

NEW CONSTRUCTION- 3 STORY STORAGE BUILDING

OASIS SELF-STORAGE

26300 RONDELL STREET,
CALABASAS, CA 91302

Magellan ARCHITECTURE
17011 Beach Boulevard, Suite 800
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SELF STORAGE CALABASAS
3 STORY SELF STORAGE BUILDING
26300 RONDELL STREET
CALABASAS, CALIFORNIA 91302

DEFERRED SUBMITTALS GENERAL NOTES PROJECT TEAM SITE & BUILDING DATA SHEET INDEX

DEFERRED SUBMITTALS

THE GENERAL CONTRACTOR (GC) SHALL BE RESPONSIBLE FOR VERIFYING EXISTING FIELD CONDITIONS AND COORDINATING ALL DEFERRED SUBMITTALS. THE GC'S SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR VERIFYING COMPLIANCE WITH LOCAL AUTHORITIES AND ALL CURRENT CODES, REGULATIONS AND REQUIREMENTS.

DOCUMENTS FOR DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTALS DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL COMPLIANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTALS ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

MECHANICAL & PLUMBING:

- THE MECHANICAL & PLUMBING WORK FOR THE PROJECT SHALL BE PERFORMED AS DESIGN-BUILD. THE GC SHALL SUBMIT WITH THE BID A PROPOSED HVAC AND PLUMBING DRAWING THAT COORDINATES WITH THE ARCHITECTURAL DRAWINGS AND COMPLES ALL CODES, REGULATIONS AND REQUIREMENTS.
- THE GC'S MECHANICAL SUBCONTRACTOR WILL BE RESPONSIBLE FOR APPLYING FOR AND SECURING ALL NECESSARY MECHANICAL PERMITS.
- THE GC'S PLUMBING SUBCONTRACTOR WILL BE RESPONSIBLE FOR APPLYING FOR AND SECURING ALL NECESSARY PLUMBING PERMITS.

ELECTRICAL:

- THE ELECTRICAL WORK FOR THE PROJECT SHALL BE PERFORMED AS DESIGN-BUILD. THE GC SHALL SUBMIT WITH THE BID A PROPOSED ELECTRICAL DRAWING THAT COORDINATES WITH THE ARCHITECTURAL DRAWINGS AND COMPLES ALL CODES, REGULATIONS AND REQUIREMENTS.
- THE GC'S ELECTRICAL SUBCONTRACTOR WILL BE RESPONSIBLE FOR APPLYING FOR AND SECURING ALL NECESSARY ELECTRICAL PERMITS.

FIRE PROTECTION/SMOKE ALARM:

- THE FIRE PROTECTION & SMOKE ALARM WORK FOR THE PROJECT SHALL BE PERFORMED AS DESIGN-BUILD. THE GC SHALL SUBMIT WITH THE BID A PROPOSED FIRE PROTECTION DRAWING THAT COORDINATES WITH THE ARCHITECTURAL DRAWINGS AND COMPLES ALL CODES, REGULATIONS AND REQUIREMENTS.
- THE GC'S FIRE PROTECTION SUBCONTRACTOR WILL BE RESPONSIBLE FOR APPLYING FOR AND SECURING ALL NECESSARY FIRE PROTECTION PERMITS.

MANUFACTURED STAIRS:

- THE INTERIOR STAIR DESIGN AND ENGINEERING FOR THE PROJECT SHALL BE PERFORMED AS DESIGN-BUILD. THE GC SHALL SUBMIT WITH THE BID PROPOSED MANUFACTURED STAIR DESIGN DRAWINGS AND ENGINEERING THAT COORDINATE WITH THE ARCHITECTURAL DRAWINGS.
- THE GC'S STAIR SUBCONTRACTOR WILL BE RESPONSIBLE FOR APPLYING FOR AND SECURING ALL ASSOCIATED AND NECESSARY PERMITS.

GENERAL NOTES

- REFER TO BASIC BUILDING SPECIFICATIONS, REQUIREMENTS AND STANDARDS FOR LISTING SHALL AND ONE CONSTRUCTION. ALL WORK IS TO BE COMPLETED WITH EXISTING CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL CURRENT BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK THAT HAS BEEN PERFORMED WHICH DOES NOT MEET THESE CODES AND REGULATIONS.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO THE ARCHITECT'S CONSTRUCTION DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING IMMEDIATELY TO THE ARCHITECT ANY OCCURRENCE OF DETAILS THAT DO NOT MEET BUILDING CODES AND CONSTRUCTION STANDARDS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IN THE EVENT OF CONFLICTS OF DIMENSIONS BETWEEN DETAILS OR BETWEEN THE PLANS AND SPECIFICATIONS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AND PIPING BEFORE BEGINNING WORK.
- THE GC SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK. SPECIAL CONDITIONS OF WORK, SCOPE OF WORK AND INTERPRETATION OF MECHANICAL AND ELECTRICAL SYMBOLS, MOST OF WHICH ARE NOT SHOWN, SHALL BE SCHEDULED AT LEAST ONE (1) WEEK IN ADVANCE OF THE WORK IS TO COMMENCE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST STANDARD OF WORKMANSHIP IN GENERAL AND WITH SUCH STANDARDS AS ARE SPECIFIED.
- GC SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR SHANGES AND PATTERNS PRIOR TO INSTALLATION FOR ARCHITECT'S APPROVAL. GC SHALL PROVIDE SWATCHES AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS INCLUDING CUSTOM FORMATION (SHALL INCLUDE PAINTED THE COLORS AND FINISHES).
- ALL MATERIALS INDICATED TO MATCH EXISTING SHALL DO SO WITH RESPECT TO SIZE, SHAPE, COLOR, TEXTURE, PATTERN, QUANTITY AND METHOD OF INSTALLATION AS FAR AS PRACTICABLE AND SHALL BE APPROVED BY THE ARCHITECT BEFORE USE.
- THE FLOORS MAY BE OCCUPIED DURING CONSTRUCTION. THE GC SHALL PROTECT ALL PERSONNEL, PASSENGER OR VEHICLES TO THE SITE FROM HARM AND INJURY. BARRIERS SHALL BE INSTALLED AS REQUIRED TO PROTECT EQUIPMENT INSTALLED DURING CONSTRUCTION, CRITICALLY HAZARDOUS AND PROTECT WORKMANS. EACH HAZARD AND THEIR RESPECTIVE POINT SHALL BE IDENTIFIED ON DRAWINGS, REPLACE AS REQUIRED.
- EXISTING WORK DAMAGED AS A RESULT OF WORK DONE UNDER THIS CONTRACT SHALL BE RETURNED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT FINISHES, SUBJECT TO ARCHITECT'S APPROVAL, AND AT NO ADDITIONAL COST TO THE OWNER. ALL NECESSARY MATERIALS REQUIRED TO MATCH EXISTING MATERIALS SHALL DO SO WITH RESPECT TO TYPE, PATTERN, TEXTURE, SIZE, SHAPE, COLOR AND METHOD OF INSTALLATION AS FAR AS PRACTICABLE, AND SHALL BE APPROVED BY THE ARCHITECT AND FINISHED PRIOR TO INSTALLATION.
- MATERIALS, ARTICLES, DEVICES AND PRODUCTS ARE SPECIFIED BY THE DOCUMENTS BY LISTING ACCEPTABLE MANUFACTURERS OR PRODUCTS BY REFERENCE TO SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING COMPLIANCE WITH REFERENCED STANDARDS, OR BY PERFORMANCE SPECIFICATIONS, FOR ITEMS SPECIFIED BY NAME. SELECT ANY PRODUCT MANUFACTURED FOR THESE SPECIFICATIONS BY PERFORMANCE SPECIFICATIONS. SPECIFICATIONS SUBJECT ANY PRODUCT MEETING OR EXCEEDING SPECIFIED CRITERIA. FOR APPROVAL OF AN ITEM NOT SPECIFIED, SUBMIT REQUIRED SUBMITTALS, PROVIDING COMPLETE BACK-UP INFORMATION FOR PURPOSES OF EVALUATION. MEANS BUILDING STANDARDS CODES ARE CALLED FOR, NO SUBSTITUTE WILL BE ACCEPTED.

PROJECT TEAM

CLIENT:
RONDELL OASIS, LLC
P.O. BOX 6528
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ARCHITECT:
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SITE & BUILDING DATA

SITE ADDRESS: 26300 RONDELL STREET, CALABASAS, CA 91302

LEGAL DESCRIPTION: LOT 2, OF TRACT NO.34801, IN THE CITY OF CALABASAS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 977 PAGE (S) 1 AND 2 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL NUMBER: 2089-031-014 AND 2089-031-015

JURISDICTION: CITY OF CALABASAS

PROPERTY ZONING:

SITE AREA CALCULATIONS AND CONDITIONS

SITE AREA: 218,199 S.F. (1.88 ACRES)

NEW/RECOGNIZ. L.S. AREA: 10,000 S.F.

(E) L.S. AREA TO REMAIN: 10,000 S.F.

TOTAL LANDSCAPE AREA: 10,000 S.F.

