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REV DESCRIPTION DATE 01 PLANNING REVIEW 09/21/2020

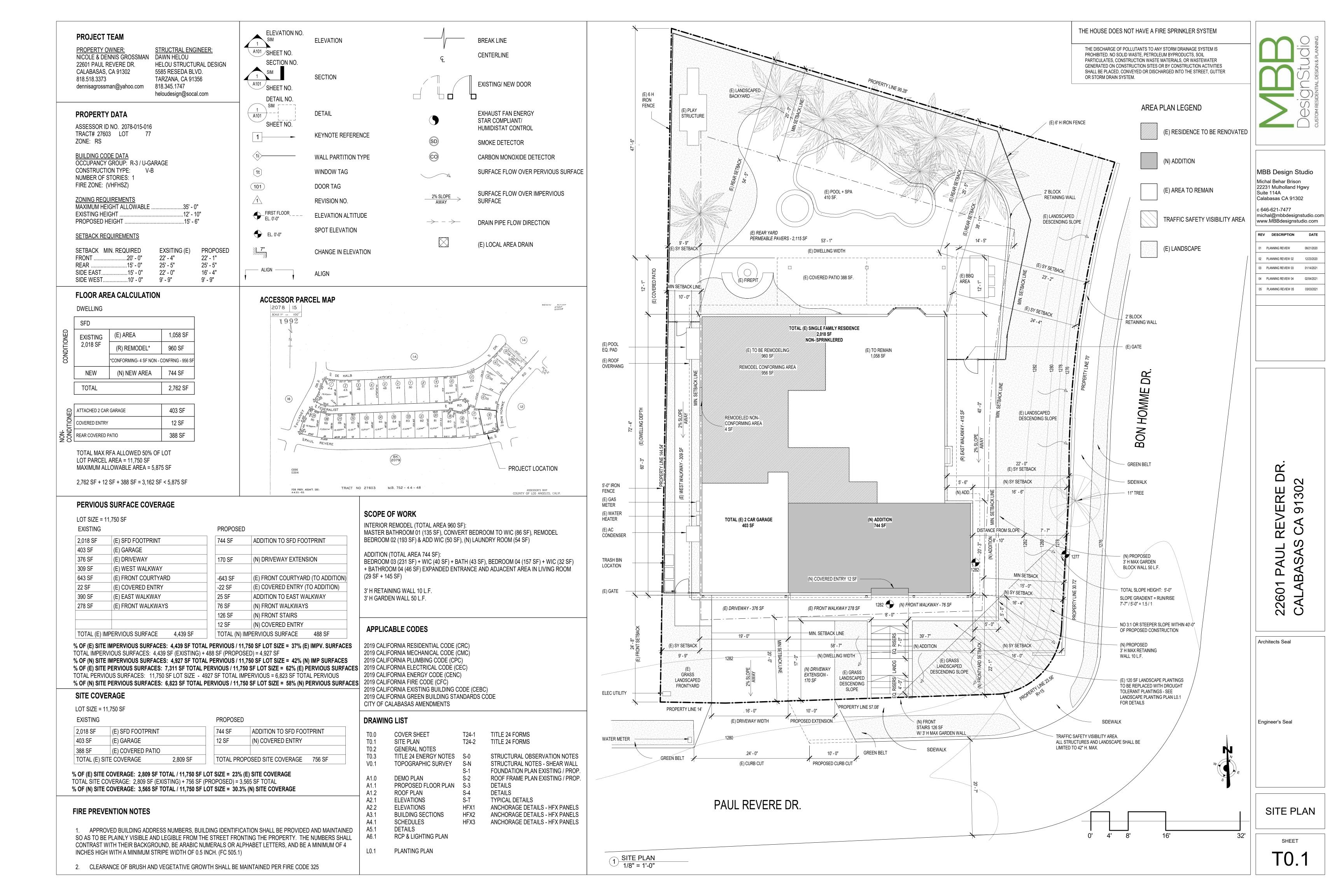
02 PLANNING REVIEW 02 12/23/2020 03 PLANNING REVIEW 03 01/14/2021

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22601 PAUL REVERE DR CALABASAS CA 91302

COVER SHEET

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BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR AND/OR MATERIALS TO EXECUTE THE WORK IN CONFORMANCE WITH THE CODE.

2. THE GENERAL CONTRACTOR IS TO COMPLY WITH ALL BUILDING RULES, REGULATIONS, AND REQUIREMENTS.

3. ALL DIMENSIONS & CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE WORK.

4. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE DESIGNER WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR IS TO CORRECT ALL WORK ARISING FROM SUCH FAILURE TO THE SATISFACTION OF THE DESIGNER.

5. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE FULLY LICENSED AND BONDED FOR THE WORK FOR WHICH THEY ARE RESPONSIBLE. PROOF OF LICENSURE SHALL BE PROVIDED TO THE OWNER PRIOR TO EXECUTION OF THE WORK.

6. ALL WORK SHALL CONFORM TO THE BEST PRACTICE PREVAILING IN THE VARIOUS TRADES COMPROMISING

THE CONTRACTOR IS RESPONSIBLE FOR ALL CONTROLLED INSPECTION ITEMS AS REQUIRED BY LOCAL CODES AND/OR INDICATED ON THE DRAWINGS.

8. THE CONTRACTOR SHALL COORDINATE THE WORK WITH ALL TRADES, INCLUDING BUT NOT LIMITED TO: STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING, CIVIL.

9. ANY SUBSTITUTIONS MUST BE SUBMITTED TO THE DESIGNER IN ADVANCE, IN WRITTEN FORM FOR REVIEW

10. THE WORD 'PROVIDE' SHALL MEAN 'FURNISH AND INSTALL BY THE CONTRACTOR OR HIS/HER SUB CONTRACTORS'.

11. WHERE MANUFACTURERS' NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARD OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE DESIGNER FOR APPROVAL BEFORE THEY SHALL BE DEEMED

12. THE CONTRACTOR AND SUB-CONTRACTORS SHALL COORDINATE THEIR WORK WITH THE WORK OF THE OTHER TRADES AND COOPERATE WITH EACH OTHER SO AS TO FACILITATE GENERAL PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR EXECUTION OF THEIR WORK AND FOR STORAGE OF THEIR MATERIALS. THE CONTRACTOR SHALL COORDINATE ALL WORK AT THE SITE.

13. ALL PERMITS AND FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

14. BUILDING PERMITS BY OWNER OR CONTRACTOR, SUB-CONTRACTORS, ELECTRICAL, PLUMBING, MECHANICAL, ANY OFF SITE WORK AND ALL OTHER WHOSE WORK IS NOT NORMALLY COVERED BY BUILDING PERMIT AND REQUIRES SEPARATE PERMIT ACCORDING TO RULES AND REGULATIONS AND/OR ORDINANCES GOVERNING THE GEOGRAPHIC AREA WHERE THE PROJECT IS LOCATED SHALL SUBMIT ALL NECESSARY PLANS TO THE DEPARTMENT OF BUILDING AND SAFETY AND/OR ANY OTHER MUNICIPAL DEPARTMENTS, MAJOR UTILITY COMPANIES AS REQUIRED FOR APPROVAL. ALL PERMITS SHALL BE OBTAINED PRIOR TO ANY COMMENCEMENT OF WORK AND AT OWN EXPANSES.

15. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL REQUIRED INSPECTIONS. DESIGNER AND OWNER SHALL BE NOTIFIED IN ADVANCE TO ENABLE THE PARTIES TO BE PRESENT IS DESIRED AND/OR REQUIRED.

16. UTILITIES: APPROPRIATE SUB-CONTRACTORS SHALL CONSULT WITH WATER, GAS, ELECTRIC AND ALI OTHER NECESSARY UTILITY COMPANIES TO VERIFY INSTALLATION & CONNECTIONS AND/OR VERIFY SEWER LOCATION & CONNECTIONS.

CITY OF CALABASAS

VERY HIGH FIRE HAZARD SEVERITY ZONI

2019 California Residential Code - Section R337

2019 California Building Code – Chapter 7A

a. The flashing shall be not less than 0.019-inch

less than on layer of minimum 72-pound

mineral-surfaced non-perforated cap sheet

Roof gutters shall be provided with the means to

Where provided, ventilation openings for enclosed attics,

enclosed eave soffit spaces, enclosed rafters space formed

where ceiling are applied directly to the underside of roo

rafters and under-floor ventilation shall be in accordance

9. Ventilation openings for the above enclosed areas.

other materials or other devices that meet the

shall be fully covered with metal wire mesh, vents

Openings shall be between 1/16th and 1/8th inch.

b. The materials shall be noncombustible except

ridge, with noncombustible wire mesh.

Ventilation openings on the underside of eaves and

eaves and comices, except vents meeting the above

a. The ventilated attic space is **fully protected** by

an automatic sprinkler system installed in

b. The exterior wall covering and exposed

of a deck, porch, patio, etc.

EXTERIOR COVERING - Sec. R337.7/707A

accordance with CBC Sec. 903.3.1.1 (NFPA

underside of the eave are of noncombustible

Note: The following exterior covering materials shall

conform to this section: Exterior wall covering or

Standard 12-7A-5 and the vent is located more

than 12 feet from the ground or walking surface

The materials shall be corrosion resistant.

10. Vents shall not be installed on the underside of

vents located under the roof covering, along the

<u>VENTS – [R337.6/706A]:</u>

with CBC Sec. 1203.

General - Sec. R337.6.1/706A.1

Requirements - R337.6.2/706A.2:

cornices - R337.6.3/706A.3

requirements when:

prevent the accumulation of leaves and debris in the

complying with ASTM D 3909, at least 36-

inch-wide running the full length of the valley

No. 26 gage galvanized sheet installed over not

Notes: 1) Additional State Fire Marshal approved

materials and methods may be found in California

Referenced Standards Code, Part 12. 2) Prior to permit

final approval, the property shall be in compliance with the

vegetation management requirements. 3) The use of

paints, coating, stains or other surface treatments are not an

approved method of protection [R337.3.5.3/701A.5,

a. Not exceeding 120 sf when located at least 30 ft

APPLICATION - [R337.1.3/701A]

2. Detached Accessory Building Exceptions

from an applicable building.

applicable building.

ROOFING - [R337.5/705A]:

installation instructions.

