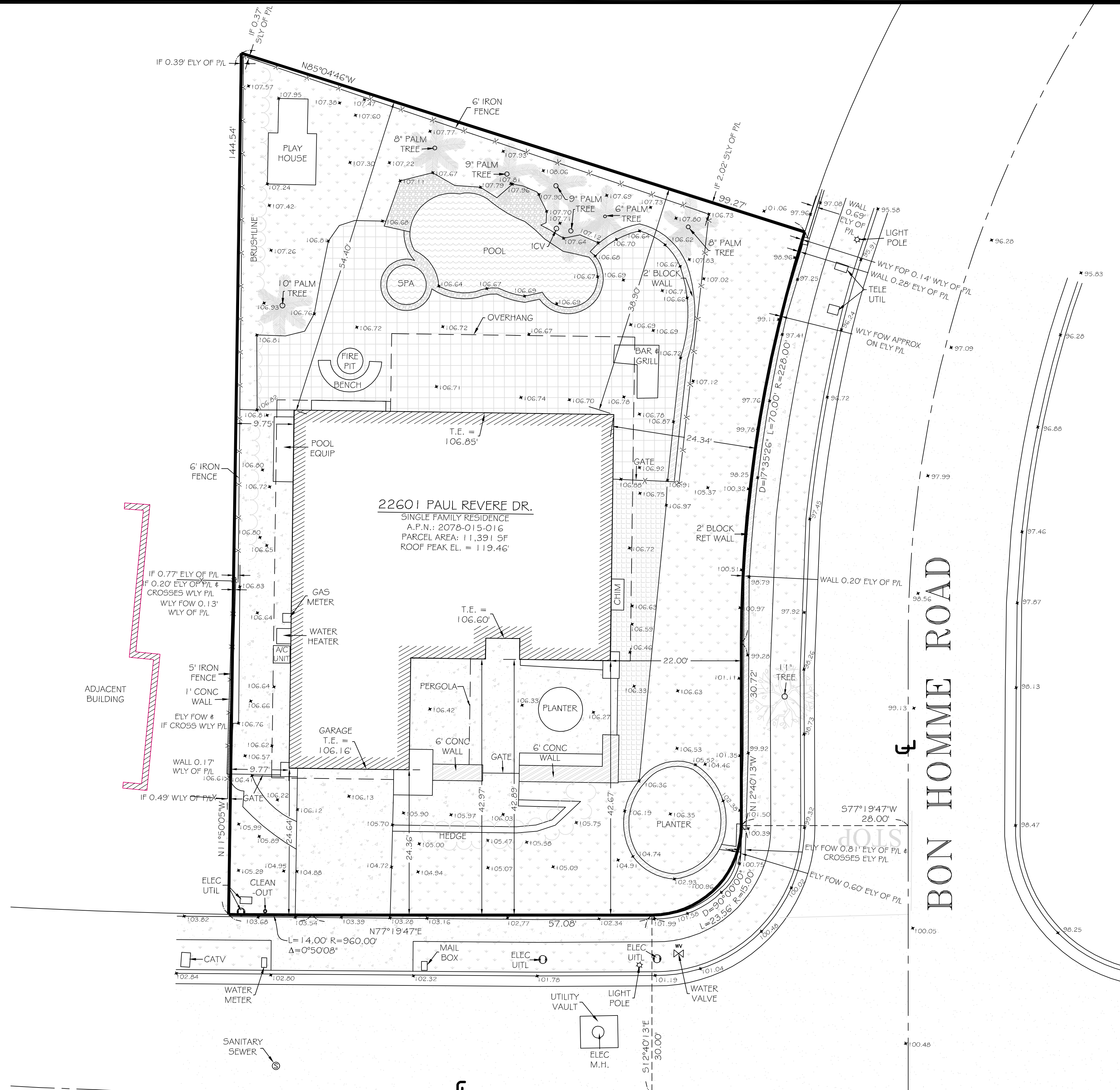
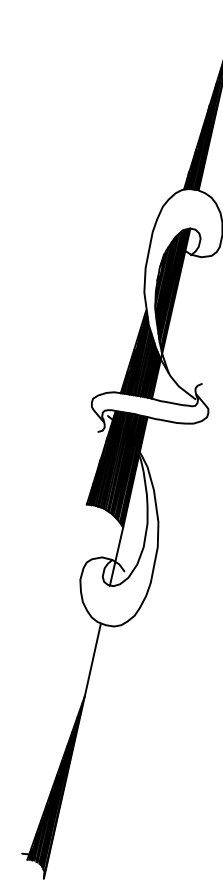
- (E) RESIDENCE TO BE RENOVATED
- (N) ADDITION
- (E) AREA TO REMAIN
- TRAFFIC SAFETY VISIBILITY AREA
- (E) LANDSCAPE

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Architects Seal

Engineer's Seal

SITE PLAN



LEGEND:

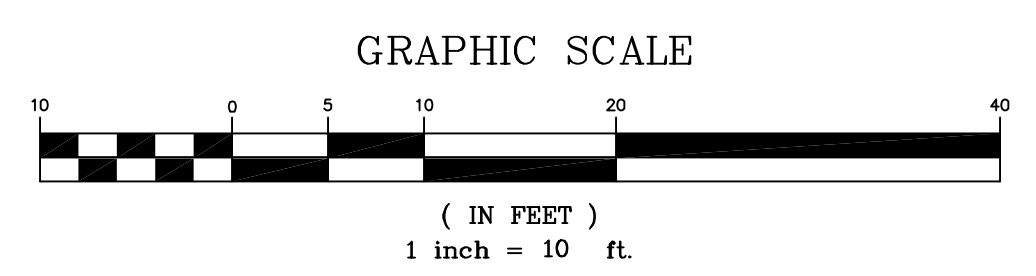
- PROPERTY LINE
- WOOD FENCE
- CHAINLINK FENCE
- X—X— METAL/WIRE FENCE
- OVERHEAD WIRES
- ▨ BUILDING
- ▭ WALL
- ▭ CONCRETE
- ▭ PAVEMENT
- ▭ BLOCK
- ▭ PAVER
- ▭ GRASS/NATURAL GROUND
- SPOT ELEVATION
- TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
- TREE DRIPLINE
- T. E. THRESHOLD ELEVATION

ABBREVIATIONS

A/C	AIR CONDITIONING
CATV	CABLE UTILITY
CL	CENTERLINE
CHIM	CHIMNEY
CONC	CONCRETE
E'LY	EASTERLY
EL	ELEVATION
ELEC	ELECTRIC
FOW	FACE OF WALL
IF	IRON FENCE
MH	MANHOLE
N'LY	NORTHERLY
P/L	PROPERTY LINE
PLTR	PLANTER
RET	RETAINING
S'LY	SOUTHERLY
TELE	TELEPHONE
TYP	TYPICAL
UTIL	UTILITY
W'LY	WESTERLY

LEGAL DESCRIPTION
 LOT 77 TRACT #27603 RECORDED IN BOOK 752 PAGES 44 THROUGH 48 OF LOS ANGELES COUNTY RECORDS

- SURVEYOR'S NOTES**
- PROJECT BENCHMARK: ELEVATIONS ARE ON ASSUMED DATUM.
 - ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY. SMALLER TREES AND SHRUBS ARE NOT SHOWN.
 - DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.

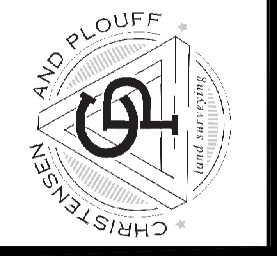


SURVEYOR'S CERTIFICATE
 I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013)
 I FURTHER CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF THE CLIENT.