APPROX. % IMPERVIOUS AREA: XX %

CRITICAL AREAS DESIGNATION(S): XXX

TREE RETENTION REQUIREMENTS: XXX

PARKING REQUIREMENTS & CALCULATIONS:
REFER TO SITE PLAN SHEET A1.1 FOR PARKING INFORMATION

BUILDING SETBACKS:	REQUIRED	PROPOSED
FRONT:	0'	NA
SIDE:	0'	NA
STREET:	0'	10'

BUILDING HEIGHT PER CALABASAS GENERAL COMMERCIAL ZONING:
MAX. ALLOWED BUILDING HEIGHT: 3 STORIES - 35'
PROPOSED BUILDING HEIGHT: 3 STORIES - 35'

REFER TO SHEET A0.2 FOR BUILDING CODE SUMMARY

SHEET INDEX

ARCHITECTURAL:

A0.1	COVER SHEET AND SITE PLAN
A1.1	OVERALL SITE PLAN
A1.2	ENLARGED SITE PLAN
A2.1	LEVEL 1 FLOOR PLAN
A2.2	LEVEL 2 FLOOR PLAN
A2.3	LEVEL 3 FLOOR PLAN
A3.1	ROOF PLAN
A3.2	NORTH & WEST ELEVATION
A3.3	SOUTH & EAST ELEVATION

CIVIL:

C1	TITLE SHEET
C2	GENERAL PLAN
C3	GRADING PLAN

LANDSCAPE:

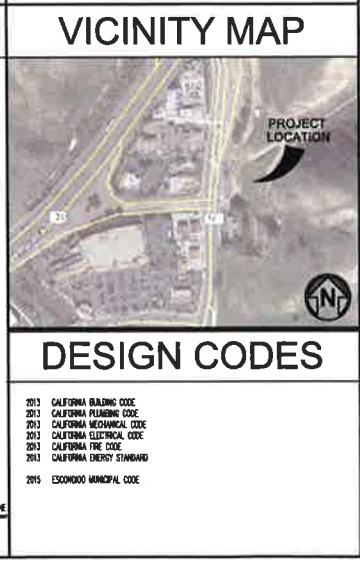
L2.00	SITE PLANTING PLAN
L2.01	PLANTING CONCEPT
L2.02	ENLARGED PLANTING PLAN AT ENTRY
L2.03	ENLARGED PLANTING PLAN AT ENTRY
L2.04	ENLARGED PLANTING PLAN AT PARKING LOT
L2.05	ENLARGED PLANTING PLAN AT IMP ASP AREA
L2.06	FUEL MODIFICATION PLAN
L3.00	LIGHTING PLAN

ARCHITECTURAL ABBREVIATIONS

SYMBOLS:	DESCRIPTION:	SYMBOLS:	DESCRIPTION:
AT	ANGLE	CONC	CONCRETE
AND	AND	CONT	CONTINUOUS
AS	AS SHOWN	CONSTR	CONSTRUCTION
CL	CENTER LINE	CONTR	CONTRACTOR
CP	CORNER POINT	CT	CERAMIC TILE
CS	CORNER	CS	CORROSION PROTECTANT
D	DIMENSION	CS	CORROSION PROTECTANT
Ø	DIAMETER	CS	CORROSION PROTECTANT
E	EQUAL	CS	CORROSION PROTECTANT
>	GREATER THAN	CS	CORROSION PROTECTANT
<	LESS THAN	CS	CORROSION PROTECTANT
#	HATCH	CS	CORROSION PROTECTANT
±	PERPENDICULAR	CS	CORROSION PROTECTANT
+	PLUS/MINUS	CS	CORROSION PROTECTANT
PL	PLATE	CS	CORROSION PROTECTANT

SYMBOLS LEGEND

SYMBOL	DESCRIPTION
(Cloud)	INDICATES REPEATED AREA
(Circle with X)	DETAIL NO. DESIGNATION
(Circle with X and line)	SHEET THAT DETAIL IS SHOWN
(Circle with X and line)	BLOCK SECTION NO.
(Circle with X and line)	SHEET THAT SECTION IS SHOWN
(Circle with X and line)	WALL SECTION NO.
(Circle with X and line)	SHEET THAT SECTION IS SHOWN
(Circle with X and line)	INTERIOR ELEV. NO.
(Circle with X and line)	SHEET THAT INTERIOR ELEV. IS SHOWN
(Circle with X and line)	TRAIL NORTH
(Circle with X and line)	PROJECT NORTH
(Circle with X and line)	SHEET KEY NOTE
(Circle with X and line)	DOOR SCHEDULE KEY (CORRESP. TO ROOM NO. WITH DOOR SCHEDULE)
(Circle with X and line)	WINDOW SCHEDULE KEY



DESIGN CODES

2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA ENERGY STANDARD
2015 ESCROWED MUNICIPAL CODE

SCOPE OF WORK

THE PROJECT PROPOSES CONSTRUCTION OF (1) 3-STORY, FULLY ENCLOSED SELF-STORAGE BUILDING OF APPROXIMATELY 67,017 SQUARE FEET WITH (1) STORAGE METAL OFFICE AREA. SITE IMPROVEMENTS CONSIST OF GRADING AND ASSOCIATED IMPROVEMENTS INCLUDING PARKING, LANDSCAPING, UTILITY IMPROVEMENTS AND BLUFFER DEMONSTRATIONS ACROSS A TOTAL SITE AREA OF 218,199 SQUARE FEET (5.04 ACRES).

RECEIVED
MAY 12 2016
CITY OF CALABASAS
PLANNING DEPT.

REVISIONS

NO.	DATE	BY

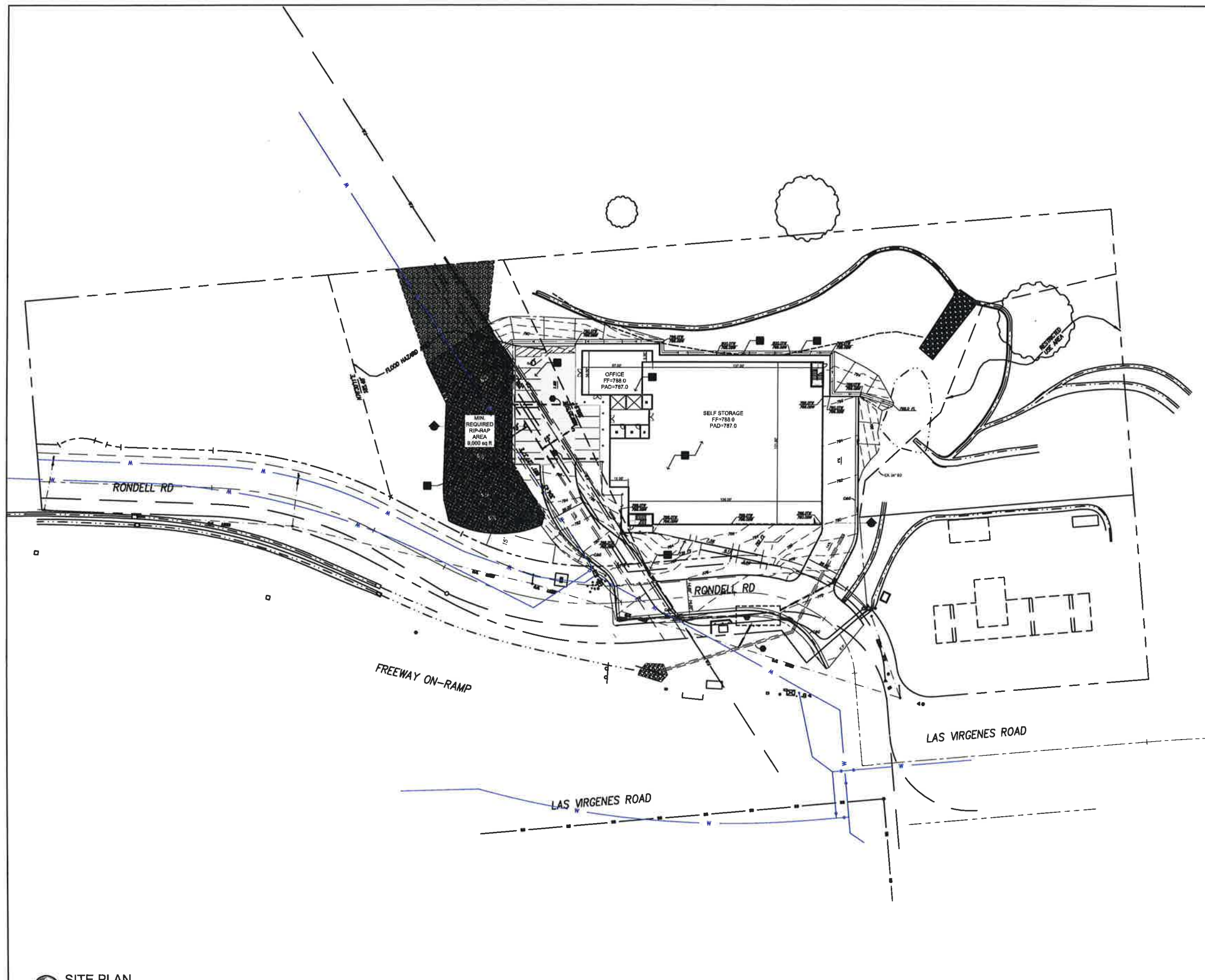
ISSUE DATES

DESIGN APPROVAL: _____
PERMIT SUBMITTAL: _____
PERMIT RECEIVED: _____
BID DOCS: _____
CONSTR. DOCS: _____

30"x42" SCALE: AS NOTED

DATE: 04.13.2016
CAD FILE: 16-014_A01
JOB NUMBER: 16-014
CHECKED: PA
DRAWN: YM
STATUS: PRELIM

SHEET NAME
A0.1



SITE PLAN
SCALE: 1" = 30'-0"

KEY NOTES

- 1 NEW LANDSCAPING PER LANDSCAPE PLANS.
- 2 NEW 3 STORY SELF STORAGE BUILDING.
- 3 NEW SELF-STORAGE RETAIL & OFFICE SPACE AT GRADE LEVEL.
- 4 NEW 7'-0" X 20' PARKING SPACES, (14) TOTAL.
- 5 RETAINING WALL.
- 6 CONCRETE V-DITCH.
- 7 BI-RAP AREA.