[R902.2/703A.5.2.2]

structure, or

existing structure.

combustible decking

b. Any size located at least 50 ft from an

3. Roofs shall have a roofing assembly installed in

accordance with its listing and the manufacturer's

shall be approved and listed by the California State

Fire Marshal and have passed the weathering test.

a. The entire roof covering of every existing

b. The entire roof covering of every **new**

6. Where the roof profile allows a space between the

roof covering and roof decking: [R337.5.2]

intrusion of flames and embers

structure where more than 50% of the total roof

area is replaced within any one-year period,

c. And any roof covering applied in the alteration,

repair or replacement of the roof of every

a. The spaces shall be constructed to prevent the

c. Have one layer of minimum 72 pound mineral-

with ASTM D 3909 installed over the

7. Where **roof valley flashing** is installed [R337.5.3]:

surfaced nonperforated cap sheet complying

b. Be firestopped with approved materials, or

4. Fire-retardant-treated wood shingles and shakes

5. Roof covering shall be Class A [R902.1.1]:

New buildings.

Standard Construction Notes

ARCHITECTURAL NOTES

1. DRAWINGS, ANNOTATIONS AND GRAPHICAL REPRESENTATION OF WORK ON ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER WHO RETAINS OWNERSHIP AND AUTHORSHIP OF THE DOCUMENTS IN ITS ENTIRETY. THE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE INTELLECTUAL AND PHYSICAL PROPERTY OF THE DESIGNER. AUTHORIZED USE OF THESE DOCUMENTS IS AUTHORIZED SOLELY FOR THIS PROJECT AND NOT FOR ANY OTHER PROJECT.

2. DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCEMENT OR CONTINUATION OF WORK.

3. DO NOT SCALE DRAWINGS, DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. SCALE NOTED ON DRAWING IS FOR VISUAL ORIENTATION ONLY.

4. ALL DRAWINGS ARE DIAGRAMMATIC AND SCHEMATIC IN NATURE. WORK INCLUDES CERTAIN COMPONENTS, APPURTENANCES AND RELATED SPECIALITIES THAT MAY NOT BE SHOWN. THE WORK SHOULD INCLUDE ALL COMPONENTS AND ITS PARTS. CONTRACTOR SHALL PROVIDE ALL NECESSARY COMPONENTS REQUIRED FOR A COMPLETE ASSEMBLY.

5. DIMENSIONS ON PLANS ARE INDICATED FROM SURFACE TO SURFACE BETWEEN WALLS, PARTITIONS AND OTHER ITEMS EXCLUSIVE OF FINISHES, UNLESS OTHERWISE NOTED

6. THE TERM 'FINISH FLOOR' SHALL MEAN THE NORMAL FINISHED SURFACE OF THE FLOOR LEVEL

7. ALL MATERIALS TO BE SUBMITTED TO DESIGNER FOR APPROVAL.

8. WHEN ELECTRICAL, MECHANICAL, PLUMBING OR SPECIALITY DRAWINGS ARE PREPARED BY THE CONTRACTOR OR A SUB-CONTRCATOR, THE DRAWINGS SHALL BE CONSIDERED SHOP DRAWINGS AND SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW PRIOR TO COMMENCEMENT OF WORK. THE DESIGNER RETAINS THE RIGHT TO REJECT ANY DRAWINGS NOT IN CONFORMANCE WITH THE DESIGN INTENT.

DRAINAGE NOTES

THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

SECURE PERMISSION FROM CITY ENGINEER FOR CONSTRUCTION AND/OR DISCHARGE WITHIN STREET RIGHT-OF-WAY

3 NO 3:1 OR STEEPER SLOPES WITHIN 40 FEET OF PROPOSED CONSTRUCTION

4 PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE SHALL BE MADE AT ALL TIMES

SECURE PERMISSION FROM THE CITY ENGINEER FOR CONSTRUCTION AND/OR DISCHARGE WITHIN STREET RIGHT-OF-WAY

6 THE GRADE SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10'-0" OF A FOUNDATION WALL

SUBGRADE DRAINAGE PIPING SHALL HAVE A MIN. 1% SLOPE AND 4" GROUND COVER

PROVIDE SB-407 CERTIFICATE OF COMPLIANCE PRIOR TO FINAL INSPECTION

SITE SOILS CONTAIN SULFATES. ALL STRUCTURAL CONCRETE SHALL CONSISIT OF TYPE V CEMENT WITH A | ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME MAX. WATER/CEMENT RAIO OF 0.45 AND HAVE AN F'C OF 4500 PSI.

10 SOIL ENGINEER TO OBSERVE AND APPROVE POOL EXCAVATION PRIOR TO CITY OF CALABASAS

FOUNDATION INSPECTION.

11 EXISTING LANDSACPE, IRRIGATION CONTROLLERS AND DRAINAGE TO REMAIN. NO GRADING SHALL OCCUR.

12 ALL APPLICABLE 'INSTALLATION CERTIFICATE' (CF-6R) AND 'CERTIFICATE OF FIELD VERIFICATION AND DIAGNOSTIC TESTING' (DF-4R) FORMS SHALL BE COMPLETED AND POSTED AT THE PROJECT SITE TO BE VERIFIED BY THE BUILDING INSPECTOR.

DRC CONDITIONS OF APPROVAL

E-016,11,t1;1. DURING THE TERM OF THE CITY PERMIT, THE CONTRACTOR, THEIR EMPLOYEES, AND SUBCONTRACTORS SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT POLLUTION TO LOCAL STORM DRAINS AND WATERWAYS. SEDIMENTS, CONSTRUCTION DEBRIS, PAINT, TRASH, CONCRETE TRUCK WASH WATER AND OTHER CHEMICAL WASTE FROM CONSTRUCTION SITES LEFT ON THE GROUND AND STREETS UNPROTECTED, OR WASHED INTO STORM DRAINS, CAUSES POLLUTION IN LOCAL WATERWAYS VIA THE STORM DRAIN SYSTEM IS AGAINST CITY ORDINANCES AND STATE LAWS. THE BMPs IMPLEMENTED SHALL BE CONSISTENT WITH THE CITY OF CALABASAS MUNICIPAL CODE CHAPTERS 8.28. FAILURE TO IMPLEMENT APPROPRIATE BMPs SHALL RESULT IN PROJECT DELAYS THROUGH CITY ISSUED "STOP WORK NOTICES" AND/OR FINES LEVIED AGAINST THE OWNER/DEVELOPER/CONTRACTOR.

2. THE APPLICANT AND CONTRACTORS SHALL IMPLEMENT ALL REASONABLE EFFORTS TO REUSE AND RECYCLE 75% OF CONSTRUCTION AND DEMOLITION DEBRIS, TO USE ENVIRONMENTALLY FRIENDLY MATERIALS, AND TO PROVIDE ENERGY EFFICIENT BUILDINGS, EQUIPMENT, AND SYSTEMS.

3. PER THE CALABASAS MUNICIPAL CODE CHAPTER 8.16, "NO PERSON SHALL COLLECT AND/OR DISPOSE OF MUNICIPAL SOLID WASTE OR RECYCLABLE MATERIALS IN THE CITY WITHOUT HAVING FIRST BEEN ISSUED A SOLID WASTE COLLECTION PERMIT. SUCH PERMIT SHALL BE IN THE ADDITION TO ANY BUSINESS LICENSE OR PERMIT OTHERWISE REQUIRED BY THE CITY OF CALABASAS." THE FOLLOWING COMPANIES AND THE ONLY TRASH HAULERS AUTHORIZED TO OPERATE IN THE CITY OF CALABASAS: AMERICAN RECLAMATION (1-888-999-9330), CONSOLIDATED DISPOSAL SERVICE (1-800-299-4898), RECOLOGY (1-800-633-9933), UNIVERSAL WASTE SYSTEMS (1-800-631-7016), WASTE MANAGEMENT/G.I. INDUSTRIES (1-800-675-1171). AN ENCROACHMENT PERMIT FROM THE CITY PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO PLACING A REFUSE BIN/CONTAINER ON ANY PUBLIC STREET.

ANY QUESTIONS, PLEASE CONTACT ALEX FARASSATI, ENVIRONMENTAL SERVICES MANAGER, AT (1-818-224-1600).

ELECTRICAL

A. ALL NEW 120-VOLT, SINGLE-PHASE 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES SHALL BE PROTECTED BY ANY OF THE MEANS DESCRIBED IN 210.12 (A)

I. A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION (AFCI) II. A LISTED BRANCH/FEEDER-TYPE AFCI IN COMBINATION WITH A LISTED OUTLET BRANCH-CIRCUIT TYPE

III. A LISTED SUPPLEMENTAL ARC PROTECTION CIRCUIT BREAKER IN COMBINATION WITH A LISTED OUTLET BRANCH-CIRCUIT TYPE AFCI

IV. A LISTED OUTLET BRANCH-CIRCUIT TYPE AFCI IN COMBINATION WITH A LISTED BRANCH-CIRCUIT

OVERCURRENT PROTECTANT DEVICE B. WHERE BRANCH-CIRCUIT WIRING IS MODIFIED, REPLACED OR EXTENDED, THE BRANCH CIRCUIT SHALL BE

PROTECTED BY ONE OF THE FOLLOWING:

I. A LISTED COMBINATION TYPE AFCI LOCATED AT THE ORIGIN OF THE BRANCH CIRCUIT II. A LISTED OUTLET BRANCH CIRCUIT TYPE AFCI LOCATED AT THE FIRST RECEPTACLE OUTLET OF THE

EXISTING BRANCH CIRCUIT. [210.12(A) & (B)] C. PER HIGH EFFICACY LIGHTING REQUIREMENTS OF THE ENERGY CODE, SHOW COMPLIANCE TO THE FOLLOWING: [CENC 150(K)]

I. ALL INSTALLED LIGHTING SHALL BE HIGH EFFICACY.

II. ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE SHALL BE NO GREATER THAN THE NUMBER OF BEDROOMS. ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENOR CONTROL, OR FAN SPEED CONTROL

III. ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH NEMA SSL 7A. IV. BATHROOM, GARAGE, LAUNDRY, AND UTILITY ROOM SHALL HAVE AT LEAST ONE LIGHT CONTROLLED BE A VACANCY SENSOR IN EACH SPACE.

1. EXHAUST FANS WITH INTEGRAL LIGHTING SYSTEM SHALL BE SWITCHED LIGHTING SYSTEM OR HAVE A LIGHTING SYSTEM THAT CAN BE MANUALLY TURNED ON AND OFF WHILE

VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ) REQUIREMENTS [R337]

NOTE 1: THE USE OF PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT AN APPROVED METHOD OF PROTECTION IN VHFHSZ.