KACIE A. PLOUFF, PLS 9013

CHRISTENSEN & PLOUFF
 LAND SURVEYING
 2500 BEE CANYON ROAD SUITE 1A
 VALANCIA, CA 91352
 661-445-8300
 www.christensenplouff.com



DATE: 12/02/20
 DRAWING SCALE: 1" = 10'
 PREPARED BY: KACIE PLOUFF
 APPROVED BY: KACIE PLOUFF
 FILE NAME: SCA-20-186-22601 PAUL REVERE DR CALABASAS

22601 PAUL REVERE DR, CALABASAS
 COUNTY OF LOS ANGELES
 STATE OF CALIFORNIA
 APN: 2078-015-016

PROJECT: TOPOGRAPHIC SURVEY

PROJECT NO. SCA-20-186

SHEET NO. 1 OF 1

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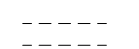
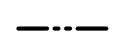
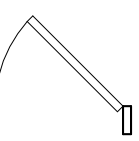

Architects Seal

Engineer's Seal

DEMO PLAN

SHEET
A1.0

SYMBOL LEGEND:

-  EXISTING WALL TO REMAIN
-  EXISTING TO BE DEMOLISHED
-  ONE HOUR FIRE RATED WALL
-  EXISTING DOOR TO REMAIN
-  EXISTING DOOR TO BE REMOVED

DEMOLITION PLAN KEY NOTES:

- 1 DEMOLISH EXISTING INTERIOR WALL
- 2 DEMOLISH EXISTING EXTERIOR WALL
- 3 DEMOLISH EXISTING EXTERIOR WINDOWS
- 4 DEMOLISH EXISTING SHOWER
- 5 DEMOLISH EXISTING DOOR AND FRAME
- 6 DEMOLISH EXISTING COURTYARD PRIVACY WALLS

% OF EXTERIOR WALL TO BE DEMOLISHED:

TOTAL L.F. EXTERIOR WALLS

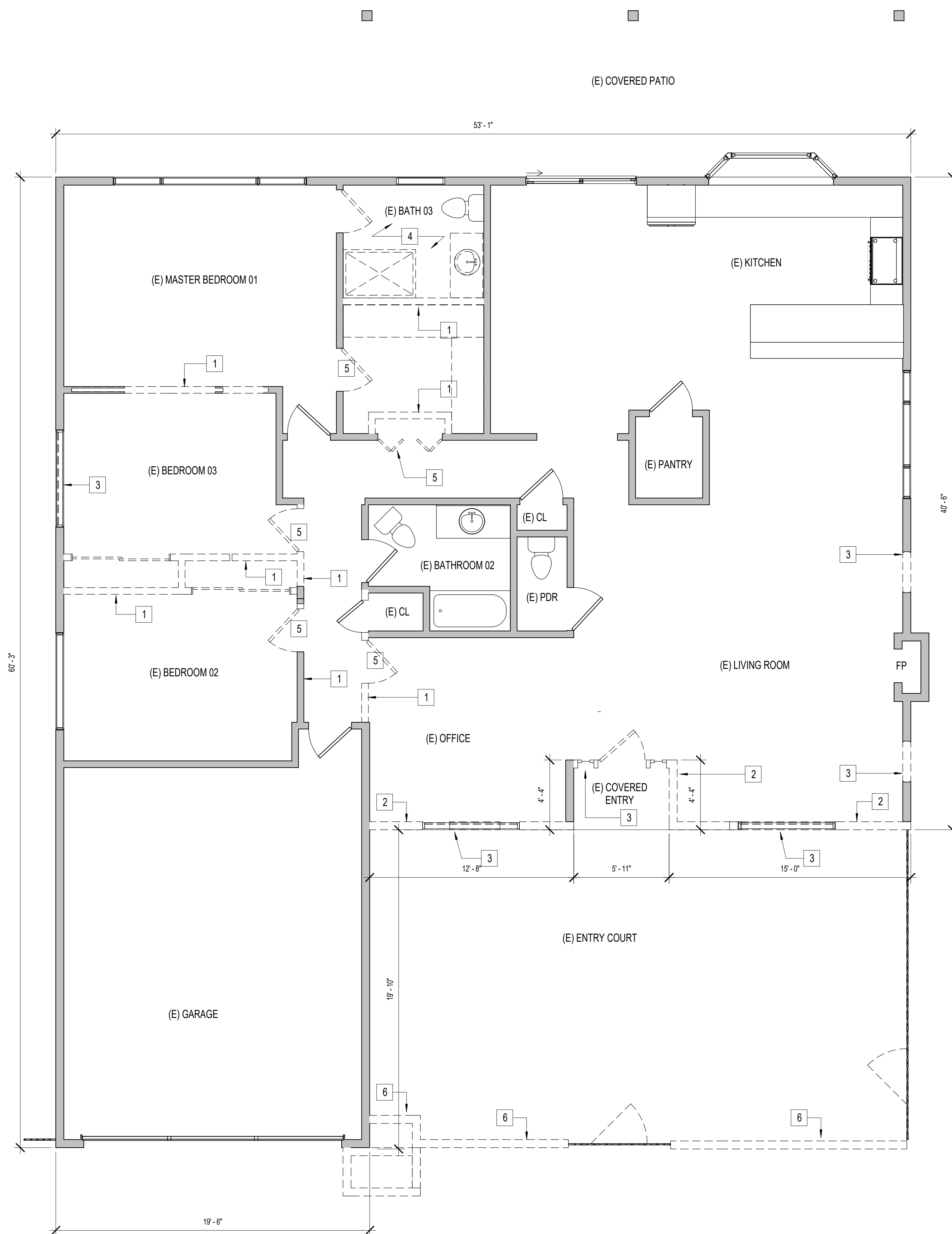
$60'-3" + 53'-1" + 40'-6" + 15'-0" + 4'-4" + 5'-11" + 4'-4" + 12'-8" + 19'-10" + 19'-6" = 235' - 5" \text{ L.F.}$

TOTAL L.F. EXTERIOR WALLS TO BE DEMO

$15'-0" + 4'-4" + 5'-11" + 12'-8" = 36' - 4" \text{ L.F.}$

TOTAL % EXTERIOR WALL TO BE DEMOLISHED:

$36.33 \text{ L.F.} / 235.42 \text{ L.F.} = 15\%$



1 DEMO PLAN
1/4" = 1'-0"

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SYMBOL LEGEND:

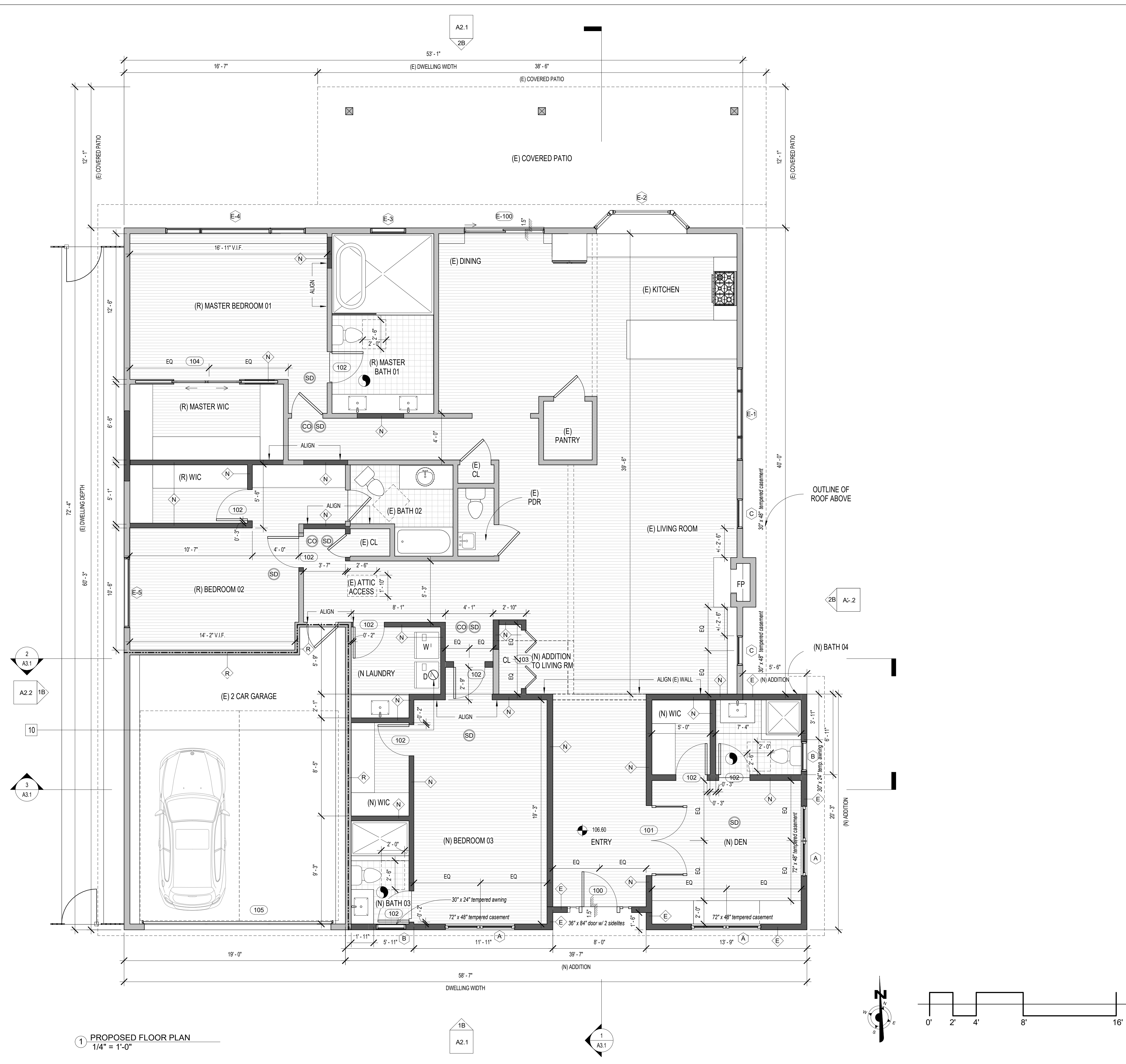
- EXISTING WALL TO REMAIN
- NEW FULL HEIGHT WALL
- ONE HOUR FIRE RATED WALL
- WINDOW TAG
- DOOR TAG
- SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- SMOKE ALARM
- EXISTING DOOR
- NEW DOOR
- WALL TAG. SEE A5.1 FOR WALL ASSEMBLY DETAILS