SITE PLAN NOTES

- A. EXISTING CONDITIONS WERE DERIVED FROM SURVEY DATED MARCH, 2018 BY REFER TO COVER SHEET FOR ADDITIONAL SURVEYOR INFORMATION.
- B. ACCESSIBLE ROUTES OF TRAVEL NOT TO EXCEED 6% SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- C. THE GC IS RESPONSIBLE FOR PROCURING NECESSARY PERMITS, AS REQUIRED, FOR: FIRE HYDRANTS & WATER MAIN INSTALLATIONS, SPRINKLER SYSTEM SUPPLY MAIN AND FDC, SPRINKLER SYSTEM, AUTOMATIC FIRE ALARM SYSTEM AND MONITORING SYSTEMS AS APPROPRIATE.

BY CODE	PROPOSED
SETBACKS	
0' FRONT	NA
0' SIDE	NA
10' STREET	NA
MAX F.A.R.:	0.4
(218,189 SF)(6.01 ACRES)	.31
MAX HEIGHT:	36'
LANDSCAPE COV:	N/A
PARKING:	14 STALLS

BUILDING AREA

GRADE LEVEL STORAGE AREA	21,284 SQ. FT.
2ND FLOOR AREA	22,008 SQ. FT.
3RD FLOOR AREA	22,008 SQ. FT.
SELF-STORAGE OFFICE	1,841 SQ. FT.
TOTAL GROSS BUILDING AREA	67,141 SQ. FT.

TYPE II
OCCUPANCY S-1
FULLY SPRINKLED

SITE PLAN GENERAL NOTES

ACCESSIBLE ROUTES, PARKING STALLS, SIDEWALKS, PATH OF TRAVEL, LANDINGS, AND RAMPS SHALL COMPLY WITH THE STATE OF CALIFORNIA TITLE 24 AND 2015 CBC DIV IV, SECTION 1106B.1.

FIRE HYDRANTS (IF REQUIRED) SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.

ALL PARKING STALL STRIPING SHALL BE PER CURRENT CITY OF CALABASAS STANDARDS.

ALL DIMENSIONS ARE TO BE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, PROPERTY LINE, OR CENTERLINE OF PARKING STALL STRIPING UNLESS NOTED OTHERWISE.

LIGHTING POLES AND TRANSFORMERS SHALL NOT BE LOCATED IN THE REQUIRED SETBACKS OR LANDSCAPE AREAS.

- (D) DENOTES PARKING STALL FOR THE PHYSICALLY DISABLED - 8'-0" WIDE X 18'-0" LONG WITH A 5'-0" WIDE LOADING AREA. PROVIDE AN 8'-0" WIDE LOADING AREA AT VAN PARKING.

ADDITIONAL NOTE:
1. THE TENANT SPACE, THE MAIN ENTRANCES AND EXITS, PATH OF TRAVEL LEADING TO THE PROPOSED FACILITY, SANITARY FACILITIES, DRINKING FOUNTAINS AND PUBLIC TELEPHONES SERVING THE FACILITY SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES.

SITE LEGEND

--- PROPOSED ACCESSIBLE PATH OF TRAVEL. THERE SHALL BE NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED SIX AND TWO RESPECTIVELY (INSPECTOR TO VERIFY).

[Icon] PROPOSED TRASH ENCLOSURE.

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**SELF STORAGE CALABASAS
3 STORY SELF STORAGE BUILDING**

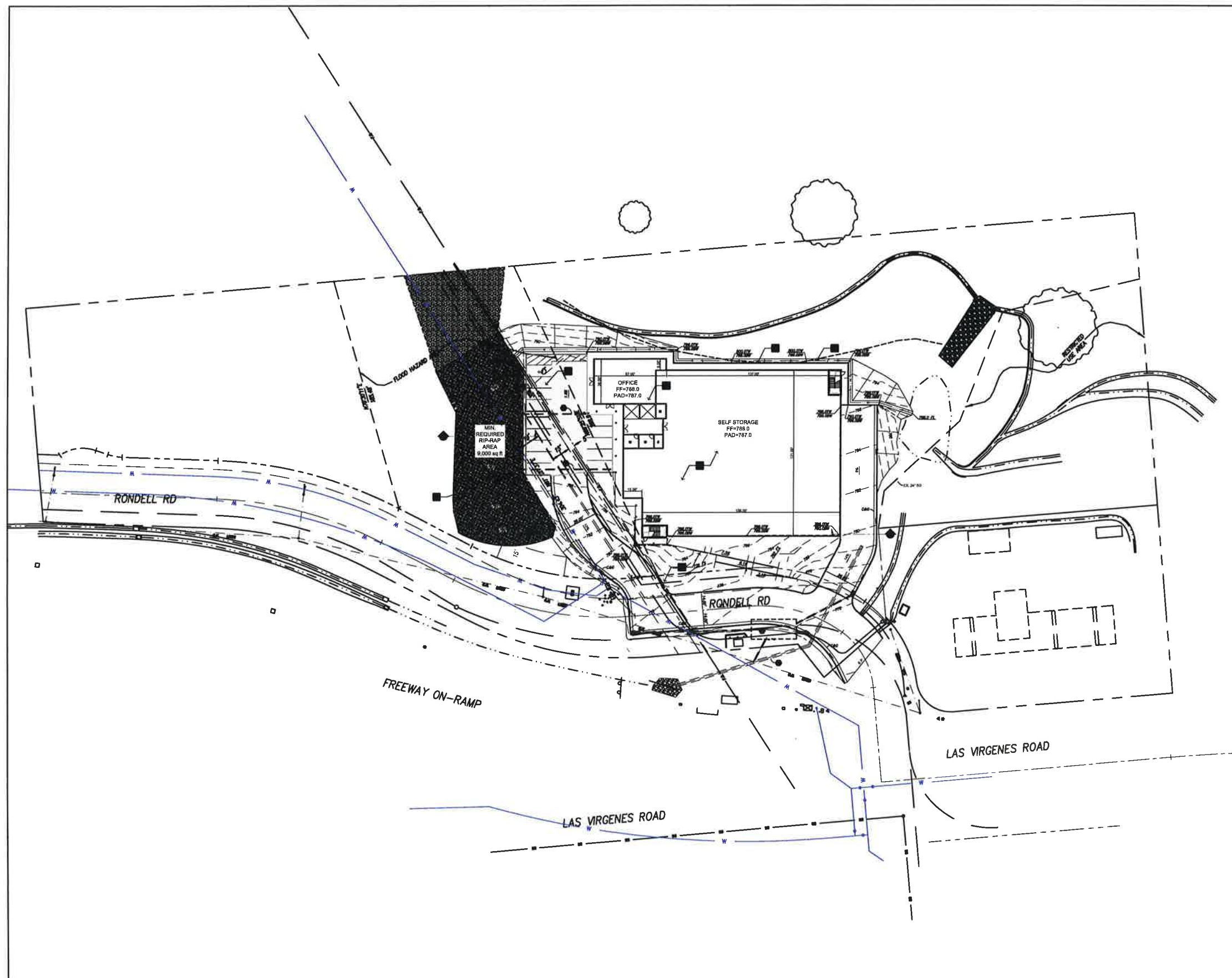
28,500 RONDELL STREET
CALABASAS, CALIFORNIA 91302

REVISIONS	
NO.	DATE BY

ISSUE DATES	
DESIGN APPROVAL:	
PERMIT SUBMITTAL:	
PERMIT RECEIVED:	
BD DOCS:	
CONSTR. DOCS:	

30"x42" SCALE:	AS NOTED
DATE:	04.13.2018
CAD FILE:	18-014_A1.1
JOB NUMBER:	18-014
CHECKED:	PA
DRAWN:	
STATUS:	PRELIM

SITE PLAN
A1.1



SITE PLAN
SCALE: 1" = 30'-0"

KEY NOTES

- 1 NEW LANDSCAPING PER LANDSCAPE PLAN.
- 2 NEW 3 STORY SELF STORAGE BUILDING.
- 3 NEW SELF-STORAGE RETAIL & OFFICE SPACE AT GRADE LEVEL.
- 4 NEW 4'-0" X 3'0" PARKING SPACES (14) TOTAL.
- 5 RETAINING WALL.
- 6 CONCRETE Y-DUTCH.
- 7 RP-RAP AREA.