NOTE 2: ADDITIONAL ACCEPTABLE PRODUCTS FOR EXTERIOR WILDFIRE EXPOSURE CAN BE FOUND AT THE OFFICE OF THE STATE FIRE MARSHAL. ACCESS TO THE "BUILDING MATERIALS LISTING PROGRAM" CAN BE FOUND AT THE FOLLOWING

MECHANICAL

1. KITCHEN LOCAL EXHAUST VENTILATION REQUIRES A MINIMUM RATE OF 100CFM MEETING THE REQUIREMENTS OF ASHRAE 62.2. SECTION 5. THIS INCLUDES A MAXIMUM SOUND RATING OF 3 SONE @ 100CFM. (MC 402.1.2)

CONSTRUCTION NOTES

1. ALL MATERIALS AND WORK REQUIRED ARE INTENDED TO BE NEW UNLESS OTHERWISE NOTED.

2. MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.

3. EXISTING SLAB SHALL BE CLEANED AND PREPARED TO RECEIVE NEW FINISHES.

4. THE CONTRCTOR(S) SHALL PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF FINISHES.

5. THE CONTRACTOR(S) SHALL, PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF WORK.

6. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND OFF ALIGNMENT ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.

7. THE CONTRACTOR SHALL PATCH AND REPAIR ALL FLOORS, WALLS, CEILINGS, ETC. DAMAGED DUE TO WORK OR REMOVALS AND FINISH TO MATCH ADJOINING SURFACES.

8. CLEAN-UP: EACH SUB-CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY DEBRIS CAUSED BY THEIR WORK BURNING OF DEBRIS ON THE JOB SITE IS STRICTLY FORBIDDEN.

9. CONSTRUCTION SAFETY:

OF THE CONTRACTOR. A. CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY B. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF OSHA AND CAL-OSHA.

PEDESTRIAN PROTECTION: PEDESTRIAN TRAFFIC SHALL BE PROTECTED DURING CONSTRUCTION WHEN REQUIRED. A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS SHALL BE OBTAINED FOR A PROTECTION FENCE OR CANOPY ON OR OVER ANY STREET OR

D. THE CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SHORING FOR ALL STRUCTURAL MEMBERS OR AS REQUIRED FOR STRUCTURAL STABILITY OF THE WORK DURING ALL PHASES OF THE CONSTRUCTION.

E. THE CONTRSCTOR(S) SHALL IMMEDIATELY NOTIFY THE STRUCTURAL ENGINEER OF ENDANGER THE STABILITY OF THE ANY CONDITIONS WHICH IN HIS/HER OPINION MIGHT STRUCTURE OR CAUSE DISTRESS OF THE STRUCTURE.

F. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE ALIGNMENT OF THE STRUCTURE AFTER THE INSTALLATION OF ALL STRUCTURAL AND FINISH MATERIALS. THIS SHALL INCLUDE ANY NECESSARY PRE-LOADING OF THE STRUCTURE TO FINAL POSITION OF COMPLETED WORK.

10. TEMPORARY TOILET: MAINTAIN SANITARY TOILET FACILITIES DURING CONSTRUCTION.

11. PROTECTION OF ADJOINING PROPERTY: THE REQUIREMENT FOR PROTECTION OF ADJACENT PROPERTY AND DEPTH TO WHICH PROTECTION IS REQUIRED SHALL BE AS DEFINED BY CODE OF CALIFORNIA FOR RIGHTS OF CONTERMINOUS OWNERS AS TO EXCAVATIONS.

DRC Comments

September 30, 2020 22601 Paul Revere Drive

subcontractors shall implement appropriate Best Management Practices (BMPs) to prevent pollution to local storm drains and waterways. Sediments, construction debris, paint, trash, concrete truck wash water and other chemical waste from construction sites left on the ground and streets unprotected, or washed into storm drains, causes pollution in local waterways via the storm drain system is against City ordinances and State laws. The BMPs implemented shall be consistent appropriate BMPs shall result in project delays through City issued "Stop Work

materials, and to provide energy efficient buildings, equipment, and systems.

dispose of municipal solid waste or recyclable materials in the city without having first been issued a solid waste collection permit. Such permit shall be in addition to any business license or permit otherwise required by the City of Calabasas." The following companies and the only trash haulers authorized to operate in the City of Calabasas: American Reclamation (1-888-999-9330), Consolidated Disposal Service (1-800-299-4898), Recology (1-800-633-9933), Universal Waste Systems (1-800-631-7016), Waste Management/G.I. Industries (1-800-675-1171). An Encroachment Permit from the City Public Works Department is required prior to placing a refuse bin/container on any public street.

Brenda Magaña, Associate Planner

with City of Calabasas Municipal Code Chapters 8.28. Failure to implement Notices" and/or fines levied against the owner/developer/contractor.

recycle 75% of construction and demolition debris, to use environmentally friendly

Architects Seal

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REV DESCRIPTION DATE

2 PLANNING REVIEW 02 12/23/2020

4 PLANNING REVIEW 04 02/04/2021

c 646-621-7477

PLANNING REVIEW

PLANNING REVIEW 03

Engineer's Seal

GENERAL NOTES

SHEET

assembly, underside of roof eave overhangs or soffits, underside of exterior porch ceilings, underside of floor exempt: architectural trim, fascias and gutters; roof or wall projections; solid wood rafter tails and blocking having a minimum dimension of 2 inch nominal. **Exterior walls – R337.7.3/707A.3** 11. Exterior wall covering or wall assembly shall be of:

 Noncombustible material. b. Ignition-resistant material.*

Heavy-timber exterior wall assembly.

d. Log wall construction e. Wall assemblies meeting SFM Standard 12-7A-

of a 1-hour fire resistive exterior wall assembly

Exceptions: 1) One layer of 5/8-inch Type X gypsum sheathing applied behind the exterior covering or cladding on the exterior side. 2) The exterior portion

Extent of Exterior Wall Coverings -

designed for exterior fire exposure.

R337.7.3.1/707A.3.1 12. Exterior wall coverings shall extend from the top of

the foundation to a. the roof and terminate at 2 inch nominal solid wood blocking between rafters at all roof

b. or in the enclosed eaves, terminate at the Open (exposed) Roof Eaves - R337.7.4/707A.4

13. The exposed roof deck on the underside of

unenclosed roof eaves shall consist of one of the

 Noncombustible material. b. Ignition-resistant material.* c. One layer of 5/8-inch Type X gypsum sheathing

applied behind an exterior covering on the underside exterior of the roof deck. d. The exterior portion of a 1-hour fire resistive

exterior wall assembly designed for exterior fire Exceptions: The following materials do not require protection: 1) 2 inch minimal solid wood rafter tails on the exposed underside of open roof eaves: 2) Solid wood blocking between rafter tails; 3) Gable end

Enclosed Roof Eaves and Roof Eave Soffits -R337.7.5/707A.5

overhangs and roof assembly projections beyond an

exterior wall; 4) Fascia and architectural trim boards.

14. The exposed underside of enclosed roof eaves having either a boxed-in roof eave soffit with a orizontal underside, or sloping rafter tails with an exterior covering applied to the underside of the rafter tails, shall be protected by one of the following

 Noncombustible materials b. Ignition-resistant materials.*

c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside of the rafter tails or soffit.

The exterior portion of a 1-hour fire resistive

exterior wall assembly designed for exterior fire e. Boxed-in roof eave soffits per SFM Standard

Exceptions: 1) Gable end overhangs and roof assembly projections beyond an exterior wall other than at the lower end of the rafter tails; 2) Fascia and other architectural trim boards.

Exterior Porch Ceilings – R337.7.6/707A.6 15. The exposed underside of exterior porch ceilings

shall be protected by one of the following: Noncombustible material.

 b. Ignition-resistant material.* One layer of 5/8-inch Type X gypsum sheathing

applied behind the exterior covering on the underside of the ceiling.

d. The exterior portion of a 1-hour fire resistive exterior wall assembly designed for exterior fire e. Porch ceiling assemblies with a horizontal

underside that meets SFM Standard 12-7A-3.

Exception: Architectural trim boards. Floor Projections - R337.7.7/707A.7 The exposed underside of a cantilevered floor

projection where a floor assembly extends over an exterior wall shall be protected by one of the Noncombustible construction.

exterior wall assembly designed for exterior fire

Page 2 of 3

 b. Ignition-resistant material. c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside of the floor projection. R337.7.3/707A.3. d. The exterior portion of a 1-hour fire resistive

Exterior Doors - R337.8.3/708A.3 21. Exterior doors shall comply with the following:

a. The exterior surface or cladding shall be of noncombustible or ignition-resistant material, or Shall be constructed of solid core wood that

complies with the following Stiles and rails shall not be less than 1-3/8 inches thick. ii. Raised panels shall not be less than 1-1/4

inch thick, except for perimeter of the raised panel that may taper to a tongue not less than 3/8 inch think. c. Shall have a fire-resistance rating of not less

SFM Standard 12-7A-4 & 5.

b. Exterior fire retardant treated wood.

ignition-resistant material.

ACCESSORY STRUCTURES - R337.10/710A

Note: Ignition Resistant Protection is required for the

following: trellises, arbor, patio covers, carport, gazebos

24. Accessory structures not exempt per item #1, shall be

reviewed and approved by the Fire Marshal prior to

d. Materials meeting SFM Standard 12-7A-4A

may be used when the attached exterior wall

covering is also either noncombustible or

Noncombustible material.

c. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the d. Meet SFM Standard 12-7A-1. underside of the floor projection Exterior Door Glazing - R337.8.3.1/708A.3.1 d. The exterior portion of a 1-hour fire resistive 22. Shall meet the requirements of R337.8.2.1/708A.2.1

and similar structures.

construction.

exterior wall assembly designed for exterior fire e. The underside of a floor projection assembly **DECKING – R337.9/709A** that meets SFM Standard 12-7A-3. 23. The walking surface material of decks, porches,

Exception: Heavy-timber structural columns and balconies and stairs when any portion of such surface beams do not require protection is within 10 ft of the building shall comply with the Underside of Appendages - R337.7.9/707A.8 a. Ignition-resistant material complying with both

above sections. EXTERIOR WINDOWS AND DOORS - R337.8/708A Exterior Glazing – R337.8.2/708A.2 Note: The following exterior glazing materials shall

18. The underside of appendages shall be finished per the

e. The underside of a floor projection assembly

that meets SFM Standard 12-7A-3.