SMOKE DETECTOR & CARBON MONOXIDE DETECTOR SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72. LOCATE SMOKE DETECTORS IN BEDROOMS, AND HALLWAYS OR ADJACENT ROOMS LEADING TO BEDROOMS (CBC 310.9) SMOKE ALARMS SHALL BE TESTED & MAINTAINED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. SMOKE ALARMS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT. CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH 10 YEAR BATTERY AND HAVE A SILENCE FEATURE. BATTERY CARBON MONOXIDE ALARM IS PERMITTED IN EXISTING DWELLING UNITS WHERE NO CONSTRUCTION IS TAKING PLACE

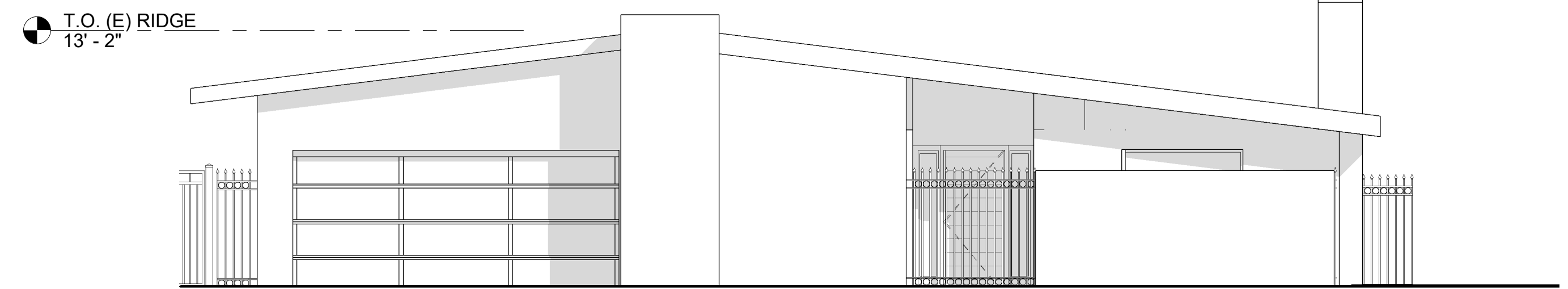
EXHAUST FANS SEC. 4.506.1. MECHANICAL ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY READILY ACCESSIBLE HUMIDISTAT OR WHOLE VENTILATION SYSTEM. A MECHANICAL VENTILATION OF 50-CFM CONTINUOUS VENTILATION ARE PROVIDED

CONSTRUCTION PLAN KEY NOTES:

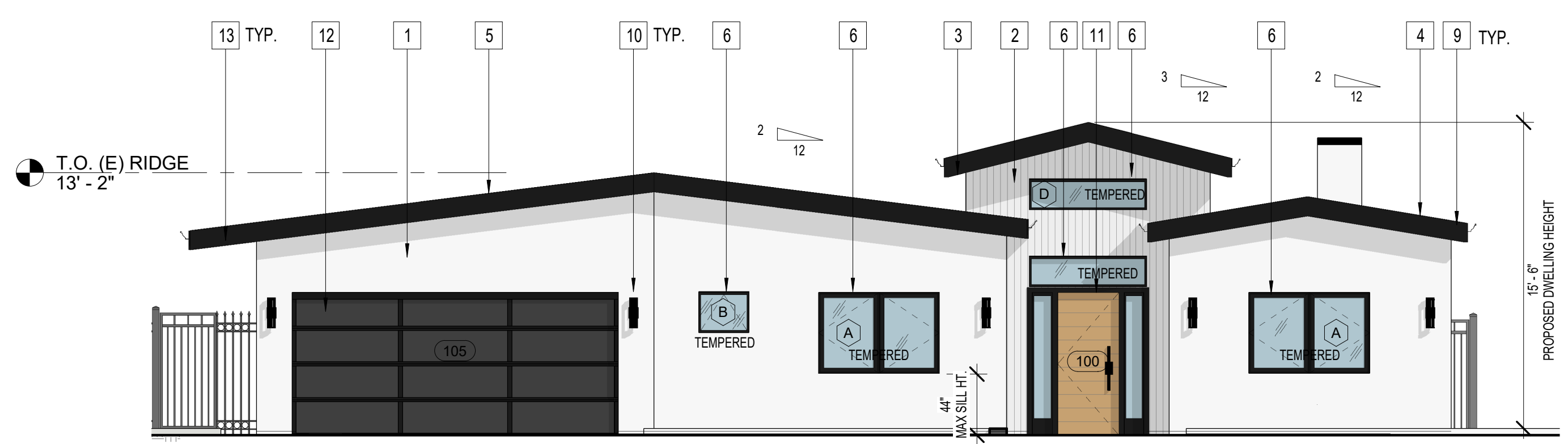
- 1 SMOKE DETECTORS SHALL BE OF 120V WITH BATTERY BACK-UP. LOCATE SMOKE DETECTORS IN BEDROOMS, AND HALLWAYS OR ADJACENT ROOMS LEADING TO BEDROOMS (CBC 310.9)
- 2 ALL WINDOWS WITHIN 24" OF DOOR SHALL BE OF TEMPERED GLASS. (N) EXTERIOR DOORS SHALL COMPLY WITH PRESCRIPTIVE ENERGY CODE REQUIREMENTS (2019 CEnC). SEE FORMS ON SHEET G-04.
- 3 VENTILATION REQUIREMENTS:
 - A. VENTILATION REQUIREMENTS: A. ALL HABITABLE ROOMS, EXCEPT BATHROOMS, AND LAUNDRIES REQUIRE NATURAL VENTILATION BY MEANS OF OPENABLE WINDOWS @ 1/20 FLOOR AREA OF THE ROOM, OR 5 S.F. MIN.
 - B. ALL BATHROOMS REQUIRE NATURAL VENTILATION BY MEANS OF OPENABLE WINDOWS @ 1/20 THE FLOOR AREA OF THE ROOM, OR 1-1/2 S.F. MINIMUM. (WHEN NATURAL VENTILATION IS SUBSTITUTED WITH MECHANICAL VENTILATION, MECHANICAL VENTILATION SHALL PROVIDE 5 AIR CHANGES PER HOUR
- 4 SHOWER & TUB ENCLOSURES SHALL BE OF TEMPERED GLASS (CBC 2406.4). WINDOWS AT SHOWERS & TUBS SHALL BE OF TEMPERED GLASS, IF LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET (CBC 2406.4)
- 5 PROVIDE 72" HIGH NON-ABSORBENT FINISH @ SHOWER WALLS (CBC 807.1.3)
- 6 LIGHT REQUIREMENTS : ALL HABITABLE ROOMS, EXCEPT BATHROOMS, KITCHENS, AND LAUNDRY ROOM REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS @ 1/10 THE FLOOR AREA OF THE ROOM, OR 10 S.F. MINIMUM, WHICHEVER IS GREATER. (CBC 1203.2)
- 7 A. BATHROOM EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
B. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1)
- 8 BATHROOM EXHAUST FAN: 50 CFM MIN. EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED/ TERMINATE OUTSIDE OF THE BUILDING COMPLYING WITH THE 2013 TITLE 24 AND ASHRE 62.2 STANDARDS. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL AS REQUIRED BY ENERGY BUILDING STANDARD AND COMPLY WITH CRC R303.3
- 9 ALL INTERIOR AND EXTERIOR STAIRS SHALL BE ILLUMINATED (R303.7)
- 10 WASHER & DRYER REQUIREMENTS: VENT DRYER TO OUTSIDE THROUGH EXTERIOR WALL OR ROOF (FLASH ROOF AS REQ'D). PROVIDE PAN & DRAIN AT WASHER AREA. DRYER VENT DUCTING MUST BE 4-IN IN DIAMETER AND LENGTH IS LIMITED TO 14 FT WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FT FOR EVERY ELBOW IN EXCESS OF TWO.
- 11 ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING TYPE VALVE.
- 12 ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 IN ABOVE THE CONTROLS PCS08.2. TANKLESS WATER HEATER "SENSEI RUI199" BY RINNAI OR SIMILAR AS PER TITLE 24. SEE A5-01 FOR SPECIFICATIONS.
- 13 DUCTLESS MINI- SPLIT. SEE TITLE 24 FOR MORE REQUIREMENTS. CONDENSING UNITS SHALL REST ON CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3 INCHES FROM GROUND.
- 14 PER HIGH EFFICACY LIGHTING REQUIREMENTS OF THE ENERGY CODE, SHOW COMPLIANCE TO THE FOLLOWING:
 - A. ALL INSTALLED LIGHTING SHALL BE HIGH EFFICACY
 - B. ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH NEMA SSL 7A.
 - C. EXTERIOR LIGHTING ATTACHED TO THE STRUCTURE SHALL BE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR + PHOTOCONTROL
- 15 KITCHEN VENTILATION SYSTEM (RANGE HOOD) DUCTED TO THE OUTSIDE AIR, COMPLYING WITH THE 2019 TITLE 24 AND ASHRE 62.2 STANDARDS. THIS INCLUDES A MAXIMUM SOUND RATING OF 3 SONE @ 100CFM. (MC 402.1.2)
- 16 A. IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH THE GENERAL PROVISIONS SPECIFIED IN 210.52(A)(1) THROUGH (A)(4)
B. IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS, AND SIMILAR AREAS OF DWELLING UNITS, RECEPTACLES FOR COUNTERTOP SPACES SHALL BE INSTALLED IN ACCORDANCE WITH 210.52(C) THROUGH (C)(5)
- 17 MINIMUM 15 AMP CIRCUIT FOR THE DISHWASHER IS TO BE PROVIDED. A LISTED AIR GAP IS REQUIRED FOR THE DISHWASHER DRAIN. SEE DRAIN REQUIREMENTS DETAIL.
- 18 THE BUILDING SHALL HAVE WATER CLOSETS (TOILETS), WHICH USE NO MORE THAN 1.6 GALLONS PER FLUSH.
- 19 BATHROOM PROVIDES A CEILING HEIGHT OF NO LESS THAN 6'-8" AT THE CENTER OF THE FRONT CLEARANCE AREA FOR FIXTURES
- 20 FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULK, PAINTS & COATINGS, CARPET SYSTEMS, ETC SHALL MEET THE (VOC) EMISSION LIMITS PER CHAPTER 4 CALIFORNIA GREEN BUILDING STANDARDS CODE.
- 21 NEW UTILITIES, INCLUDING RE-ROUTED ELECTRICAL LINES, SHALL BE PLACED UNDERGROUND



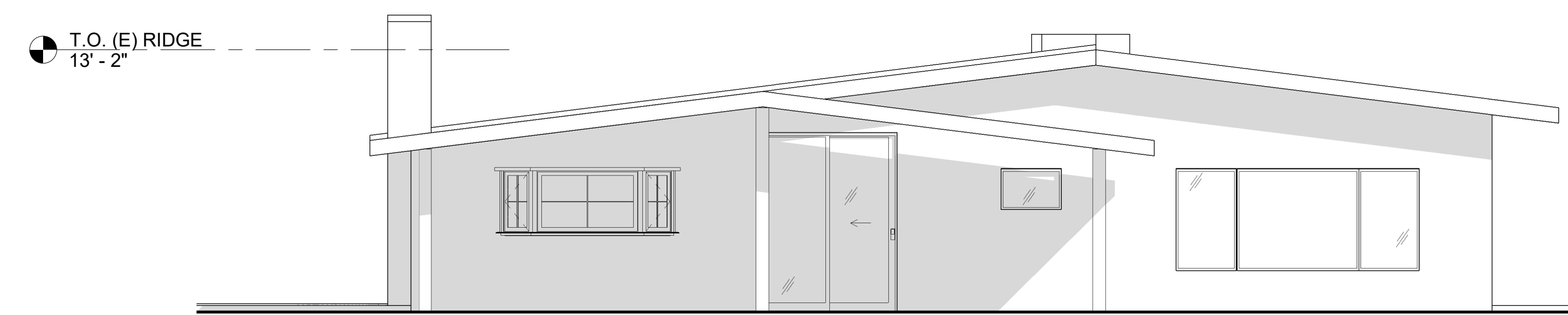
1 PROPOSED FLOOR PLAN
1/4" = 1'-0"



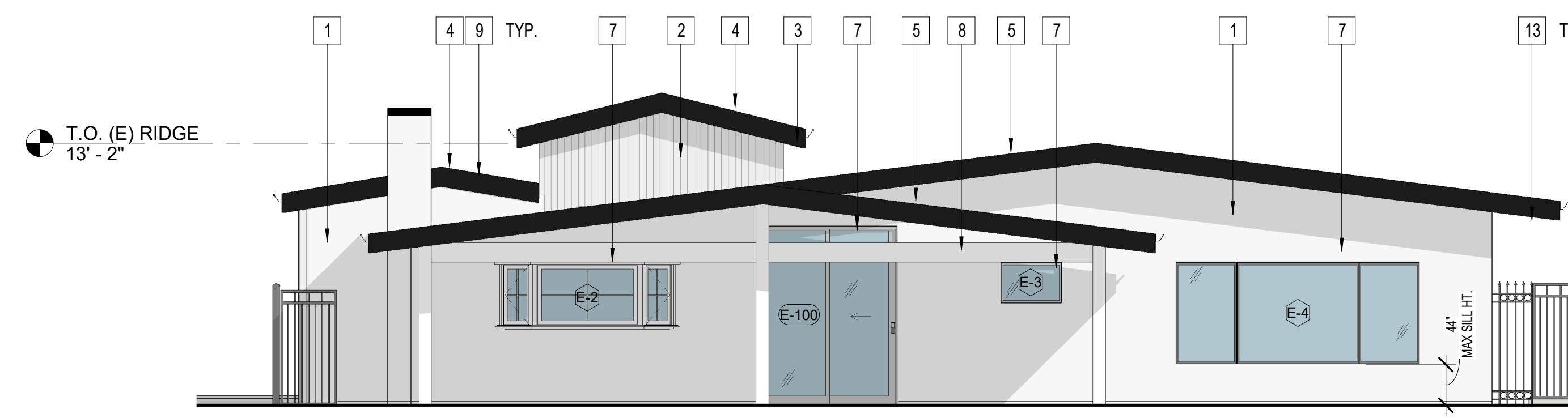
1A EXISTING SOUTH ELEVATION / FRONT
3/16" = 1'-0"