SITE PLAN NOTES

A. EXISTING CONDITIONS WERE DERIVED FROM SURVEY DATED MARCH - 2018 BY REFER TO COVER SHEET FOR ADDITIONAL SURVEYOR INFORMATION.

B. ACCESSIBLE ROUTES OF TRAVEL NOT TO EXCEED 8% SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.

C. THE GC IS RESPONSIBLE FOR PROCURING NECESSARY PERMITS AS REQUIRED, FOR: FIRE HYDRANTS & WATER MAIN INSTALLATIONS, SPRINKLER SYSTEM SUPPLY MAIN AND FDC, SPRINKLER SYSTEM, AUTOMATIC FIRE ALARM SYSTEM AND MONITORING SYSTEMS AS APPROPRIATE.

BY CODE	PROPOSED
SETBACKS	
0' FRONT	NA
0' SIDE	NA
10' STREET	NA
MAX F.A.R.:	
(218,199 SF)(5.01 ACRES)	.31
MAX HEIGHT:	
35'	35'
LANDSCAPE COV:	N/A
PARKING:	
14 SF OF GROSS BUILDING AREA	14 STALLS

BUILDING AREA

GRADE LEVEL STORAGE AREA	31,284 SQ. FT.
2ND FLOOR AREA	22,008 SQ. FT.
3RD FLOOR AREA	22,008 SQ. FT.
SELF-STORAGE OFFICE	1,841 SQ. FT.
TOTAL GROSS BUILDING AREA	87,147 SQ. FT.

TYPE III
OCCUPANCY S-1
FULLY SPRINKLED

SITE PLAN GENERAL NOTES

ACCESSIBLE SIGNS, PARKING STALLS, SIDEWALKS, PATH OF TRAVEL, LANDINGS, AND RAMPS SHALL COMPLY WITH THE STATE OF CALIFORNIA TITLE 24 AND 2013 CBC DIV IV, SECTION 11548.1.

FIRE HYDRANTS (IF REQUIRED) SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.

ALL PARKING STALL STRIPING SHALL BE PER CURRENT CITY OF CALABASAS STANDARDS.

ALL DIMENSIONS ARE TO BE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, PROPERTY LINE, OR CENTERLINE OF PARKING STALL STRIPING UNLESS NOTED OTHERWISE.

LIGHTING POLES AND TRANSFORMERS SHALL NOT BE LOCATED IN THE REQUIRED SETBACKS OR LANDSCAPE AREAS.

— [Symbol] DENOTES PARKING STALL FOR THE PHYSICALLY DISABLED - 8'-0" WIDE X 18'-0" LONG WITH A 5'-0" WIDE LOADING AREA. PROVIDE AN 8'-0" WIDE LOADING AREA AT VNR PARKING.

ADDITIONAL NOTE:
1. THE TENANT SPACE, THE MAIN ENTRANCES AND EXITS, PATH OF TRAVEL LEADING TO THE PROPOSED FACILITY, SANITARY FACILITIES, DRINKING FOUNTAINS AND PUBLIC TELEPHONES SERVING THE FACILITY SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES.

SITE LEGEND

--- PROPOSED ACCESSIBLE PATH OF TRAVEL. THERE SHALL BE NO ADMITT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 8% AND 2% RESPECTIVELY (INSPECTOR TO VERIFY).

[Symbol] PROPOSED TRASH ENCLOSURE.

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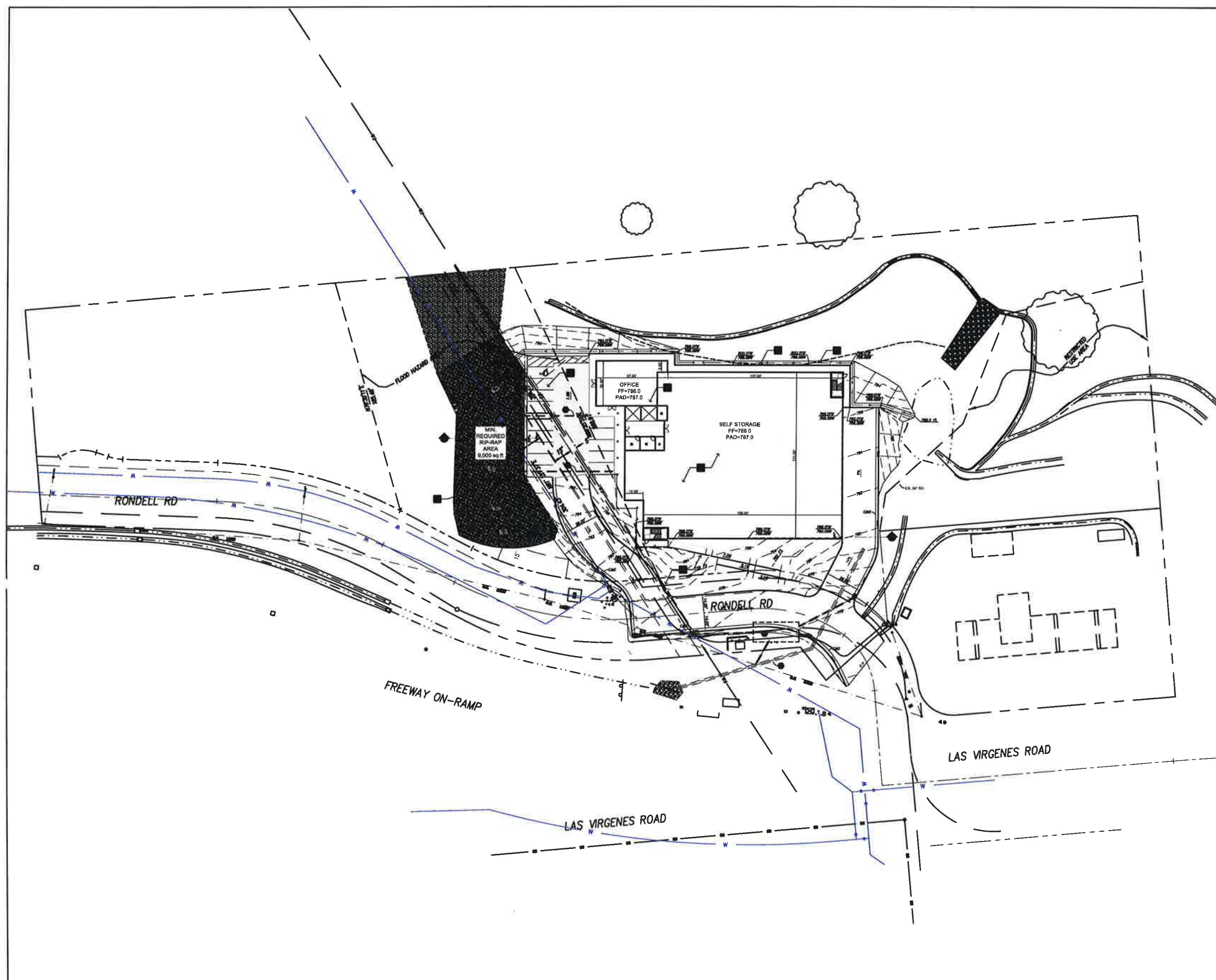
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SITE PLAN
A1.1



SITE PLAN
SCALE: 1" = 30'-0"

KEY NOTES

- 1 NEW LANDSCAPING PER LANDSCAPE PLAN.
- 2 NEW 3 STORY SELF STORAGE BUILDING.
- 3 NEW SELF-STORAGE RETAIL & OFFICE SPACE AT GROUND LEVEL.
- 4 NEW 8'-0" X 20' PARKING SPACES, (14) TOTAL.
- 5 RETAINING WALL.
- 6 CONCRETE V-GUTTER.
- 7 RP-RAP AREA.

SITE PLAN NOTES

A. EXISTING CONDITIONS WERE DERIVED FROM SURVEY DATED MARCH, 2016 BY REFER TO COVER SHEET FOR ADDITIONAL SURVEYOR INFORMATION.

B. ACCESSIBLE ROUTES OF TRAVEL NOT TO EXCEED AN SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.

C. THE GC IS RESPONSIBLE FOR PROCURING NECESSARY PERMITS AS REQUIRED, FOR: FIRE HYDRANTS & WATER MAIN INSTALLATIONS, SPRINKLER SYSTEM SUPPLY MAIN AND TFC SPRINKLER SYSTEM, AUTOMATIC FIRE ALARM SYSTEM AND MONITORING SYSTEMS AS APPROPRIATE.

BY CODE	PROPOSED
SETBACKS	
0' FRONT	NA
0' SIDE	NA
10' STREET	NA

MAX FAR: 0.4 (218,199 SF)(6.01 ACRES) .31

MAX HEIGHT: 35' 35'

LANDSCAPE COV: N/A N/A

PARKING: 14 SF OF GROSS BUILDING AREA 14 STALLS

BUILDING AREA

GRADE LEVEL STORAGE AREA	31,264 SQ. FT.
2ND FLOOR AREA	22,006 SQ. FT.
3RD FLOOR AREA	22,006 SQ. FT.
SELF-STORAGE OFFICE	1,841
TOTAL GROSS BUILDING AREA	87,117 SQ. FT.