17. The under-floor area of elevated or overhanging

shall be protected by one of the following:

building shall be enclosed (and fire-protected) t

grade or the underside of the exposed under-floor

Exception: Architectural trim boards

<u>Under-floor Protection - R337.7.8/707A.8</u>

a. Noncombustible construction

b. Ignition-resistant material.*

exterior doors, glazed opening within exterior garage doors, exterior structural glass veneer Exterior Windows and Exterior Glazed Door Assembly Requirements - R337.8.2.1/708A.2.1

19. Exterior windows and exterior glazed door

comply: windows, glazed doors, glazed opening within

a. Multi-pane glazing with a minimum of one tempered pane meeting the Safety Glazing requirements of CBC Sec.2406. Glass block units.

assemblies shall comply with one of the following:

 Meet SFM Standard 12-7A-2. Structural Glass Veneer - R337.8.2.2/708A.2.2 20. The wall assembly behind structural glass veneer shall comply with the wall requirement of Sec.

20-minute fire-resistance rating

*Ignition-resistant material shall be: 1) determined in

accordance with the test procedures in SFM Standard 12-7A-5, or 2) Noncombustible material, or 3) Fire-retardant treated wood identified for exterior use (CBC Sec. 2303.2)

Page 3 of 3

CITY of CALABASAS

Date: Project Address:

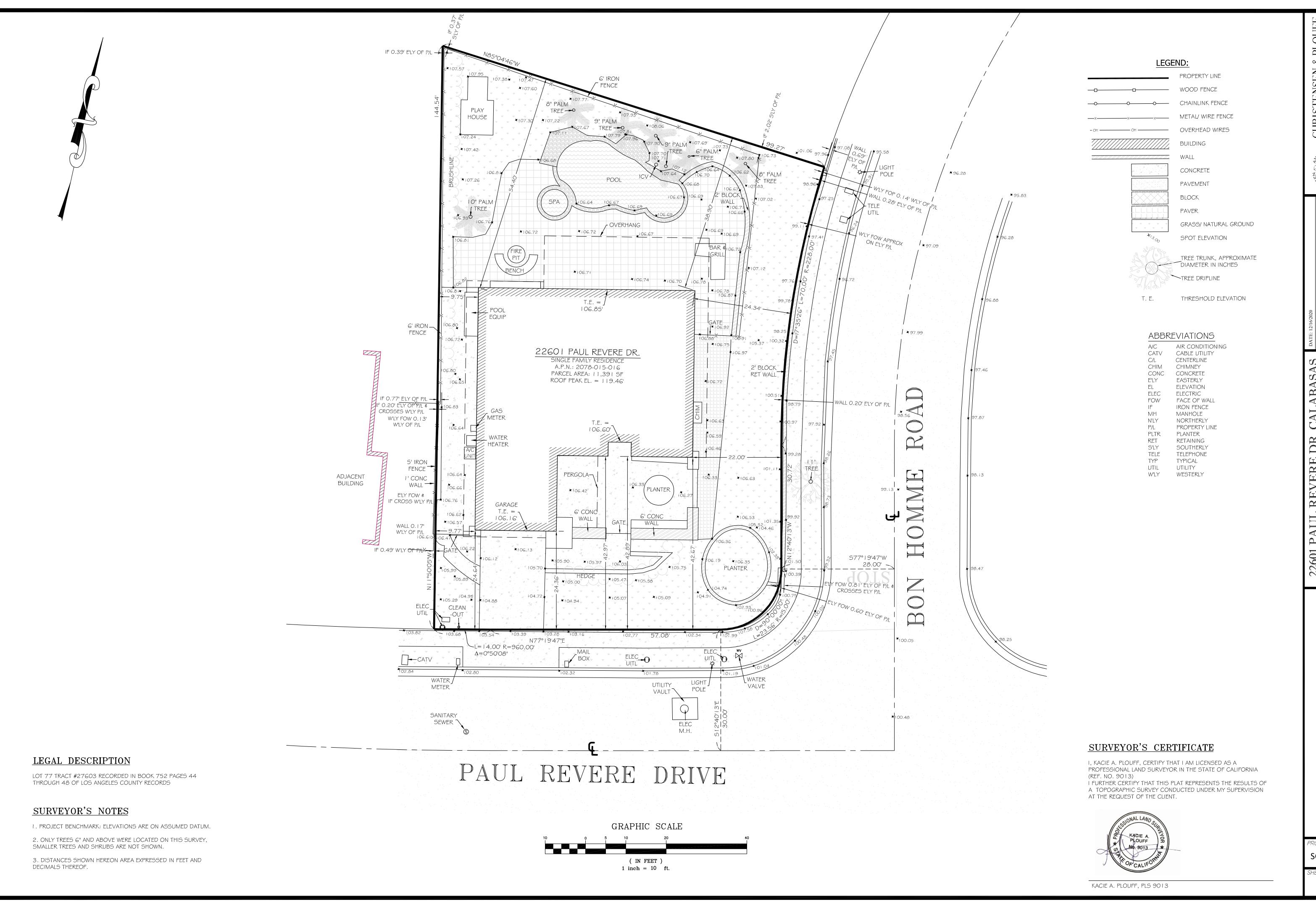
Conditions of Approval

1. During the term of the City permit, the contractor, their employees, and

2. The applicant and contractors shall implement all reasonable efforts to reuse and

3. Per the Calabasas Municipal Code Chapter 8.16, "no person shall collect and/or

Any questions, please contact Alex Farassati, Environmental Services Manager, at (818)



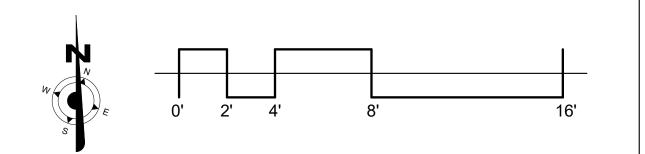


PROJECT NO.

SCA-20-186

1 OF 1

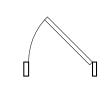
1 DEMO PLAN 1/4" = 1'-0"



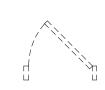
SYMBOL LEGEND:

EXISTING WALL TO REMAIN

EXISTING TO BE DEMOLISHED ONE HOUR FIRE RATED WALL



EXISTING DOOR TO REMAIN



EXISTING DOOR TO BE REMOVED

DEMOLITION PLAN KEY NOTES:

- 1 DEMOLISH EXISTING INTERIOR WALL
- 2 DEMOLISH EXISTING EXTERIOR WALL
- 3 DEMOLISH EXTISTING EXTERIOR WINDOWS
- 4 DEMOLISH EXISTING SHOWER
- 5 DEMOLISH EXISTING DOOR AND FRAME
- 6 DEMOLISH EXISTING COURTYARD PRIVACY WALLS

% OF EXTERIOR WALL TO BE DEMOLISHED:

TOTAL L.F. EXTERIOR WALLS

60'-3" + 53'-1" + 40'-6" + 15'-0" + 4'-4" + 5'-11" + 4'-4" + 12'-8" + 19'-10" + 19'-6" = 235' - 5" L.F.

TOTAL L.F. EXTERIOR WALLS TO BE DEMO

15'-0" + 4'-4" + 5'-11" + 12'-8" = 36' - 4" L.F.

TOTAL % EXTERIOR WALL TO BE DEMOLISHED:

36.33 L.F. / 235.42 L.F. = **15**%

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03 PLANNING REVIEW 03

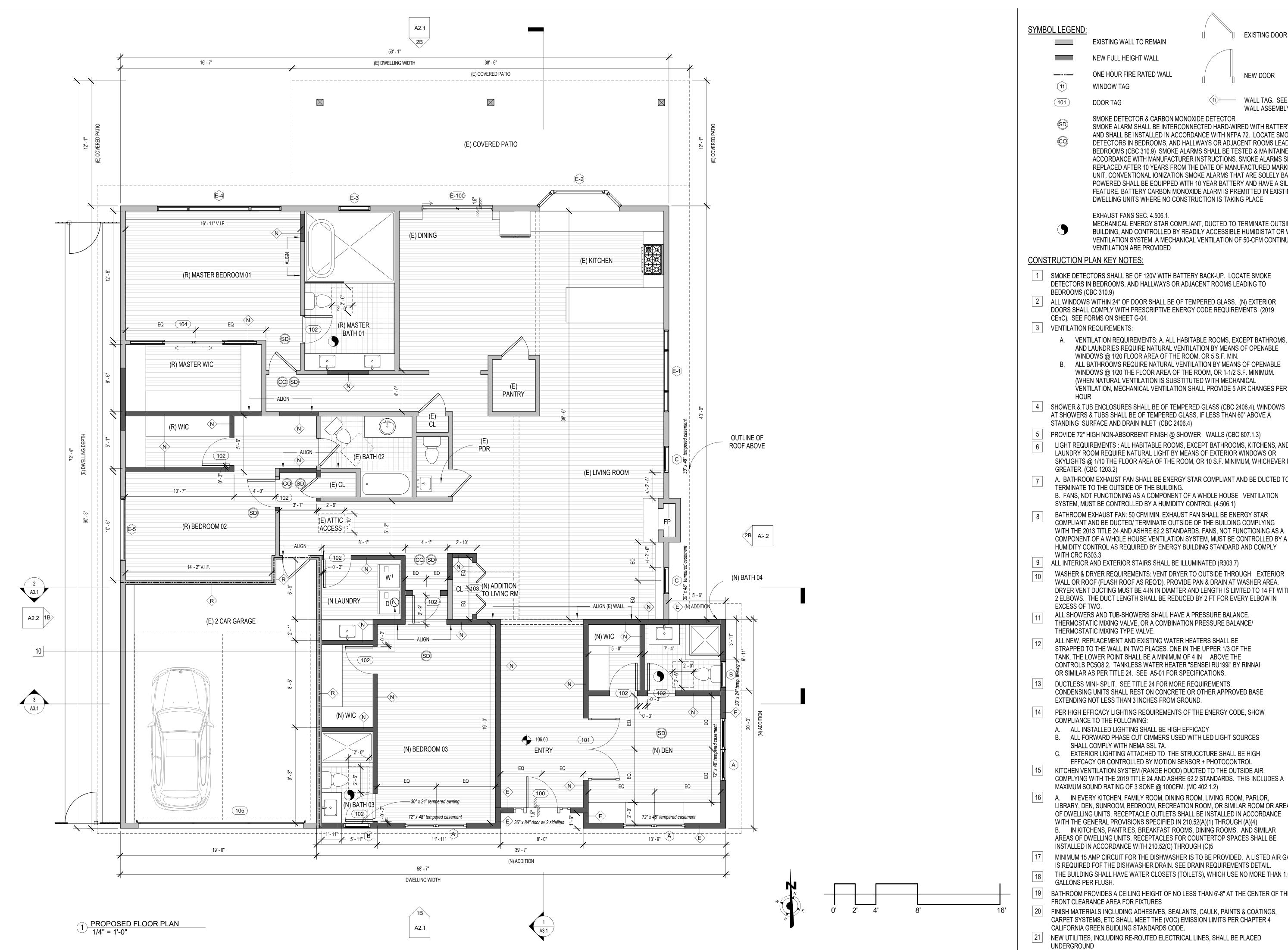
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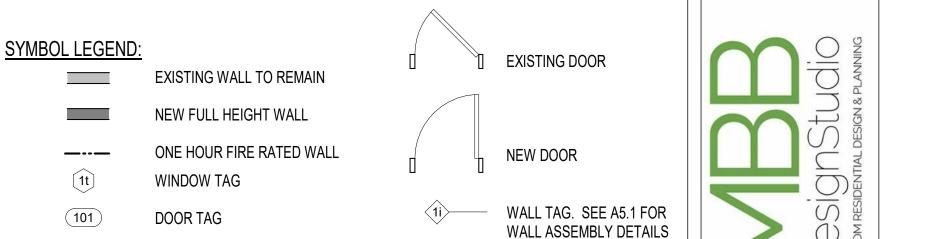
Architects Seal