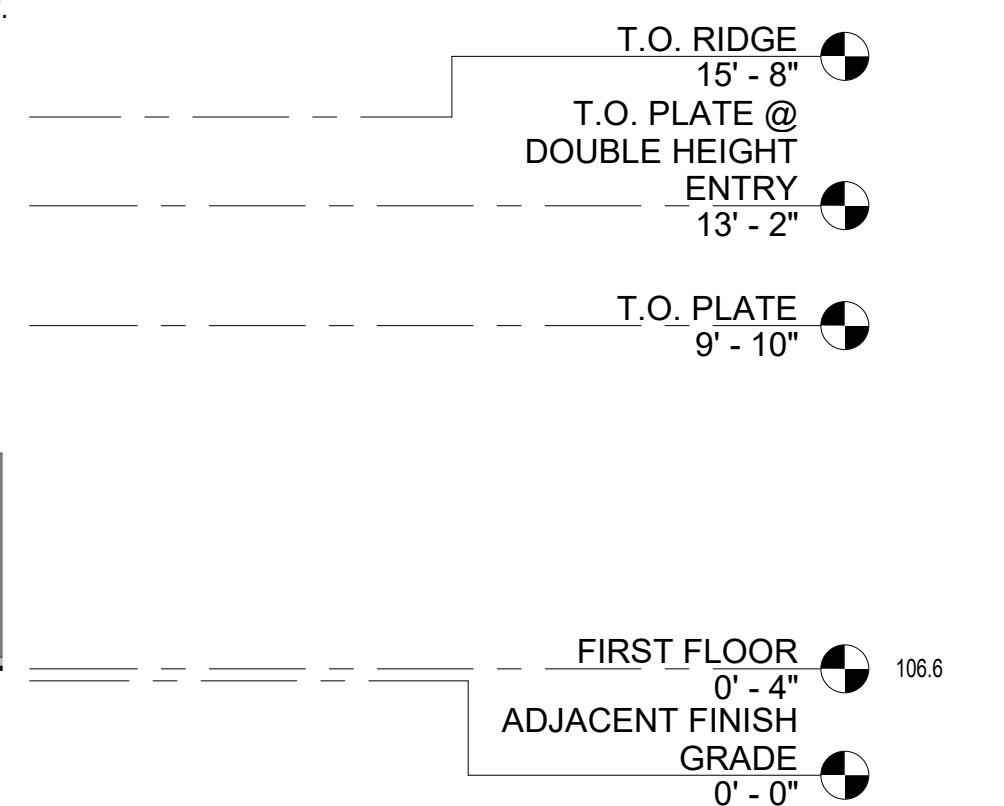
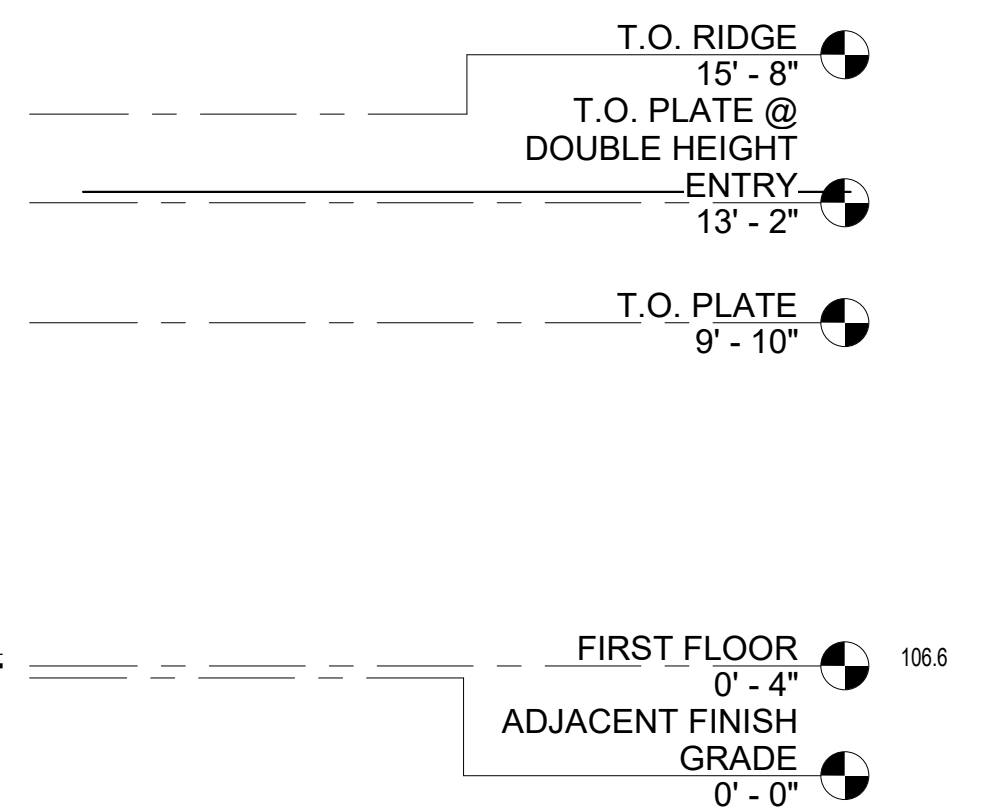
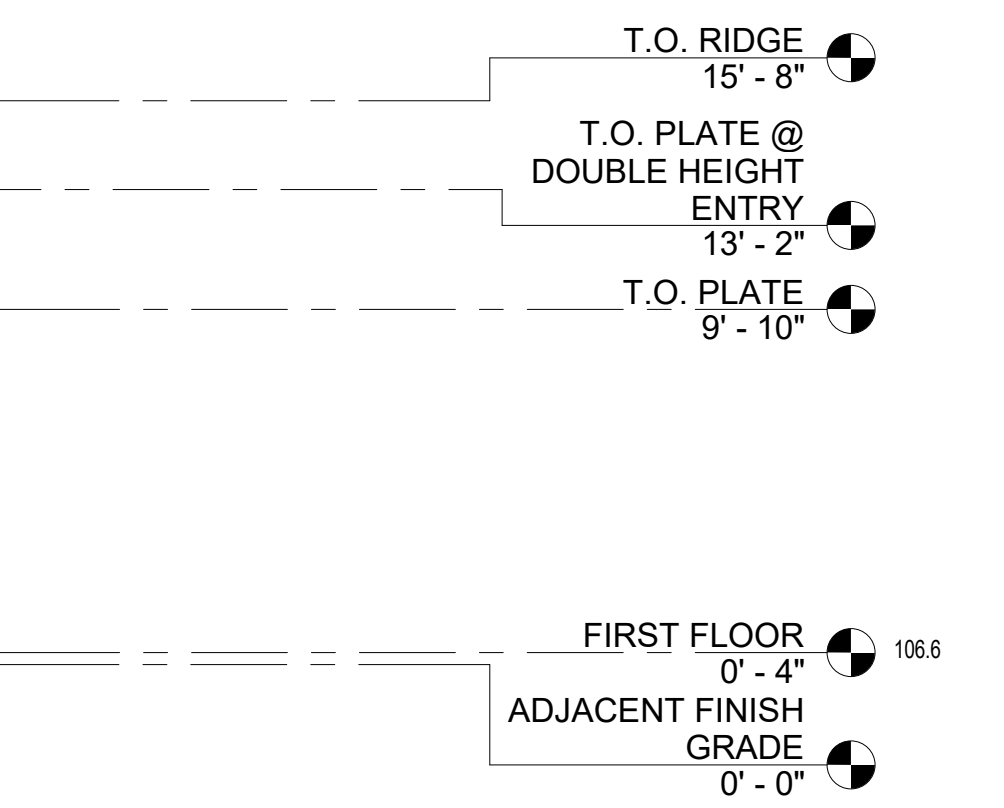
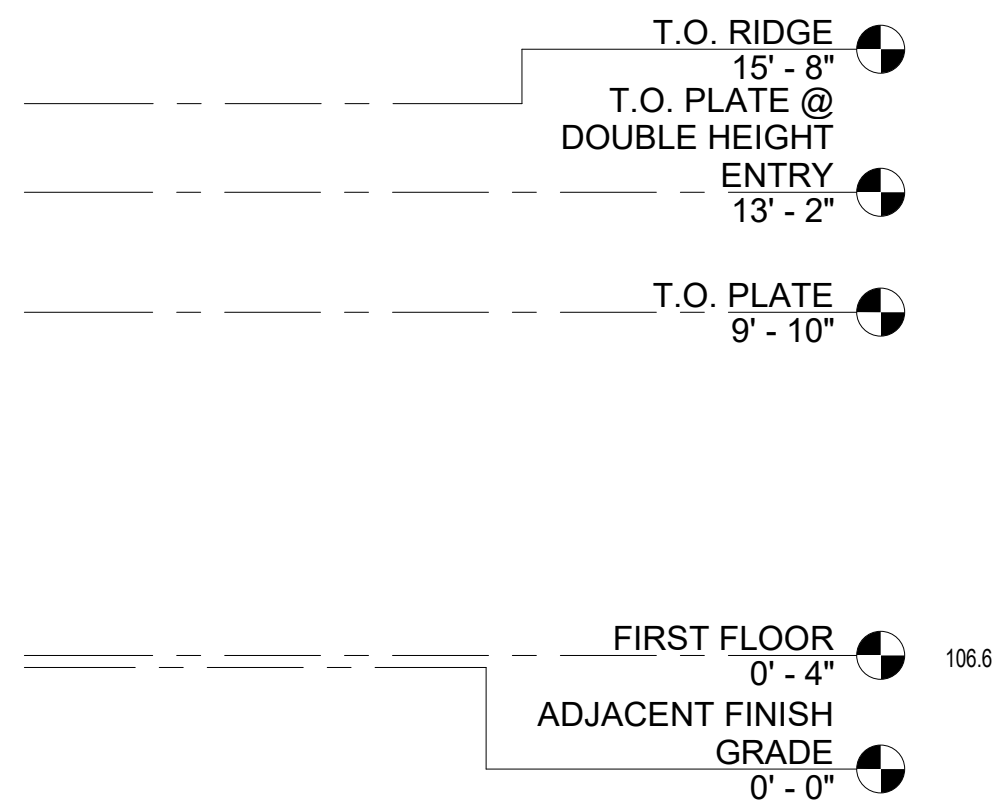
1B PROPOSED SOUTH ELEVATION / FRONT
3/16" = 1'-0"