TYPE III OCCUPANCY S-1 FULLY SPRINKLED

SITE PLAN GENERAL NOTES

ACCESSIBLE SIGNS, PARKING STALLS, SIDEWALKS, PATH OF TRAVEL, LANDINGS, AND RAMPS SHALL COMPLY WITH THE STATE OF CALIFORNIA TITLE 24 AND 2008 CBC DIV. IV, SECTION 1194B.1.

FIRE HYDRANTS (IF REQUIRED) SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.

ALL PARKING STALL STRIPING SHALL BE PER CURRENT CITY OF CALABASAS STANDARDS.

ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, PROPERTY LINE, OR CENTERLINE OF PARKING STALL STRIPING UNLESS NOTED OTHERWISE.

LIGHTING POLES AND TRANSFORMERS SHALL NOT BE LOCATED IN THE REQUIRED SETBACKS OR LANDSCAPE AREAS.

- □ DENOTES PARKING STALL FOR THE PHYSICALLY DISABLED - 8'-0" WIDE X 16'-0" LONG WITH A 6'-0" WIDE LOADING AREA. PROVIDE AN 8'-0" WIDE LOADING AREA AT VAN PARKING.

ADDITIONAL NOTE:

1. THE TENANT SPACE, THE MAIN ENTRANCES AND EXITS, PATH OF TRAVEL LEADING TO THE PROPOSED FACILITY, SANITARY FACILITIES, DRINKING FOUNTAINS AND PUBLIC TELEPHONES SERVING THE FACILITY SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES.

SITE LEGEND

--- PROPOSED ACCESSIBLE PATH OF TRAVEL. THERE SHALL BE NO ADMITT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY (INSPECTOR TO VERIFY).

□ PROPOSED TRASH ENCLOSURE.

REVISIONS

NO.	DATE	BY

ISSUE DATES

DESIGN APPROVAL: _____

PERMIT SUBMITTAL: _____

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BID DOCS: _____

CONSTR. DOCS: _____

30"x42" SCALE: **AS NOTED**

DATE: 04.13.2016

CAD FILE: 16-014_A1.1

JOB NUMBER: 16-014

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DRAWN: _____

STATUS: PRELIM

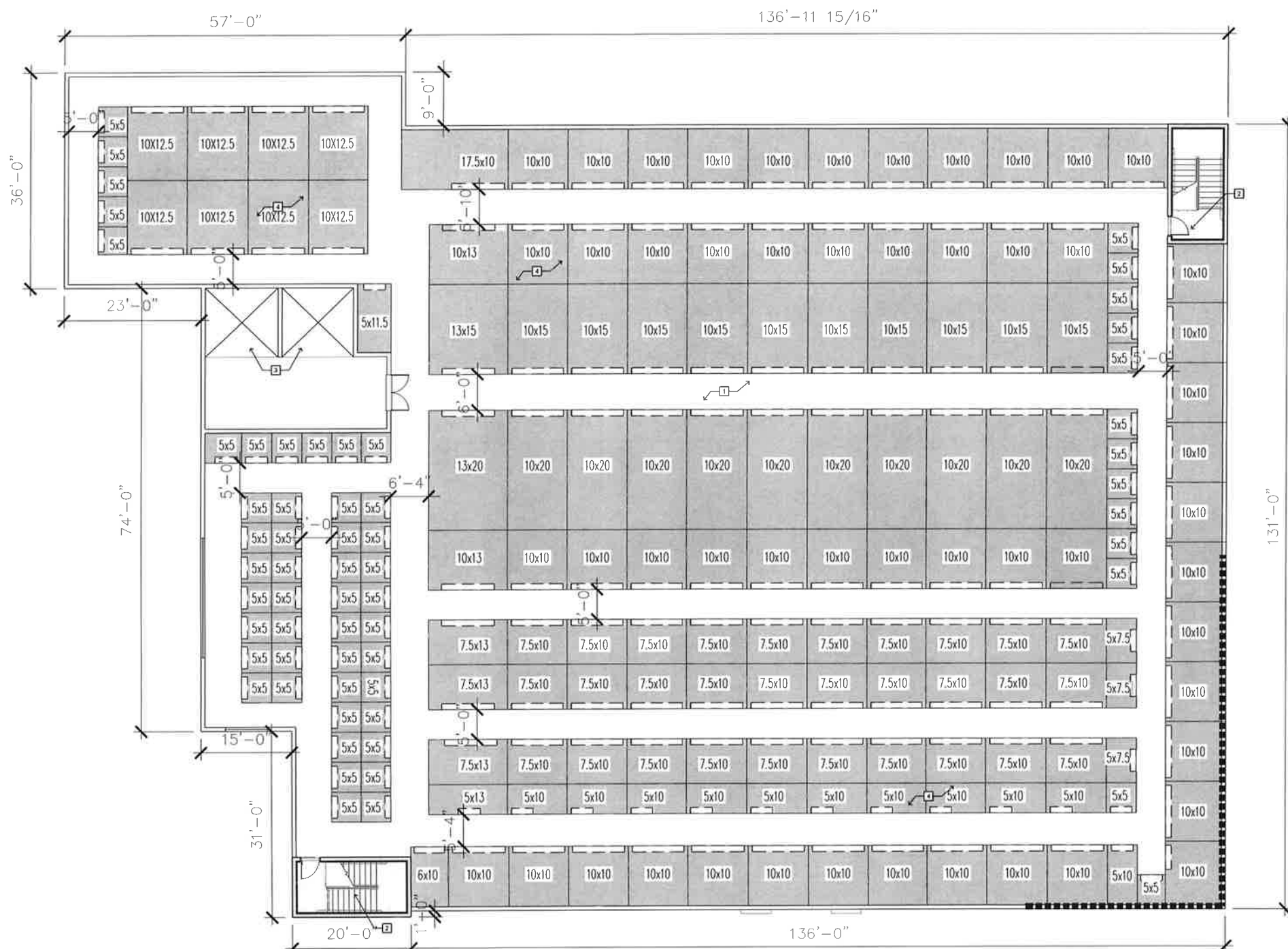
SITE PLAN

A1.1

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**SELF STORAGE CALABASAS
3 STORY SELF STORAGE BUILDING**

26300 RONDELL STREET
CALABASAS, CALIFORNIA 91302



LEVEL 2 FLOOR PLAN
SCALE: 3/32" = 1'-0"

UNIT MIX			
LEVEL 2			
5x5:	58 UNITS	10x10:	53 UNITS
5x7.5:	3 UNITS	10x12.5:	8 UNITS
5x10:	11 UNITS	10x13:	2 UNITS
5x11.5:	1 UNIT	10x15:	10 UNITS
5x13:	1 UNIT	10x20:	10 UNITS
6x10:	1 UNIT	13x15:	1 UNIT
7.5x10:	30 UNITS	13x20:	1 UNIT
7.5x13:	3 UNITS	17.5x10:	1 UNIT
TOTAL LEVEL UNITS: 193 UNITS			

PLAN NOTES

A. DO NOT SCALE DIMS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.

B. ALL GYPSUM BOARD PARTITIONS SHALL BE LINED, SPACKLED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALUDED.

C. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF OMB TO FINISH FACE OF OMB UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" OR "GROSS" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESSES OF ALL WALL FINISHES U.S.IN.

D. DIMENSIONS MARKED "A" MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION. U.S.IN. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. SECURE ARCHITECT'S APPROVAL.

E. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION UPON COMPLETION OF PARTITION LAYOUT. NOTIFY ARCHITECT. VERIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.

F. REFER TO SHEET A01 FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.

G. DIMENSIONS LOCATING BOOKS ARE TO THE INSIDE EDGE OF JAMB, U.S.IN.

H. "ALUD" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.

I. MOORFY EXISTING SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING MATERIALS, THIS PREVENTING NOTICEABLE BUMPS OR DEPRESSIONS.

PLAN NOTES

J. ALL WORK SHALL BE ERRECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.

K. REFER TO MILLWORK SHOP DIMS FOR SPECIFIC DETAILS OF COORDINATION BETWEEN DRYWALL/MILLWORK CONDITIONS.

L. ALL EXISTING AND NEW FLOOR PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.

M. ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE NON-COMBUSTIBLE BLOODING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT. ALL CONCEALED LUMBER & BLOODING TO BE FIRE TREATED.