Engineer's Seal

DEMO PLAN

A1.0





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AT SHOWERS & TUBS SHALL BE OF TEMPERED GLASS, IF LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET (CBC 2406.4)

SMOKE DETECTOR & CARBON MONOXIDE DETECTOR

SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP

AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72. LOCATE SMOKE DETECTORS IN BEDROOMS, AND HALLWAYS OR ADJACENT ROOMS LEADING TO

BEDROOMS (CBC 310.9) SMOKE ALARMS SHALL BE TESTED & MAINTAINED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. SMOKE ALARMS SHELL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURED MARKED ON THE UNIT. CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY

POWERED SHALL BE EQUIPPED WITH 10 YEAR BATTERY AND HAVE A SILENCE

MECHANICAL ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE

BUILDING, AND CONTROLLED BY READILY ACCESSIBLE HUMIDISTAT OR WHOLE

VENTILATION SYSTEM. A MECHANICAL VENTILATION OF 50-CFM CONTINUOUS

FEATURE. BATTERY CARBON MONOXIDE ALARM IS PREMITTED IN EXISTING

DWELLING UNITS WHERE NO CONSTRUCTION IS TAKING PLACE

EXHAUST FANS SEC. 4.506.1.

VENTILATION ARE PROVIDED

BEDROOMS (CBC 310.9)

CEnC). SEE FORMS ON SHEET G-04.

DETECTORS IN BEDROOMS, AND HALLWAYS OR ADJACENT ROOMS LEADING TO

DOORS SHALL COMPLY WITH PRESCRIPTIVE ENERGY CODE REQUIREMENTS (2019

WINDOWS @ 1/20 FLOOR AREA OF THE ROOM, OR 5 S.F. MIN.

A. VENTILATION REQUIREMENTS: A. ALL HABITABLE ROOMS, EXCEPT BATHROMS, AND LAUNDRIES REQUIRE NATURAL VENTILATION BY MEANS OF OPENABLE

ALL BATHROOMS REQUIRE NATURAL VENTILATION BY MEANS OF OPENABLE

WINDOWS @ 1/20 THE FLOOR AREA OF THE ROOM, OR 1-1/2 S.F. MINIMUM.

VENTILATION, MECHANICAL VENTILATION SHALL PROVIDE 5 AIR CHANGES PER

(WHEN NATURAL VENTILATION IS SUBSTITUTED WITH MECHANICAL

PROVIDE 72" HIGH NON-ABSORBENT FINISH @ SHOWER WALLS (CBC 807.1.3)

- LIGHT REQUIREMENTS: ALL HABITABLE ROOMS, EXCEPT BATHROOMS, KITCHENS, AND LAUNDRY ROOM REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS @ 1/10 THE FLOOR AREA OF THE ROOM, OR 10 S.F. MINIMUM, WHICHEVER IS GREATER. (CBC 1203.2)
- A. BATHROOM EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

B. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1)

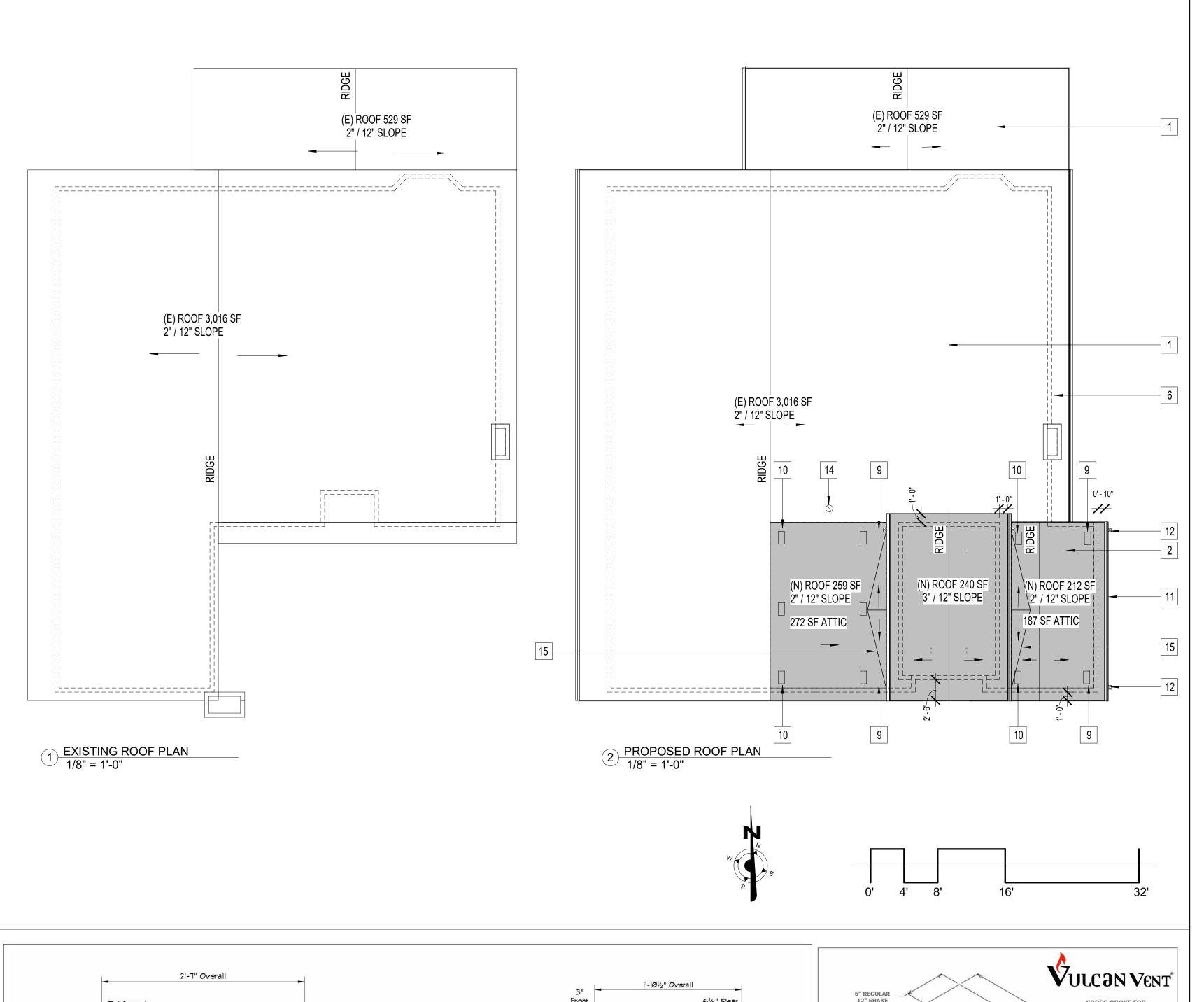
- BATHROOM EXHAUST FAN: 50 CFM MIN. EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED/ TERMINATE OUTSIDE OF THE BUILDING COMPLYING WITH THE 2013 TITLE 24 AND ASHRE 62.2 STANDARDS. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL AS REQUIRED BY ENERGY BUILDING STANDARD AND COMPLY WITH CRC R303.3
- 9 ALL INTERIOR AND EXTERIOR STAIRS SHALL BE ILLUMINATED (R303.7)
- WASHER & DRYER REQUIREMENTS: VENT DRYER TO OUTSIDE THROUGH EXTERIOR WALL OR ROOF (FLASH ROOF AS REQ'D). PROVIDE PAN & DRAIN AT WASHER AREA. DRYER VENT DUCTING MUST BE 4-IN IN DIAMTER AND LENGTH IS LIMTED TO 14 FT WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FT FOR EVERY ELBOW IN EXCESS OF TWO.
- ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE. THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING TYPE VALVE.
- ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 IN ABOVE THE CONTROLS PC508.2. TANKLESS WATER HEATER "SENSEI RU199i" BY RINNAI OR SIMILAR AS PER TITLE 24. SEE A5-01 FOR SPECIFICATIONS.
- DUCTLESS MINI- SPLIT. SEE TITLE 24 FOR MORE REQUIREMENTS. CONDENSING UNITS SHALL REST ON CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3 INCHES FROM GROUND.
- PER HIGH EFFICACY LIGHTING REQUIREMENTS OF THE ENERGY CODE, SHOW COMPLIANCE TO THE FOLLOWING:
 - A. ALL INSTALLED LIGHTING SHALL BE HIGH EFFICACY B. ALL FORWARD PHASE CUT CIMMERS USED WITH LED LIGHT SOURCES
- SHALL COMPLY WITH NEMA SSL 7A. C. EXTERIOR LIGHTING ATTACHED TO THE STRUCCTURE SHALL BE HIGH EFFCACY OR CONTROLLED BY MOTION SENSOR + PHOTOCONTROL
- KITCHEN VENTILATION SYSTEM (RANGE HOOD) DUCTED TO THE OUTSIDE AIR, COMPLYING WITH THE 2019 TITLE 24 AND ASHRE 62.2 STANDARDS. THIS INCLUDES A MAXIMUM SOUND RATING OF 3 SONE @ 100CFM. (MC 402.1.2)
- A. IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH THE GENERAL PROVISIONS SPECIFIED IN 210.52(A)(1) THROUGH (A)(4) B. IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS, AND SIMILAR AREAS OF DWELLING UNITS, RECEPTACLES FOR COUNTERTOP SPACES SHALL BE INSTALLED IN ACCORDANCE WITH 210.52(C) THROUGH (C)5
 - MINIMUM 15 AMP CIRCUIT FOR THE DISHWASHER IS TO BE PROVIDED. A LISTED AIR GAP
- IS REQUIRED FOF THE DISHWASHER DRAIN. SEE DRAIN REQUIREMENTS DETAIL. THE BUILDING SHALL HAVE WATER CLOSETS (TOILETS), WHICH USE NO MORE THAN 1.6 GALLONS PER FLUSH.
- BATHROOM PROVIDES A CEILING HEIGHT OF NO LESS THAN 6'-8" AT THE CENTER OF THE
- FRONT CLEARANCE AREA FOR FIXTURES FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULK, PAINTS & COATINGS, CARPET SYSTEMS, ETC SHALL MEET THE (VOC) EMISSION LIMITS PER CHAPTER 4
- CALIFORNIA GREEN BUIDLING STANDARDS CODE. 21 NEW UTILITIES, INCLUDING RE-ROUTED ELECTRICAL LINES, SHALL BE PLACED UNDERGROUND