2A EXISTING NORTH ELEVATION / REAR
3/16" = 1'-0"



2B PROPOSED NORTH ELEVATION / REAR
3/16" = 1'-0"



ELEVATION KEY NOTES:

- 1 7/8" EXTERIOR CEMENT PLASTER OVER METAL LATH OVER 15# FELT. COLOR TO BE "MOUNTAIN SUMMIT" MS-47 BY BEHR OR EQUAL
- 2 HARDI-BOARD VERTICAL BATTEN SIDING OR EQUAL. COLOR TO BE ARCTIC WHITE.
- 3 EXPOSED UNDERSIDE SHALL BE CEDAR WOOD SIDING OVER TYPE X GYPSUM BOARD ON UNDERSIDE OF EAVE. "REAL CEDAR CO." WESTERN RED CEDAR 8" WIDTH TONGUE & GROOVE "CLEAR HEART" GRADE OR EQUAL. 5/8" TYPE X EXTERIOR GYPSUM BOARD, I.E. DENSGLAS OR EQUAL
- 4 (N) CLASS A ROOF. SEE ROOF PLAN FOR MORE INFO
- 5 EXISTING ROOF MATERIAL TO BE REPLACED W/ CLASS A ROOF. SEE ROOF PLAN FOR MORE INFO
- 6 (N) WINDOW BLACK ALUMINUM FRAME
- 7 (E) WINDOW / DOOR TO REMAIN
- 8 (E) COVERED PATIO TO REMAIN
- 9 12" FASCIA BOARD. COLOR TO BE "BELUGA" 770F-7 BY BEHR OR EQUAL
- 10 DOWN LED OUTDOOR WALL LIGHT BY KICHLER. 7" LONG IN TEXTURED BLACK OR EQUAL
- 11 SOLID WOOD ENTRY DOOR W/ WHITE OAK SLATS NATURAL STAIN W/ 2 BLACK FRAME SIDELITES
- 12 GARAGE DOOR TO BE "OVERHEARD DOOR COMPANY" MODERN ALUMINUM GARAGE DOOR. BLACK POWDER COATED FRAME W/ GRAY TINT OR EQUAL
- 13 EXPOSED UNDERSIDE SHALL BE PAINTED WOOD OVER TYPE X GYPSUM BOARD. COLOR TO BE "MOUNTAIN SUMMIT" MS-47 BY BEHR OR EQUAL. 5/8" TYPE X EXTERIOR GYPSUM BOARD, I.E. DENSGLAS

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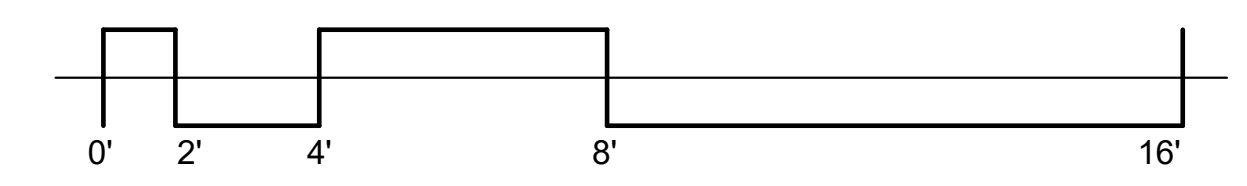
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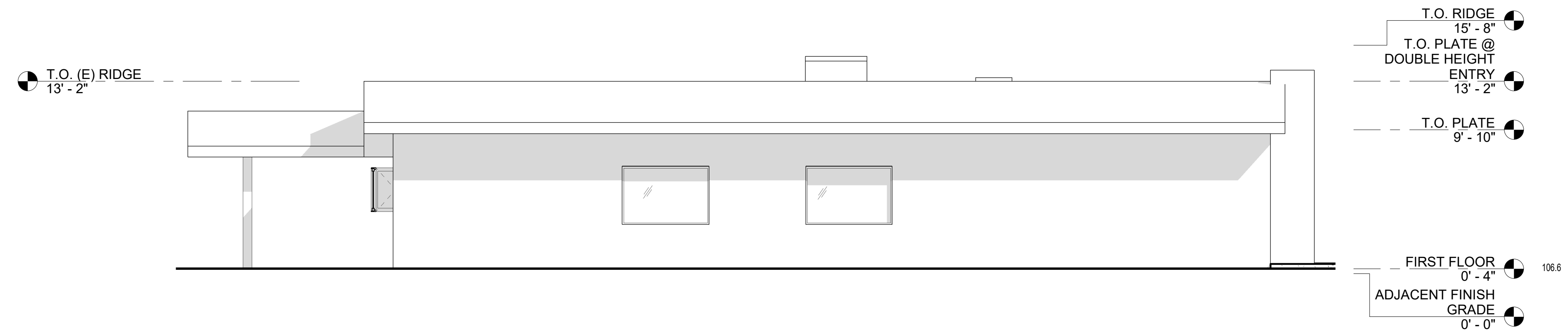
Architects Seal