N. GC TO PROVIDE SHOP DIMS FOR CASEWORK.

KEY NOTES

1. NEW 3 STORY SELF STORAGE BUILDING

2. NEW VERTICAL ACCESS STAIRCASES W/DOE NEW STORAGE BUILDING

3. PROPOSED ELEVATOR SHAFTS W/DOE NEW STORAGE BUILDING

4. NEW STORAGE UNITS (SIZE VARIES)

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30"=42" SCALE: **AS NOTED**

PLOT DATE: _____

CAD FILE: **16-014_A22**

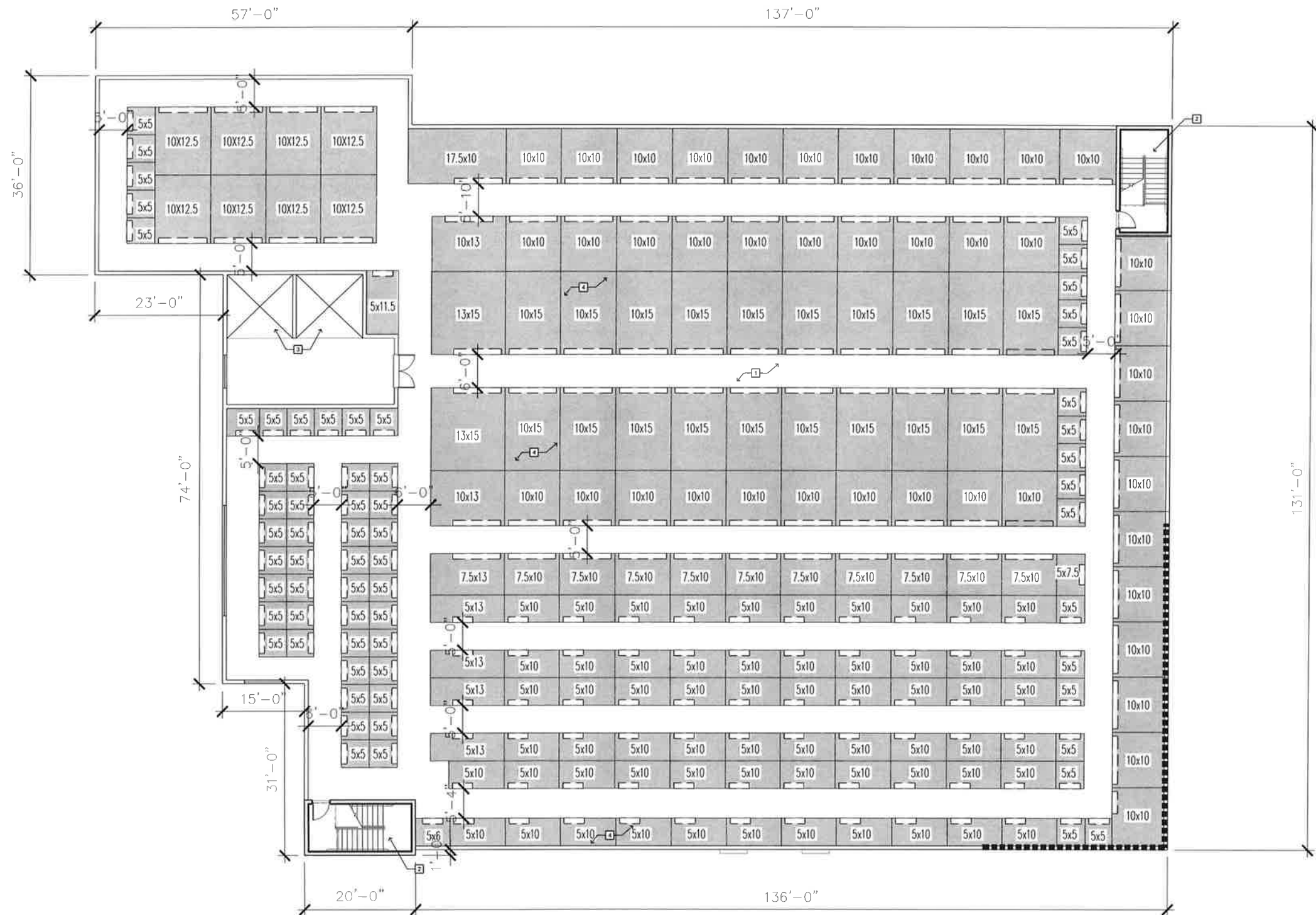
JOB NUMBER: 164-014

CHECKED: PJA

DRAWN: YW

STATUS: PRELIM

LEVEL 2 FLOOR PLAN
A2.2



LEVEL 3 FLOOR PLAN
SCALE: 1/8" = 1'-0"

UNIT MIX	
LEVEL 3	
5x5	63 UNITS
5x6	1 UNIT
5x7.5	1 UNIT
5x8	61 UNITS
5x11.5	1 UNIT
5x13	4 UNITS
7.5x10	10 UNITS
10x10	44 UNITS
10x13	2 UNITS
10x15	20 UNITS
13x15	2 UNITS
17.5x10	1 UNIT
TOTAL LEVEL 3 UNITS: 210 UNITS	

PLAN NOTES

A. DO NOT SCALE DIMS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.

B. ALL Gypsum BOARD PARTITIONS SHALL BE TYPED, SPACED AND SAVED QUADRY WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.

C. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF CMG TO FINISH FACE OF CMG UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" OR "TYP" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESSES OF ALL WALL FINISHES U.S.G.

D. DIMENSIONS MARKED "A" MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION, U.O.N. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. SECURE ARCHITECT'S APPROVAL.

E. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATIONS OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, NOTIFY ARCHITECT. VERIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.

F. REFER TO SHEET A01 FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.

G. DIMENSIONS LOCATING DOORS ARE TO THE INSIDE EDGE OF JAMB, U.S.G.

H. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.

I. WOOLY EXISTING SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING MATERIALS, THIS PREVENTING NOTICEABLE LUMPS OR DEPRESSIONS.

PLAN NOTES

J. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.

K. REFER TO MILLWORK SHOP DIMS FOR SPECIFIC DETAILS OF COORDINATION BETWEEN DRYWALL/MILLWORK CONDITIONS.

L. ALL EXISTING AND NEW FLOOR PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.

M. ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE NON-COMBUSTIBLE BLOODING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" H.T. ALL CONCEALED LUMBER & BRIDGING TO BE FIRE TREATED.

N. GC TO PROVIDE SHOP DIMS FOR CASEWORK.

KEYNOTES

1. NEW 3 STORY SELF STORAGE BUILDING

2. NEW VERTICAL ACCESS STAIRCASES INSIDE NEW STORAGE BUILDING

3. PROPOSED ELEVATOR SHAFTS INSIDE NEW STORAGE BUILDING

4. NEW STORAGE UNITS (SEE VARS)

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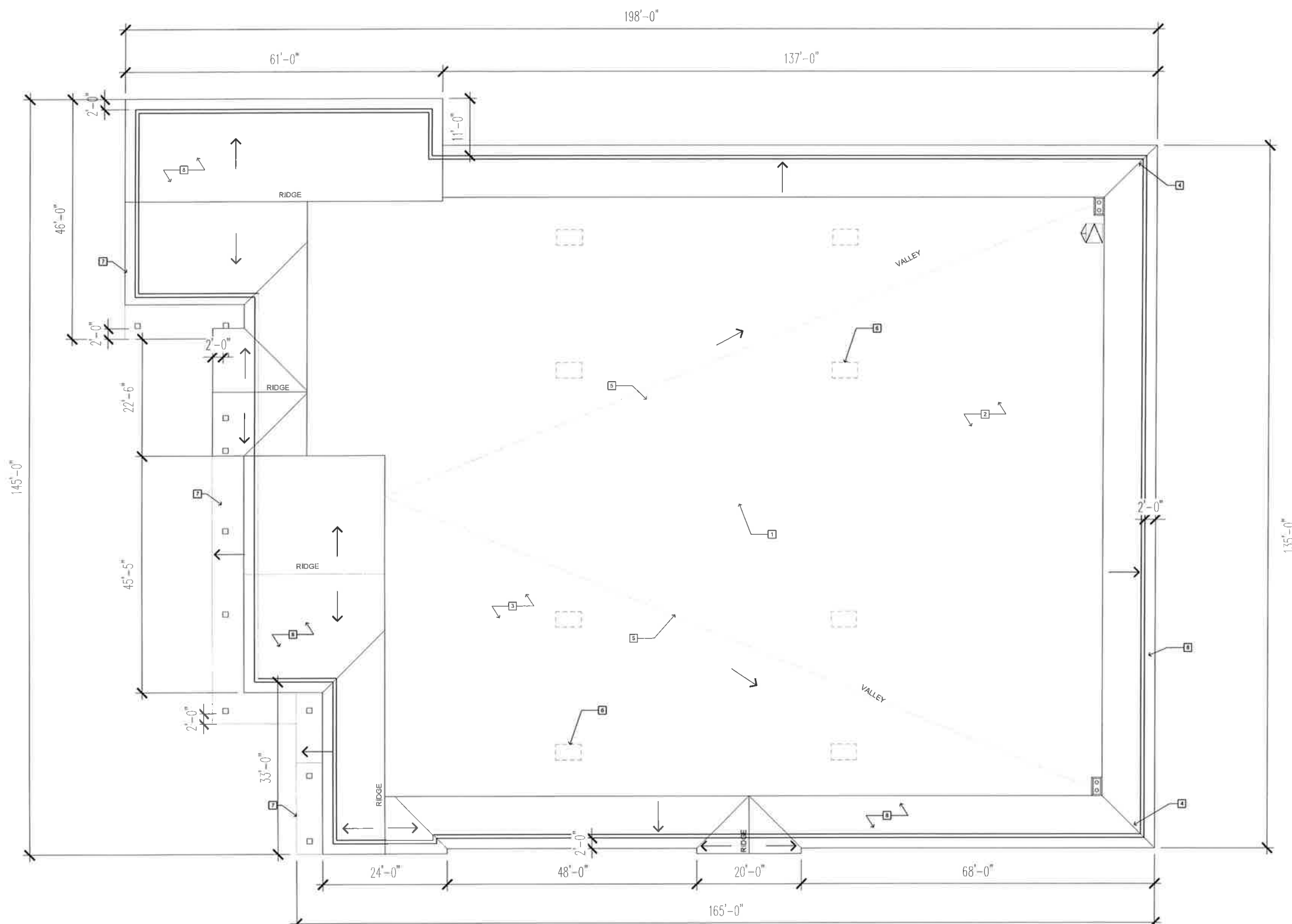
**SELF STORAGE CALABASAS
3 STORY SELF STORAGE BUILDING**
26300 RONDELL STREET
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CONSTR. DOCS