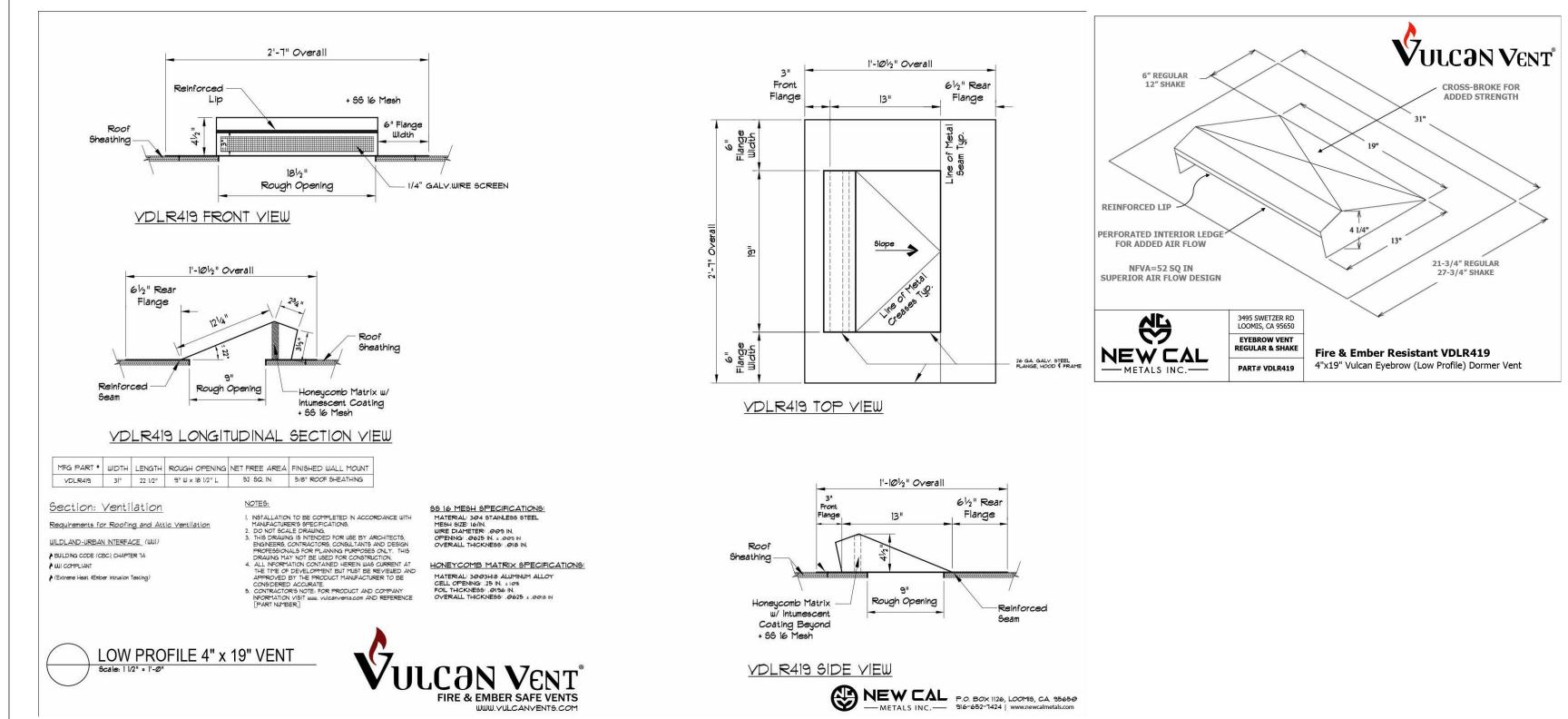
Architects Seal

Engineer's Seal

PROPOSED FLOOR PLAN

SHEET





ROOF SPECIFICATIONS:

ROOF FINISH SHALL BE OWENS CORNING DURATION COOL ROOF CLASS A OR SIMILAR AND SHALL COMPLY WITH ALL LOCAL CODE REQUIREMENTS. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS. (SEE SPECIFICATION ON SHEET)

- FIRE RETARDANT CLASS A ROOF ASSEMBLY - COLOR : MOUNTAINSIDE - SOLAR REFLECTANCE INDEX (SRI): 19 INITIAL

ROOF VENITLATION CALCULATIONS & NOTES

TOTAL SQ FT. OF ATTIC SPACE TO BE VENTILATED

ATTIC AREA 272 SF/150 = 1.81 SF 1.81 X 144 = 261.12 SQ. IN. TOTAL TO BE VENTED 130.56 - INTAKE, 130.26 - EXHAUST

130.56 SQ IN OF INTAKE AREA REQUIRED. PROVIDE MIN (3) 4x19 LOW-PROFILE DORMER

130.56 SQ IN OF EXHAUST AREA REQUIRED. PROVIDE (3) 4x19 LOW-PROFILE DORMER VENT (52 NFVA) "VDLR419" VULCAN DORMER VENT

TOTAL SQ FT. OF ATTIC SPACE TO BE VENTILATED

VENT (52 NFVA) "VDLR419" VULCAN DORMER VENT

ATTIC AREA 187 SF/150 = 1.2 SF 1.2 X 144 = 179.52 SQ. IN. TOTAL TO BE VENTED

89.76 - INTAKE . 89.76 - EXHAUST

89.76 SQ IN OF INTAKE AREA REQUIRED. PROVIDE (2) 4x19 LOW-PROFILE DORMER VENT (52 NFVA) "VDLR419" VULCAN DORMER VENT

89.76 SQ IN OF EXHAUST AREA REQUIRED. PROVIDE (2) 4x19 LOW-PROFILE DORMER VENT (52 NFVA) "VDLR419" VULCAN DORMER VENT



COOL ROOF COLLECTION								
Owens Corning [®] COOL Roof Shingles	CRRC Product ID	Warranty Length	Solar Reflectance	Thermal Emittance	Solar Reflectance Index (SRI)			
TruDefinition® Duration® COOL Amber	0890-0009	Limited Lifetime*/##	0.210	0.92^^	21††			
TruDefinition® Duration® COOL Forest Brown	0890-0018A	Limited Lifetime*/##	0.17◊	0.91 ^^	17††			
TruDefinition® Duration® COOL Mojave	0890-0017A	Limited Lifetime*/##	0.19	0.92^^	19††			
TruDefinition® Duration® COOL Mountainside	0890-0016A	Limited Lifetime*/##	0.19	0.92^^	19††			
TruDefinition® Duration® COOL Night Sky	0890-0026	Limited Lifetime*/##	0.18◊	0.90^^	16††			
TruDefinition® Duration® COOL Oyster Shell	0890-0012	Limited Lifetime*/##	0.22◊	0.92^^	22††			
TruDefinition® Duration® COOL Sand Castle	0890-0020	Limited Lifetime*/##	0.18◊	0.92^^	17††			
TruDefinition® Duration® COOL Shasta White	0890-0008	Limited Lifetime*/##	0.28	0.91	29			
TruDefinition® Duration® COOL Sierra Gray	0890-0013	Limited Lifetime*/##	0.20◊	0.92^^	20††			
TruDefinition® Duration® COOL Summerwood	0890-0015A	Limited Lifetime*/##	0.19◊	0.91 ^^	18††			

impermeabilizante sintética

Pendientes bajas de 2:12 a menos

impermeabilizante sintética Owens

equivalente con una superposición

estándar de 3 pulgadas y borde de

goteo metálico. Ver la Fig. Fig. 3A.

Nota: Vea el boletín técnico para la

aplicación de fieltro.

que cumpla con ASTM D226

Corning o una membrana equivalente

Pub. No. 10021534-C. Printed in U.S.A. May 2018.

Synthetic Underlayment Low Slope 2:12 to Less than 4:12:

Use an Owens Corning® Synthetic Underlayment or equivalent underlayment meeting ASTM D226, D4869 or D6757. Underlayment must be installed per the manufacturer's application instructions and local building codes. Each underlayment course must be overlapped a minimum of

plus 1 inch. See Fig. 3. Or Owens Corning® Self-Adhered Ice & Water Barrier or equivalent with a standard overlap of 3 inches and metal drip edge. See Fig. 3A. Note: See technical bulletin for

felt application.