Engineer's Seal

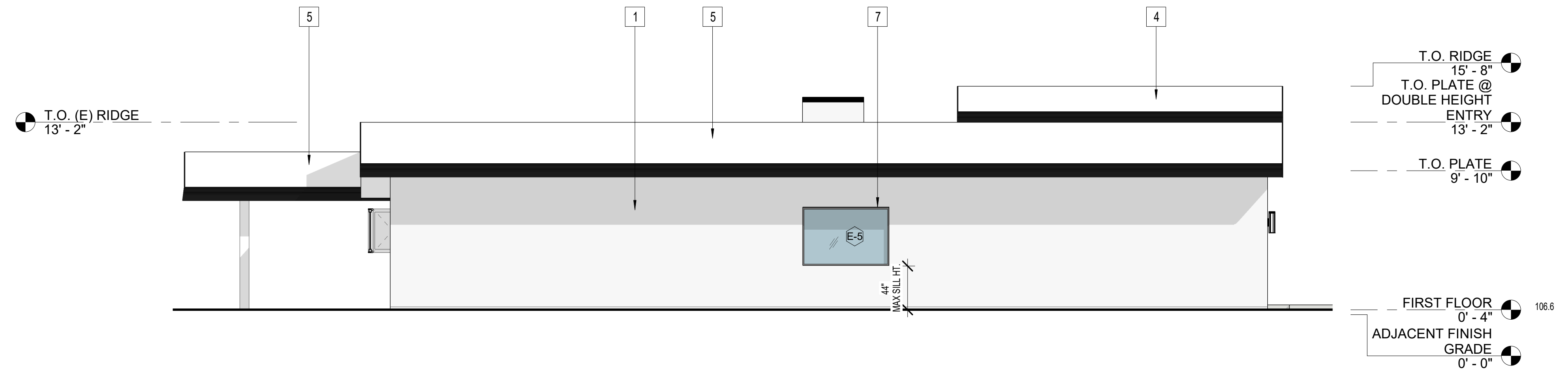
ELEVATIONS

SHEET
A2.1

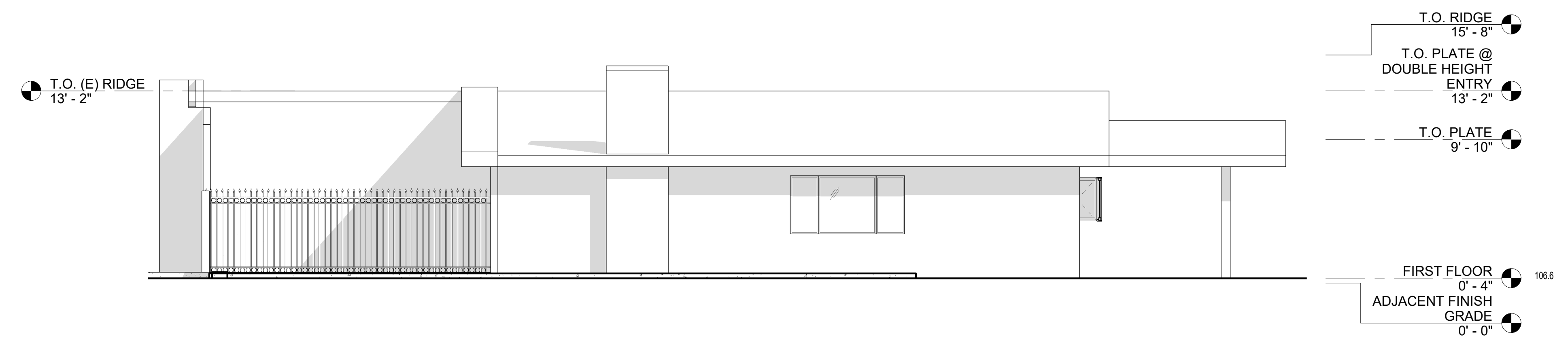




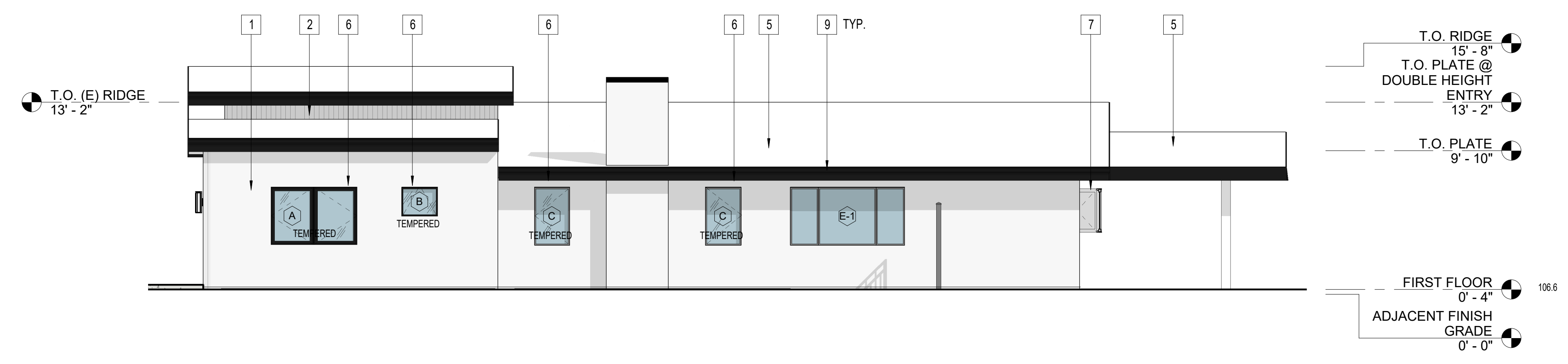
1A EXISTING WEST ELEVATION
3/16" = 1'-0"



1B PROPOSED WEST ELEVATION
3/16" = 1'-0"



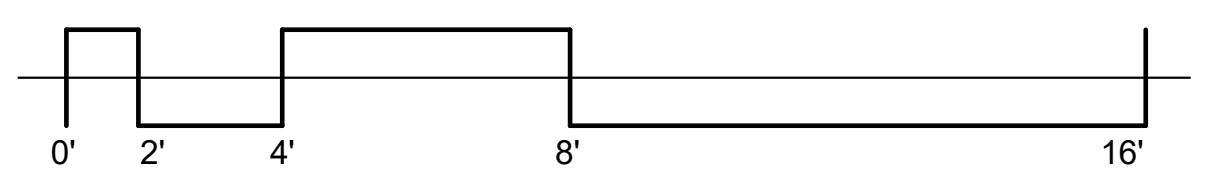
2A EAST ELEVATION
3/16" = 1'-0"



2B PROPOSED EAST ELEVATION
3/16" = 1'-0"

ELEVATION KEY NOTES:

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- 2 HARDI-BRAND VERTICAL BATTEN SIDING OR EQUAL. COLOR TO BE ARCTIC WHITE.
- 3 EXPOSED UNDERSIDE SHALL BE CEDAR WOOD SIDING OVER TYPE X GYPSUM BOARD ON UNDERSIDE OF EAVE. "REAL CEDAR CO." WESTERN RED CEDAR 8" WIDTH TONGUE & GROOVE "CLEAR HEART" GRADE OR EQUAL. 5/8" TYPE X EXTERIOR GYPSUM BOARD, IE. DENSGLAS OR EQUAL
- 4 (N) CLASS A ROOF. SEE ROOF PLAN FOR MORE INFO
- 5 EXISTING ROOF MATERIAL TO BE REPLACED W/ CLASS A ROOF. SEE ROOF PLAN FOR MORE INFO
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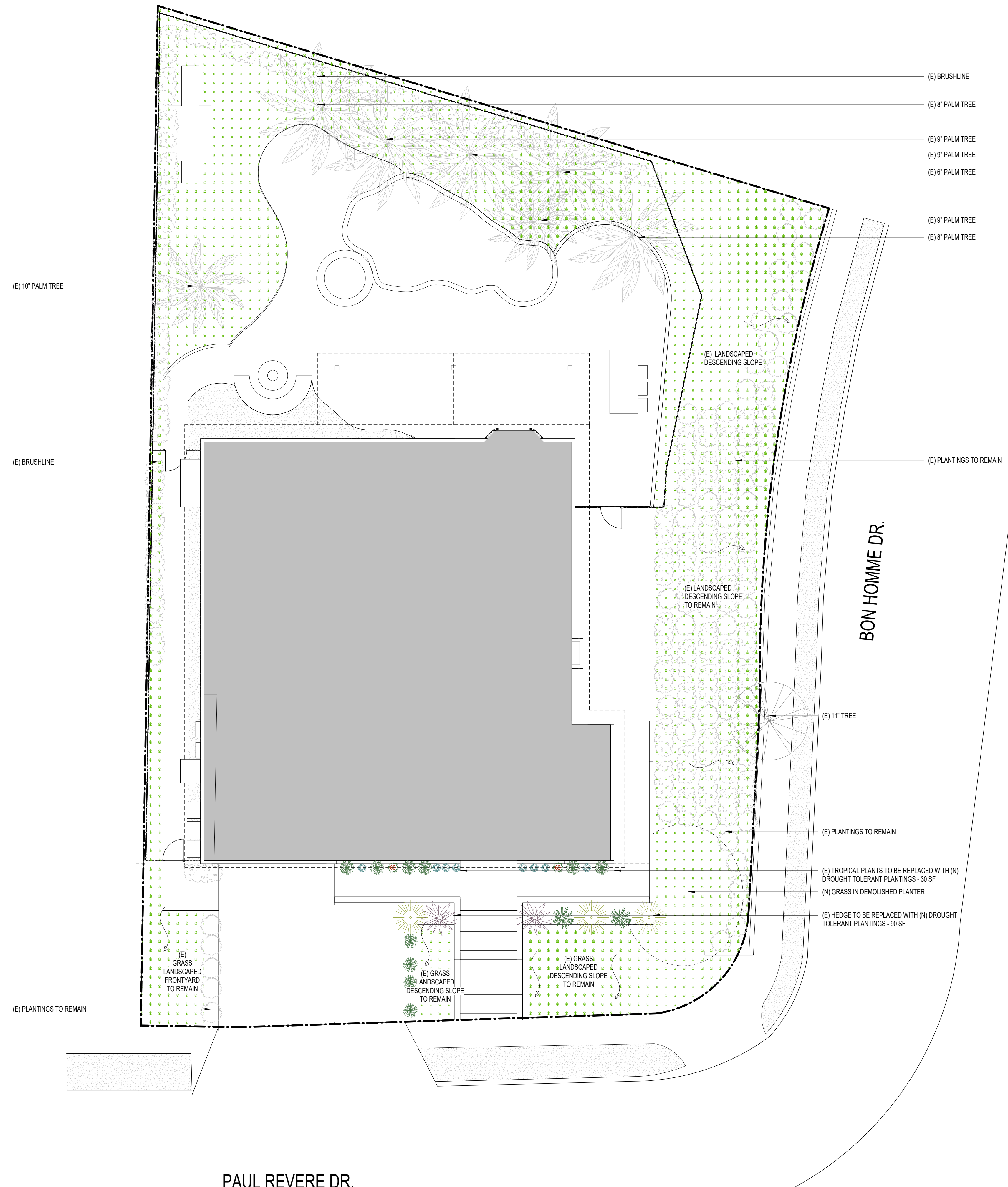
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Engineer's Seal

ELEVATIONS

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GENERAL PLANTING NOTES:

CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL OPERATIONS SUCH AS FINISH GRADING ABATEMENT, AND SOIL PREPARATION AS REQUIRED TO ENSURE THE HEALTH & VIABILITY OF ALL PLANT MATERIALS. ALL PLANTING AREAS SHALL BE FREE OF WEEDS, ROCKS, AND DEBRIS.

PRIOR TO ANY EXCAVATIONS, CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AND PROTECT FROM DAMAGE. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL CODES.

THE IRRIGATION SYSTEM SHALL BE FULLY FUNCTIONAL AND BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. THE SOIL SHALL BE WATERED AND MOIST PRIOR TO PLANTING AND PLANTS SHALL BE HAND WATERED IMMEDIATELY AFTER PLANTING.

THE SOIL AMENDMENTS SHALL BE DETERMINED ACCORDING TO A SOIL TEST PERFORMED BY A SOILS LABORATORY AND SHALL BE INCORPORATED INTO THE SOIL PRIOR TO PLANTING SHALL OBTAIN SOIL SAMPLES FROM TWO SEPARATE AREAS (TURF AND SHRUB AREAS).

ALL GRADES SHALL BE VERIFIED IN THE FIELD WITH THE OWNER'S REPRESENTATIVE. FINISH GRADE SHALL BE MINIMUM 1" BELOW PAVED SURFACES IN LAWN AREAS AND 2" BELOW PAVED SURFACES IN SHRUB AREAS.

ALL PLANT MATERIALS SUCH AS TREES, SHRUBS, VINES, GROUND COVERS, AND LAWN SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AS SPECIFIED ON THE PLANS AND IN THE DETAILS. PLANTS SHALL BE APPROVED ON-SITE FOR QUALITY AND LOCATION BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ANY PLANT MATERIAL NOT APPROVED SHALL BE REMOVED FROM THE SITE AND REPLACED.

ALL VINES AND ESPALIERS SHALL BE ATTACHED TO SPECIFIED STRUCTURES AND PLANTING STAKE SHALL BE REMOVED. ALL GROUND COVERS SHALL BE FROM ROOTED CUTTINGS. BULBS SHALL BE PLANTED APPROPRIATE TO TYPE OF BULB SPECIFIED.

ALL TREES SHALL BE STAKED AND GUYED AS DETAILED WITH A MINIMUM 5' CLEARANCE FROM PAVING AND WALLS AND 10' MINIMUM CLEARANCE FROM STORM DRAIN AND SANITARY SYSTEMS. TREES LOCATED CLOSER THAN THE MINIMUM CLEARANCE SHALL HAVE 18" DEPTH ROOT BARRIER PROTECTION.

THE BACK FILL MIX FOR PLANTING PITS SHALL HAVE THE FOLLOWING PROPORTIONS:

- 6 PARTS ON-SITE SOIL
- 4 PARTS NITROGEN STABILIZED ORGANIC AMENDMENT
- 2 LBS/ C.Y. OF 6-20-20 IRON SULFATE
- 5 LBS/ C.Y. AGRICULTURAL GYPSUM

IN ADDITION, TO THE BACK FILL MIX, EACH PLANT SHALL RECEIVE AGRIFORM, 21 GRAM TABLETS (20-10-6) OR EQUIVALENT AT THE FOLLOWING RATE:

- 1 GALLON SHRUB: 2 TABLETS
- 5 GALLON SHRUB: 2 TABLETS
- 15 GALLON SHRUB OR TREE: 3 TABLETS
- 24" BOX TREE OR SHRUB: 4 TABLETS

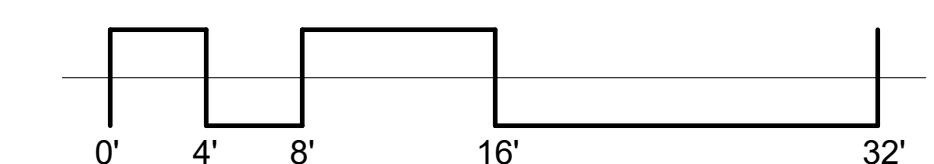
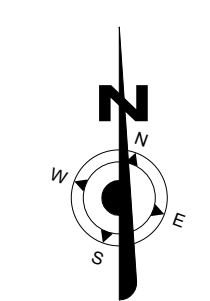
ALL PLANTING AREAS SHALL BE INSTALLED WITH A BARK MULCH LAYER OF A 2" MINIMUM DEPTH WITH SPECIFIED BARK.

FINAL PLANTING SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE JUST PRIOR TO PLANTING.

SPRINKLERS ARE TO BE PROVIDED FOR ALL LANDSCAPE AND PLANTINGS.

PLANT SCHEDULE*				
SYM	KEY	BOTANICAL & COMMON NAMES	QUANTITY	SIZE
	TUL VIO	TULBAGHIA VIOLACEA - GARLIC SOCIETY	2	
	FES GLA	FESTUCA OVINA GLAUCA - SHEEP FESCUE	8	
	DUD PUL	DUDLEYA PULVERULENTA - CHALK DUDLEYA	6	
	MUH RIG	MUHLENBERGIA RIGENS - DEER GRASS	3	
	JUN PAT	JUNCUS PATENS - SPREADING RUSH	6	
	PEN CEN	PENSTEMON CENTRANTHIFOLIUS - SCARLET BUGLER	2	
	GRA	EXISTING GRASS TO REMAIN	...	

*LANDSCAPE / PLANT SPECIES SHOULD COMPLY WITH "CALIFORNIA FRIENDLY GUIDE TO DROUGHT NATIVE AND DROUGHT TOLERANT GARDENS" BY THE LAS VIRGENES MUNICIPAL WATER DISTRICT.



① SITE PLAN PLANTING
1/8" = 1'-0"

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PLANTING PLAN

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