30'-x42" SCALE: AS NOTED
PLOT DATE
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JOB NUMBER: 16-014
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DRAWN: YM
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LEVEL 3 FLOOR PLAN
A2.3



ROOF PLAN
SCALE: 1/8" = 1'-0"

4-PLY ROOF SPECIFICATIONS	
MANVILLE FOUR PLY MINERAL SURFACED FIBERGLASS BUILT-UP ROOF 4 GNC (OR EQUAL).	
U.L. RATED CLASS "A" BUILT-UP ROOF SUMMARY OF MATERIALS PER 100 SQUARE FEET:	
GRADED BASE SHEET	25 LBS PER SFG.
MECHANICAL FASTENERS	30 LBS
ASPHALT - ASTM D312 - 78	TYPE II
PLY SHEET - ASTM D - 2178	TYPE III
ASPHALT - ASTM D312 - 78	TYPE II
PLY SHEET - ASTM D - 2178	TYPE IV
ASPHALT - ASTM D312 - 78	TYPE II
FIBERGLASS CAP SHEET	30 LBS
	72 LBS
NOTE: MIN. ROOF SLOPE: 1/4" PER FOOT	

- GENERAL NOTES**
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PLATFORMS AND BASES, POWER, WATER AND DRAIN LOCATIONS AND INSTALLATION REQUIREMENTS WITH EQUIPMENT MANUFACTURERS PRIOR TO PROCEEDING WITH WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL CHARGE TO OWNER.
 - MECHANICAL AND PLUMBING EQUIPMENT PLATFORM DIMENSIONS SHALL BE A MINIMUM OF 8 INCHES ABOVE ADJACENT ROOF ELEVATION.
 - VENTS THROUGH THE ROOF SHALL BE INSTALLED 10'-0" FROM AND TERMINATED 3'-0" ABOVE ANY FRESH AIR INTAKES.
 - LEAD FLASHING TO BE USED AT ALL ROOF DRAIN AND OVERFLOW LOCATIONS.
 - SEE PLUMBING DRAWINGS FOR ALL ROOF DRAIN SIZES.
 - ALL ROOF SURFACES SHALL SLOPE AT A MINIMUM OF 1/4 INCH PER FOOT IN ALL DIRECTIONS. CRICKETS SHALL BE USED ON THE HIGH SIDE OF ALL SKYLIGHTS, ROOF HATCH AND EQUIPMENT PLATFORMS.
 - SEE STRUCTURAL DRAWINGS FOR ROOF FRAMING.
 - SEE MECHANICAL DRAWINGS FOR HVAC EQUIPMENT, SHAFT, AND PENETRATION LOCATIONS.
 - ORIENT SKYLIGHT / SMOKE HATCH HINGES TOWARD THE PREVAILING WIND.

- GENERAL NOTES**
- ALL INDIRECT WASTE PIPING ON ROOF SHALL BE TYPE "L" COPPER ATTACHED BY PIPE STRAPS HAILED TO 2 x 4 REDWOOD BLOCKING. BLOCKING SHALL BE SET IN MASTIC AT 8'-0" O.C. PIPING SHALL BE SLOPED AND TERMINATE IN AN APPROVED RECEPTOR. PIPING TO BE INSTALLED PARALLEL AND PERPENDICULAR TO BUILDING ELEVATIONS.
 - ALL ROOFING SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH LOCAL CITY AGENCY WIND DESIGN ACCORDANCES.
 - REFER TO STRUCTURAL DRAWINGS TO CONFIRM ROOF ELEVATIONS.
 - ALL ROOF ELEVATIONS INDICATE BOTTOM OF SHEATHING FROM FINISHED FLOOR DATUM ELEVATION 0'-0". (FLOOR SLOPES) SEE STRUCTURAL DRAWINGS.
 - ROOFING: UL CLASS A - FIRE RETARDANT RATING AS MANUFACTURE BY GAF, MANVILLE OR EQUAL.
 - OVERFLOW SCUPPERS SHALL BE 3 TIMES THE AREA OF THE DRAIN INLET, LOCATED 3" ABOVE THE LOW POINT OF THE ADJACENT FINISHED ROOF PER CBC SEC 1506.3.
 - LEAD FLASHING TO BE USED AT ALL ROOF VENT PENETRATIONS.

- ROOF PLAN NOTES**
- SEE ROOF FRAMING PLAN (STRUCTURAL) FOR PLYWOOD AND FRAMING INFORMATION.
 - REFER TO MECH. DWGS FOR LOCATION OF ALL HVAC UNITS AND MECHANICAL REQUIREMENTS AND SPECIFICATIONS. SEE STRUCTURAL DWGS FOR TYP. FRAMING REQUIREMENTS AT OPENINGS. FOR TYP. CURB, SEE DETAIL.
 - REFER TO PLUMBING DWGS AND DETAIL FOR PIPE ROOF PENETRATIONS.
 - GENERAL CONTRACTOR SHALL COORDINATE WITH THE DIFFERENT TRADES FOR INSTALLATION OF ROOF PENETRATIONS PRIOR TO INSTALLATION OF ROOF MEMBRANE.
 - GENERAL CONTRACTOR SHALL COORDINATE WITH BUILDING PLUMBING AND SITE UTILITY CONTRACTORS TO INSURE THAT CONNECTIONS BETWEEN RAIN WATER LEADERS, STORM DRAIN SYSTEMS, BUILDING SANITARY AND SITE SEWER SYSTEMS ARE COMPLETED.
 - CONTRACTOR TO PROVIDE POSITIVE DRAINAGE ON ROOF TO ALL ROOF DRAINS.
 - RIGID INSULATION ATTACHMENT ON ROOF TO RESIST WIND UPLIFT FORCES GREATER THAN 80 M.P.H.



- KEY NOTES**
- PROPOSED 3'-0" x 3'-0" ROOF HATCH COORDINATED BY ROOF TRUSS
 - PROPOSED 4-PLY BUILT-UP ROOFING WITH CAP SHEET, HATCH ROOF JOIST LOCATION WITH STRUCTURAL DWGS. BASE A FIRE RETARDANT, 3/4" x 4" x 1'-0" MIN.
 - STRUCTURAL FRAMING BELOW ROOF. SEE STRUCTURAL DWGS.
 - PROPOSED INTERNAL ROOF AND OVERFLOW DRAIN. SEE PLUMBING DWGS FOR SIZES.
 - FLOW LINE TO DRAIN
 - POTENTIAL HVAC UNIT LOCATION
 - PROPOSED LINE OF SANDPITS BELOW
 - PROPOSED SPANISH TILE ROOF

REVISIONS

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30' x 42" SCALE: AS NOTED

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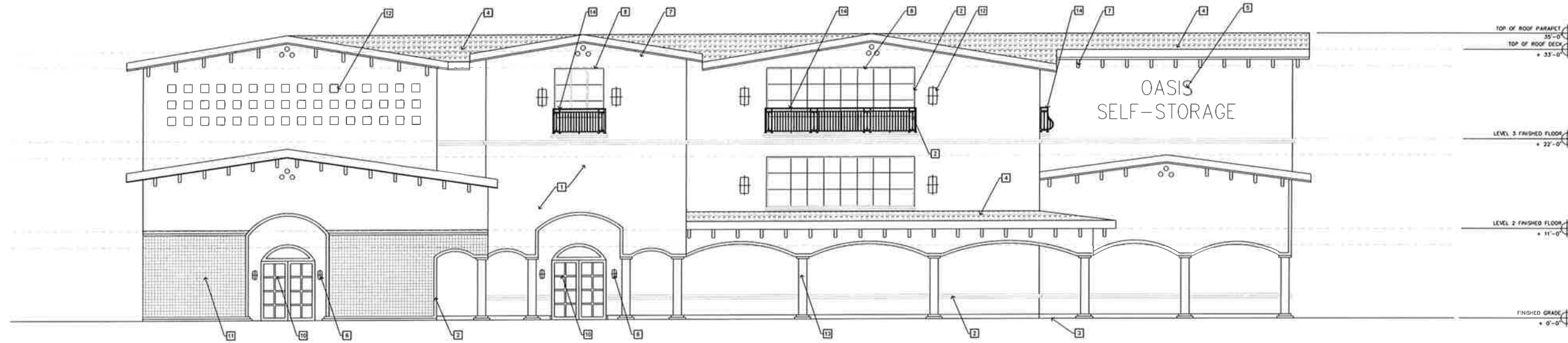
STATUS: PRELIM