D4869 o D6757. La membrana impermeabilizante se debe instalar de acuerdo con las instrucciones 1/2 the width of the underlayment del fabricante y los códigos de construcción locales. Cada hilera de membrana impermeabilizante debe superponerse un mínimo de la 1/2 del ancho de la membrana más 1 pulgada. Ver la Fig. 3. O barrera autoadhesiva resistente al hielo y al agua de Owens Corning® o

Membrana

Use una membrana

Fig. 3A Self-Adhered Ice & Water Barrier Low Slope
Barrera autoadhesiva resistente al hielo y al agua – Pendiente baja

Fig. 3 Synthetic Underlayment Low Slope
Membrana impermeabilizante sintética - Pendiente baja

Install Instructions | TruDefinition® Duration® Shingles | April 2020

ROOF LEGEND:

(E) ROOF TO BE REPLACED (N) ROOF

DENOTES LINE OF WALL BELOW

ROOF PLAN KEY NOTES:

- EXISTING ROOFING TO BE REPLACED W/ (CLASS A MIN,) ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD. UNDERLAYMENT SHALL BE TWO LAYERS OF 15# FELT MIMIMUM. BATTENS, IF REQUIRED BY THE MANUFACTURER, SHALL BE 1X2 NOMINAL FURRING STRIPS ROOFING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS AND IN COMPLIANCE WITH LOCAL CODES. REFER TO DETAILS AND CONSTRUCTION SPECIFICATIONS.
- (N) ROOF (CLASS A MIN,) ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD. UNDERLAYMENT SHALL BE TWO LAYERS OF 15# FELT MIMIMUM. BATTENS, IF REQUIRED BY THE MANUFACTURER, SHALL BE 1X2 NOMINAL FURRING STRIPS. ROOFING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS AND IN COMPLIANCE WITH LOCAL CODES. REFER TO DETAILS AND CONSTRUCTION SPECIFICATIONS.
- ALL ROOF MATERIALS AND UNDERLAYMENT SHALL COMPLY WITH CRC SECTIONS R904,
- WHERE APPLICABLE, OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16-IN. MINIMUM AND 1/8-IN. MAXIMUM OPENING.
- 5 A MINIMUM OF 1-IN. AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.
- 6 FACE OF STUD WALL BELOW

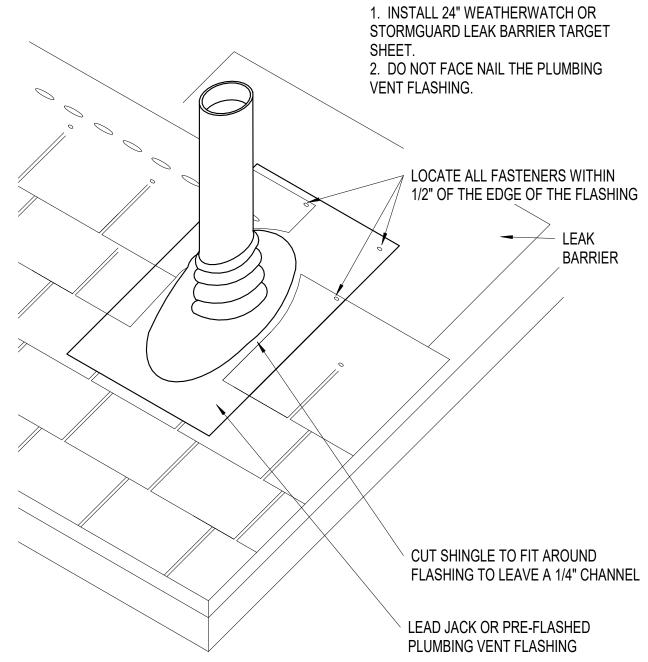
OF TWO.

ROOF VENT DETAIL

- NO EAVES TO PROJECT WITHIN 30" OF PROPERTY LINE WHERE LEGAL LIGHT IS REQUIRED.
- 8 CONSTRUCTION OF ROOF STRUCTURE SHALL COMPLY WITH CITY OF CALABASAS CHAPTER 64 FIRE ZONE 4 AND VERY HIGH FIRE HAZARD SEVERITY ZONES.
- 9 INTAKE VENT. SEE CALCULATIONS BELOW
- 10 EXHAUST VENT. SEE CALCULATIONS BELOW

AND SHALL BE SCREENED FROM PUBLIC VIEW

- 11 PERIMETER GUTTER FASTENED TO WOOD BLOCKING. PROVIDE GUTTER SCREEN
- PROVIDE 4" SQUARE DOWNSPOUTS AS REQUIRED. CONDUCT ALL ROOF WATER AWAY FROM BUILDING. ALL ROOF WATER SHALL BE CONDUCTED TO THE STREET BY GRAVITY. | 13 | ALL NEW ROOF MOUNTED EQUIPMENT SHALL BE RELOCATED TO BE GROUND MOUNTED
- | 14 | WASHER & DRYER REQUIREMENTS: VENT DRYER TO OUTSIDE THROUGH EXTERIOR WALL OR ROOF (FLASH ROOF AS REQ'D). PROVIDE PAN & DRAIN AT WASHER AREA. DRYER VENT DUCTING MUST BE 4-IN IN DIAMTER AND LENGTH IS LIMTED TO 14 FT WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FT FOR EVERY ELBOW IN EXCESS
- | 15 | ROOF CRICKETS SHALL BE PROVIDED AS PER PLAN AND WHERE REQUIRED TO PROPERLY DIVERT THE ROOF WATER TO DRAINAGE AREAS. CRICKETS SHALL BE SLOPED 1" PER FOOT MINIMUM AND SHALL BE CONSTRUCTED WITH 1/2" PLYWOOD CDX (24/0) WITH ALL NECESSARY SUPPORTS AND BLOCKING INDICATED ON THE PLAN OR OTHERWISE REQUIRED.





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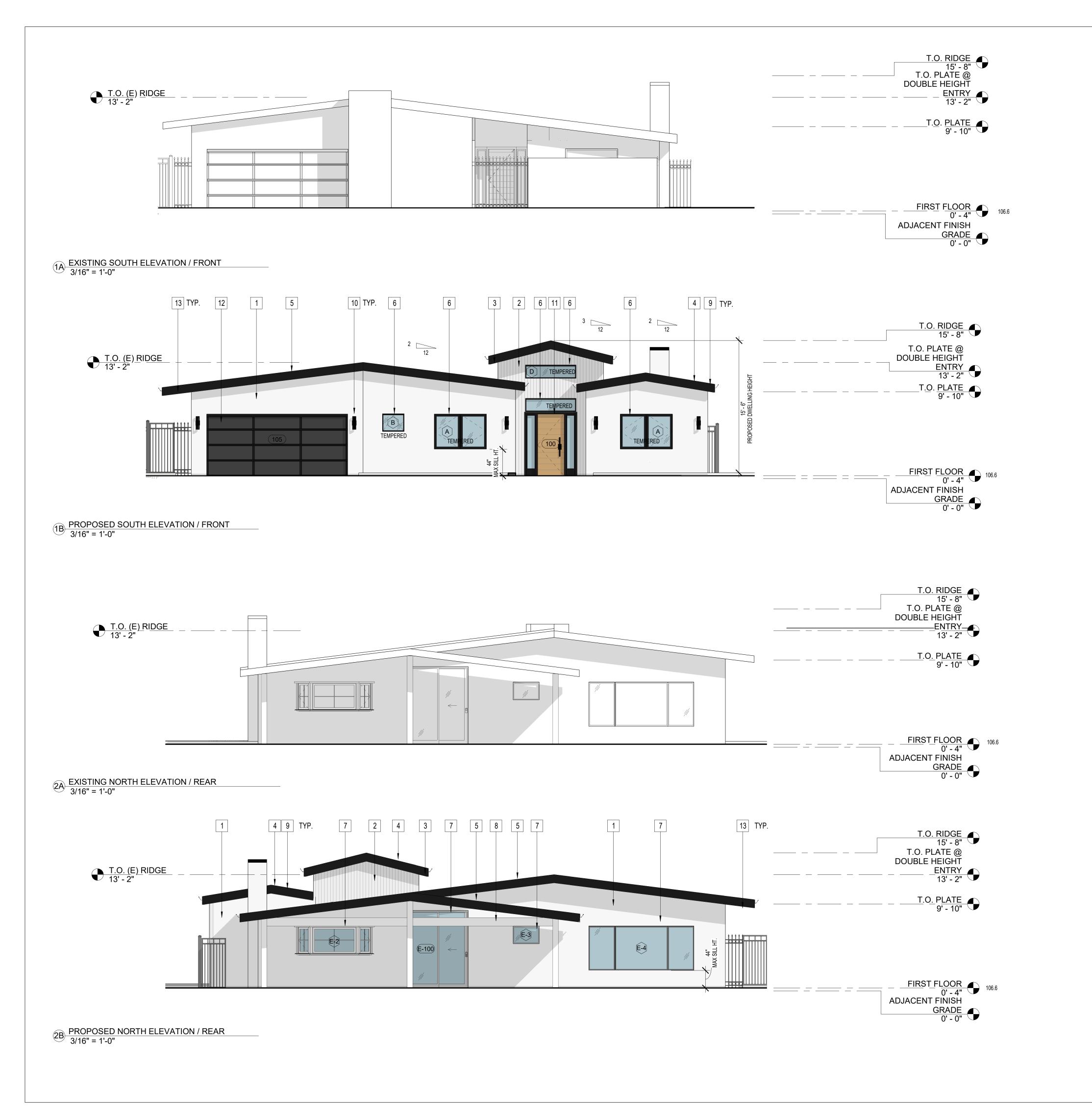
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Architects Seal

Engineer's Seal

ROOF PLAN

SHEET



ELEVATION KEY NOTES:

- 1 7/8" EXTERIOR CEMENT PLASTER OVER METAL LATH OVER 15# FELT. COLOR TO BE "MOUNTAIN SUMMIT" MS-47 BY BEHR OR EQUAL
- 2 HARDI-BOARD VERTICAL BATTEN SIDING OR EQUAL. COLOR TO BE ARCTIC WHITE.
- 3 EXPOSED UNDERSIDE SHALL BE CEDAR WOOD SIDING OVER TYPE X GYPSUM BOARD ON UNDERSIDE OF EAVE. "REAL CEDAR CO." WESTERN RED CEDAR 8" WIDTH TONGUE & GROOVE "CLEAR HEART" GRADE OR EQUAL. 5/8" TYPE X EXTERIOR GYPSUM BOARD, IE. DENSGLASS OR EQUAL
- 4 (N) CLASS A ROOF. SEE ROOF PLAN FOR MORE INFO
- 5 EXISTING ROOF MATERIAL TO BE REPLACED W/ CLASS A ROOF. SEE ROOF PLAN FOR MORE INFO
- 6 (N) WINDOW BLACK ALUMINUM FRAME
- 7 (E) WINDOW / DOOR TO REMAIN
- 8 (E) COVERED PATIO TO REMAIN
- 9 12" FASCIA BOARD. COLOR TO BE "BELUGA" 770F-7 BY BEHR OR EQUAL
- DOWN LED OUTDOOR WALL LIGHT BY KICHLER. 7" LONG IN TEXTURED BLACK
- SOLID WOOD ENTRY DOOR W/ WHITE OAK SLATS NATURAL STAIN W/ 2 BLACK FRAME SIDELITES
- GARAGE DOOR TO BE "OVERHEARD DOOR COMPANY" MODERN ALUMINUM GARAGE DOOR" BLACK POWDER COATED FRAME W/ GRAY TINT OR EQUAL
- EXPOSED UNDERSIDE SHALL BE PAINTED WOOD OVER TYPE X GYPSUM BOARD. COLOR TO BE "MOUNTAIN SUMMIT" MS-47 BY BEHR OR EQUAL. 5/8" TYPE X EXTERIOR GYPSUM BOARD, IE. DENSGLAS

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DR 91302 22601 PAUL REVERE CALABASAS CA 9130

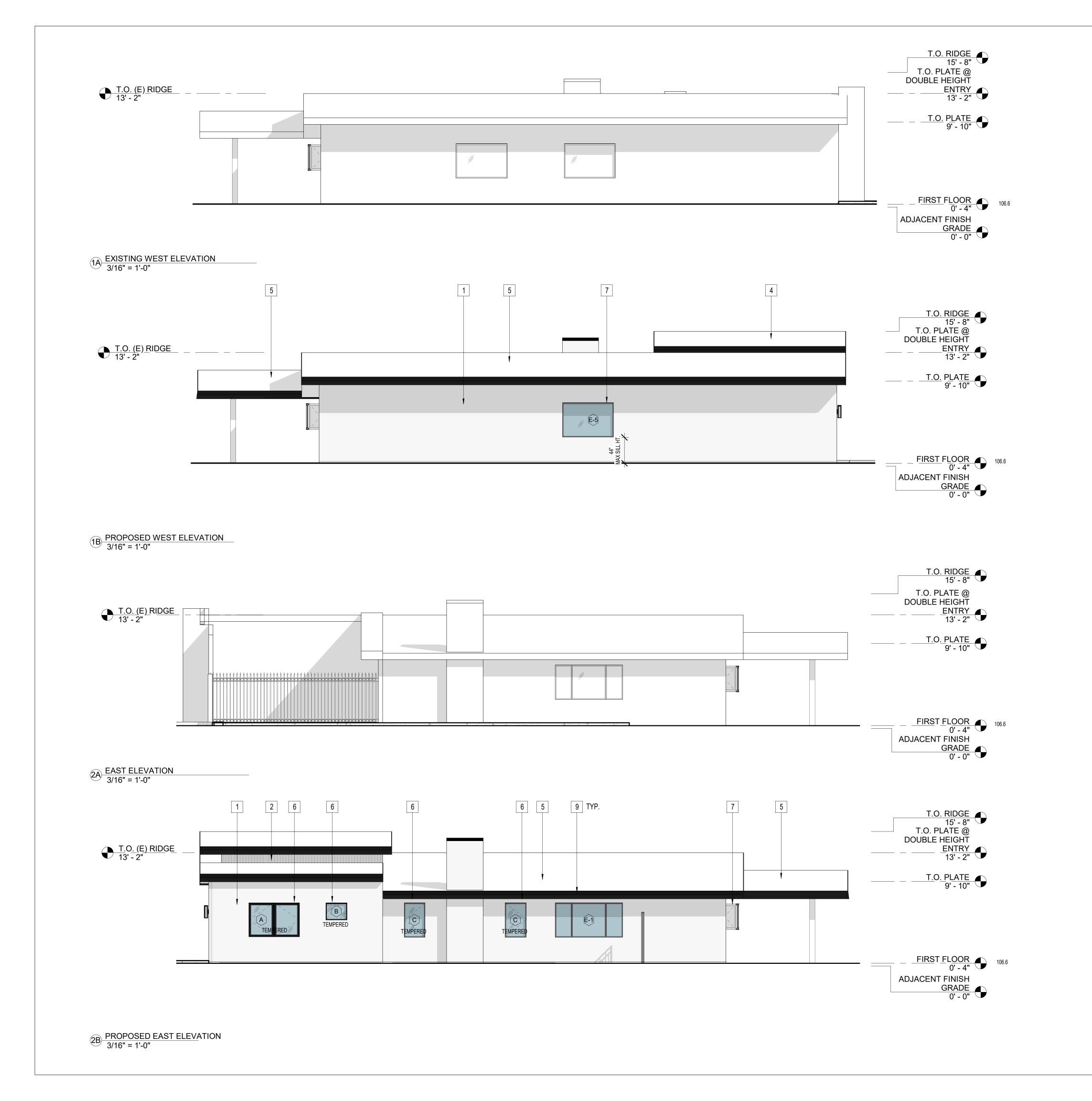
Architects Seal

Engineer's Seal

ELEVATIONS

SHEET

A2.1



ELEVATION KEY NOTES:

- 1 7/8" EXTERIOR CEMENT PLASTER OVER METAL LATH OVER 15# FELT. COLOR TO BE "MOUNTAIN SUMMIT" MS-47 BY BEHR OR EQUAL
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- SOLID WOOD ENTRY DOOR W/ WHITE OAK SLATS NATURAL STAIN W/ 2 BLACK FRAME SIDELITES
- GARAGE DOOR TO BE "OVERHEARD DOOR COMPANY" MODERN ALUMINUM GARAGE DOOR" BLACK POWDER COATED FRAME W/ GRAY TINT OR EQUAL
- EXPOSED UNDERSIDE SHALL BE PAINTED WOOD OVER TYPE X GYPSUM BOARD. COLOR TO BE "MOUNTAIN SUMMIT" MS-47 BY BEHR OR EQUAL. 5/8" TYPE X EXTERIOR GYPSUM BOARD, IE. DENSGLAS



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Engineer's Seal

Architects Seal

ELEVATIONS

A2.2



GENERAL PLANTING NOTES:

CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL OPERATIONS SUCH AS FINISH GRADING ABATEMENT, AND SOIL PREPARATION AS REQUIRED TO ENSURE THE HEALTH & VIABILITY OF ALL PLANT MATERIALS. ALL PLANTING AREAS SHALL BE FREE OF WEEDS, ROCKS, AND DEBRIS.

PRIOR TO ANY EXCAVATIONS, CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AND PROTECT FROM DAMAGE. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL CODES.

THE IRRIGATION SYSTEM SHALL BE FULLY FUNCTIONAL AND BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. THE SOIL SHALL BE WATERED AND MOIST PRIOR TO PLANTING AND PLANTS SHALL BE HAND WATERED IMMEDIATELY AFTER PLANTING.

THE SOIL AMENDMENTS SHALL BE DETERMINED ACCORDING TO A SOIL TEST PERFORMED BY A SOILS LABORATORY AND SHALL BE INCORPORATED INTO THE SOIL PRIOR TO PLANTING SHALL OBTAIN SOIL SAMPLES FROM TWO SEPARATE AREAS (TURF AND SHRUB AREAS).

ALL GRADES SHALL BE VERIFIED IN THE FIELD WITH THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. FINISH GRADE SHALL BE MINIMUM 1" BELOW PAVED SURFACES IN LAWN AREAS AND 2" BELOW PAVED SURFACES IN SHRUB AREAS.

ALL PLANT MATERIALS SUCH AS TREES, SHRUBS, VINES, GROUND COVERS, AND LAWN SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AS SPECIFIED ON THE PLANS AND IN THE DETAILS. PLANTS SHALL BE APPROVED ON-SITE FOR QUALITY AND LOCATION BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ANY PLANT MATERIAL NOT APPROVED SHALL BE REMOVED FROM THE SITE AND REPLACED.

ALL VINES AND ESPALIERS SHALL BE ATTACHED TO SPECIFIED STRUCTURES AND PLANTING STAKE SHALL BE REMOVED. ALL GROUND COVERS SHALL BE FROM ROOTED CUTTINGS. BULBS SHALL BE PLANTED APPROPRIATE TO TYPE OF BULB SPECIFIED.

ALL TREES SHALL BE STAKED AND GUYED AS DETAILED WITH A MINIMUM 5'
CLEARANCE FROM PAVING AND WALLS AND 10' MINIMUM CLEARANCE FROM STORM
DRAIN AND SANITARY SYSTEMS. TREES LOCATED CLOSER THAN THE MINIMUM
CLEARANCE SHALL HAVE 18" DEPTH ROOT BARRIER PROTECTION.

THE BACK FILL MIX FOR PLANTING PITS SHALL HAVE THE FOLLOWING PROPORTIONS:

6 PARTS ON-SITE SOIL

4 PARTS NITROGEN STABILIZED ORGANIC AMENDMENT

2 LBS/ C.Y. OF 6-20-20 IRON SULFATE

5 LBS/ C.Y. AGRICULTURAL GYPSUM

IN ADDITION, TO THE BACK FILL MIX, EACH PLANT SHALL RECEIVE AGRIFORM, 21 GRAM TABLETS (20-10-6) OR EQUIVALENT AT THE FOLLOWING RATE:

1 GALLON SHRUB: 2 TABLETS

5 GALLON SHRUB: 2 TABLETS

15 GALLON SHRUB OR TREE: 3 TABLETS

24" BOX TREE OR SHRUB: 4 TABLETS

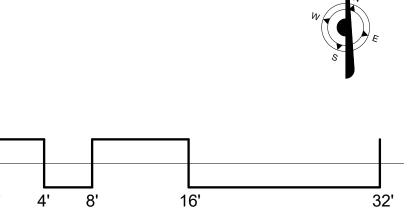
ALL PLANTING AREAS SHALL BE INSTALLED WITH A BARK MULCH LAYER OF A 2" MINIMUM DEPTH WITH SPECIFIED BARK.

FINAL PLANTING SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE JUST PRIOR TO PLANTING.

SPRINKLERS ARE TO BE PROVIDED FOR ALL LANDSCAPE AND PLANTINGS.

SYM.	KEY	BOTANICAL & COMMON NAMES	QUANTITY	SIZI
	TUL VIO	TULBAGHIA VIOLACEA - GARLIC SOCIETY	2	
	FES GLA	FESTUCA OVINA GLAUCA - SHEEP FESCUE	8	
	DUD PUL	DUDLEYA PULVERULENTA - CHALK DUDLEYA	6	
	MUH RIG	MUHLENBERGIA RIGENS - DEER GRASS	3	
	JUN PAT	JUNCUS PATENS - SPREADING RUSH	6	
***	PEN CEN	PENSTEMON CENTRANTHIFOLIUS - SCARLET BUGLER	2	
* * * * *	GRA	EXISTING GRASS TO REMAIN		

*LANDSCAPE / PLANT SPECIES SHOULD COMPLY WITH "CALIFORNIA FRIENDLY GUIDE TO DROUGHT NATIVE AND DROUGHT TOLERANT GARDENS" BY THE LAS VIRGENES MUNICIPAL WATER DISTRICT.





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 REV
 DESCRIPTION
 DATE

 01
 PLANNING REVIEW
 09/21/2020

 02
 PLANNING REVIEW 02
 12/23/2020

 03
 PLANNING REVIEW 03
 01/14/2021

 04
 PLANNING REVIEW 04
 02/04/2021

22601 PAUL REVERE DR CALABASAS CA 91302

Architects Seal

Engineer's Seal

PLANTING PLAN

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