ROOF PLAN
A2.5

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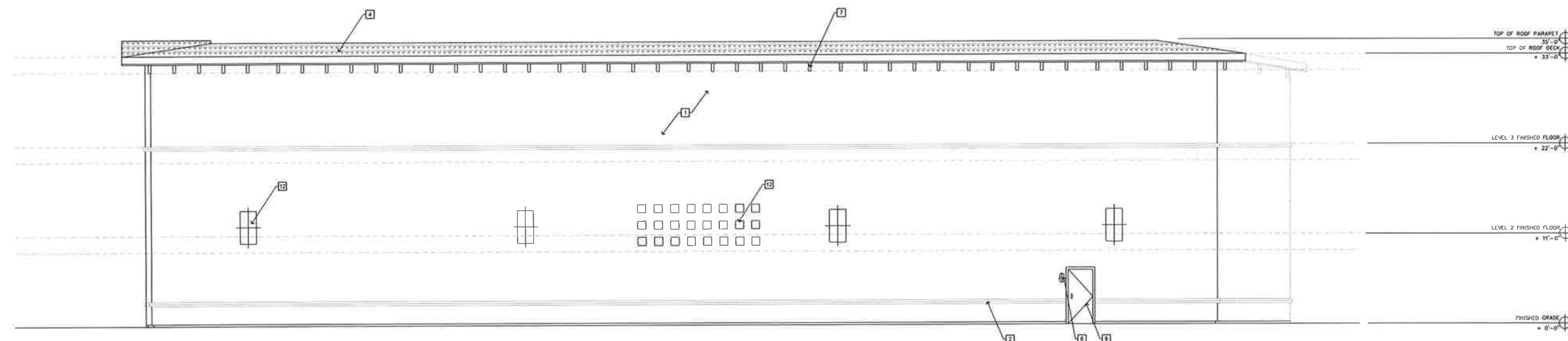
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3 STORY SELF STORAGE BUILDING**
26300 RONDELL STREET
CALABASAS, CALIFORNIA 91302



NORTH ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES

- 1 3-COAT PORTLAND CEMENT PLASTER SYSTEM WITH 30/20 LIGHT SAND FINISH AND INTERNAL COLOR TO MATCH SHERWIN WILLIAMS TREATED PINE NAT SW789.
- 2 3-COAT PORTLAND CEMENT PLASTER SYSTEM WITH 30/20 LIGHT SAND FINISH AND INTERNAL COLOR TO MATCH SHERWIN WILLIAMS SUMMER WHITE SW752.
- 3 ORADE LEVEL.
- 4 SPANISH TILE CANOPIES, CAVE ANTOGA BLINDO 2243.
- 5 PROPOSED OASIS SELF-STORAGE SIGNAGE LOCATION.
- 6 OUTDOOR OODENDECK LAMP DOWN LIGHTING FEATURE.
- 7 DECORATIVE WOOD RAFTER PAINTED SHERWIN WILLIAMS STURDY BROWN SW802.
- 8 2' x 4' LIP GROUNDING SYSTEM WITH 1" INSULATED LOW E CLEAR GLAZING AND BRONZE ANODIZED FRAMES.
- 9 HOLLOW METAL ACCESS DOOR.
- 10 STOREFRONT ENTRY DOORS.
- 11 CALIFORNIA POTTERY AND TILE WORKS "EXTERIOR DECORATIVE TILE PATTERN"
- 12 DECORATIVE FOAM FAKE WINDOWS.
- 13 ROUND COLUMN.
- 14 PROPOSED MEDITERRANEAN STYLE WROUGHT IRON ACCENT RAILING.



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

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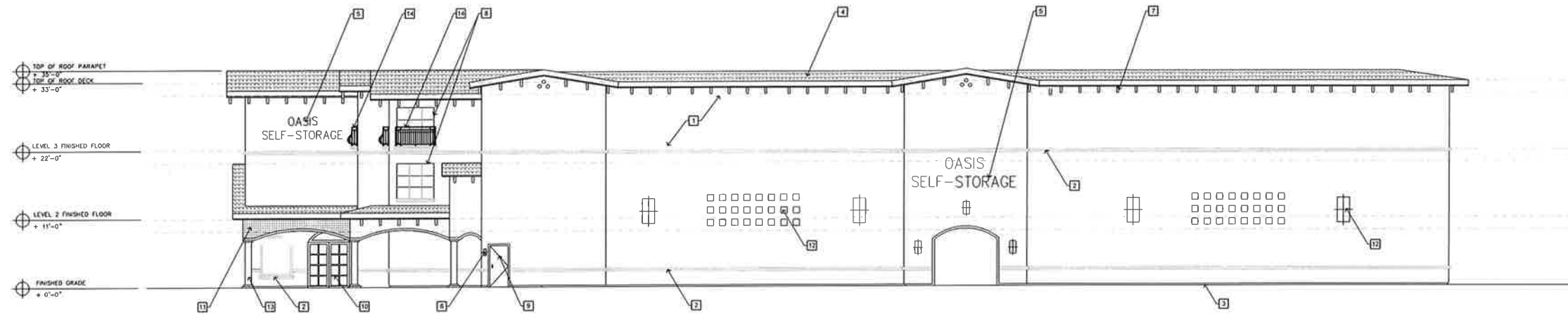
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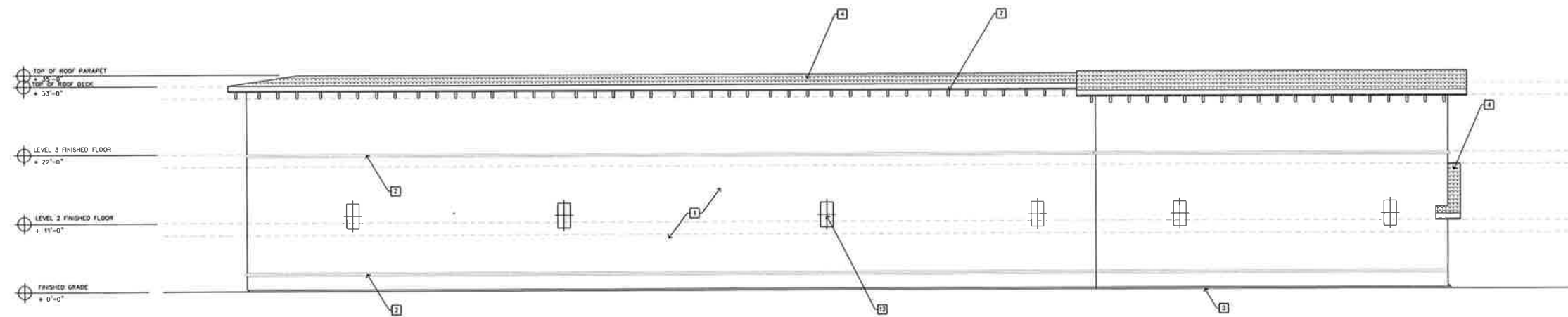
30'-x-42" SCALE AS NOTED
PLOT DATE
CAD FILE 16-014_A31
JOB NUMBER 16-014
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STATUS PRELIM



WEST ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 3-COAT PORTLAND CEMENT PLASTER SYSTEM WITH 30/20 LIGHT SAND FINISH AND INTERNAL COLOR TO MATCH SHERWIN WILLIAMS TITANIZED PINE NUT INTERIOR.
- 2 3-COAT PORTLAND CEMENT PLASTER SYSTEM WITH 30/20 LIGHT SAND FINISH AND INTERNAL COLOR TO MATCH SHERWIN WILLIAMS SUMMER WHITE EXTERIOR.
- 3 GRADE LEVEL.
- 4 SPANISH TILE CANOPES, DATE AVICOLA BLEND 2213.
- 5 PROPOSED OASIS SELF-STORAGE SIGNAGE LOCATION.
- 6 OUTDOOR OOSHINCHI LAMP DOWN LIGHTING FIXTURE.
- 7 DECORATIVE WOOD RAFTER PAINTED SHERWIN WILLIAMS SUIRY BROWN SW007.
- 8 2" x 4" VEE SUBEYFRONT SYSTEM WITH 1" INSULATED LOW E CLEAR GLAZING AND BRONZE ANODIZED FRAMES.
- 9 HOLLOW METAL ACCESS DOOR.
- 10 SUBEYFRONT ENTRY DOORS.
- 11 CALIFORNIA POTTERY AND TILE WORKS "EXTERIOR DECORATIVE TILE PATTERN".
- 12 DECORATIVE FORM FRAME WINDOWS.
- 13 ROUND COLIARI.
- 14 PROPOSED MEDITERRANEAN STYLE BROUGHIT IRON ACCENT RAILING.



EAST ELEVATION
SCALE: 1/8" = 1'-0"

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